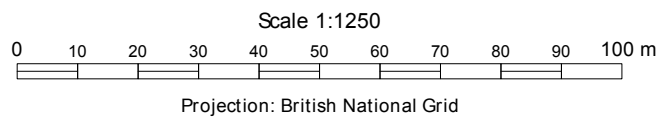
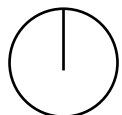
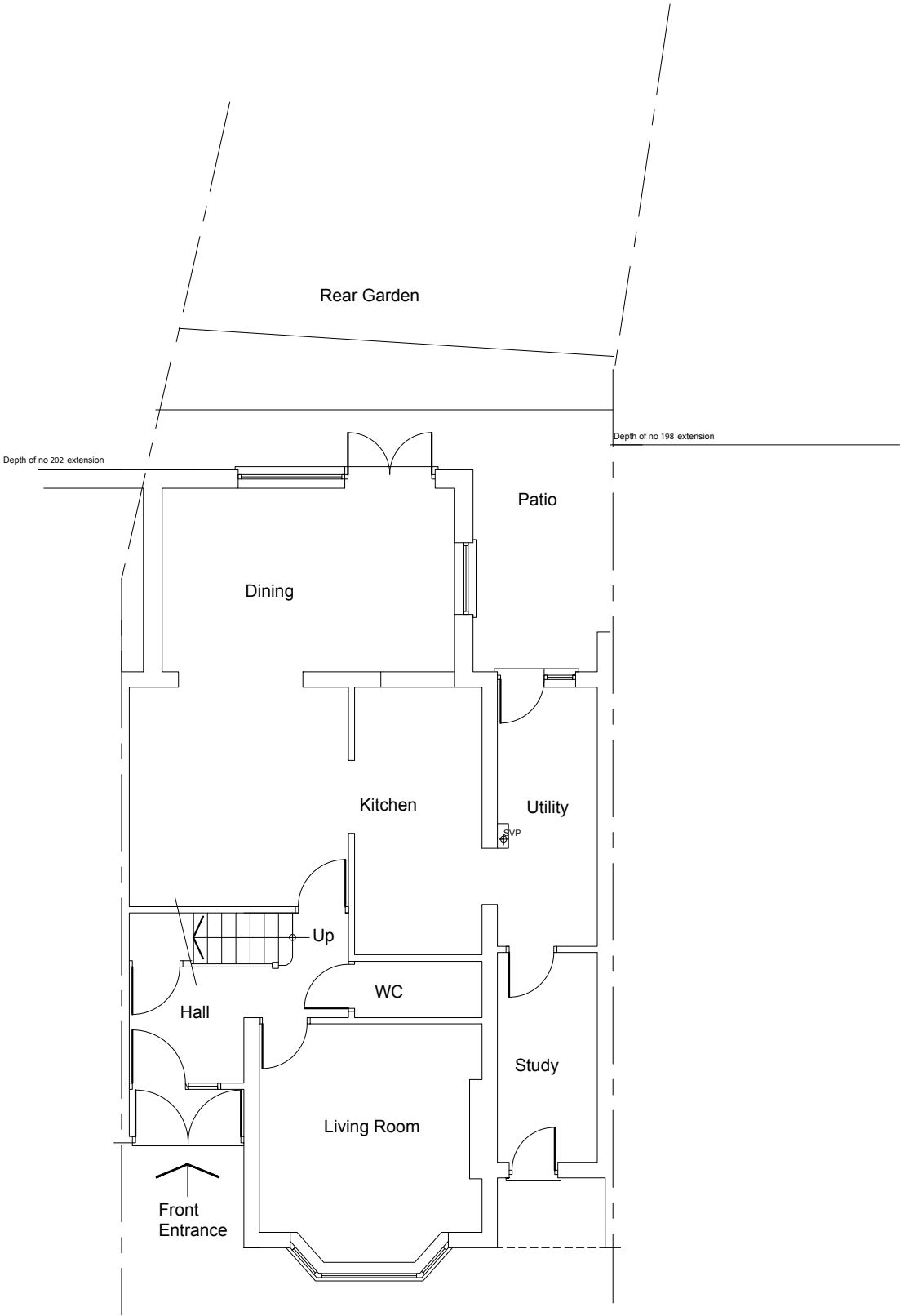




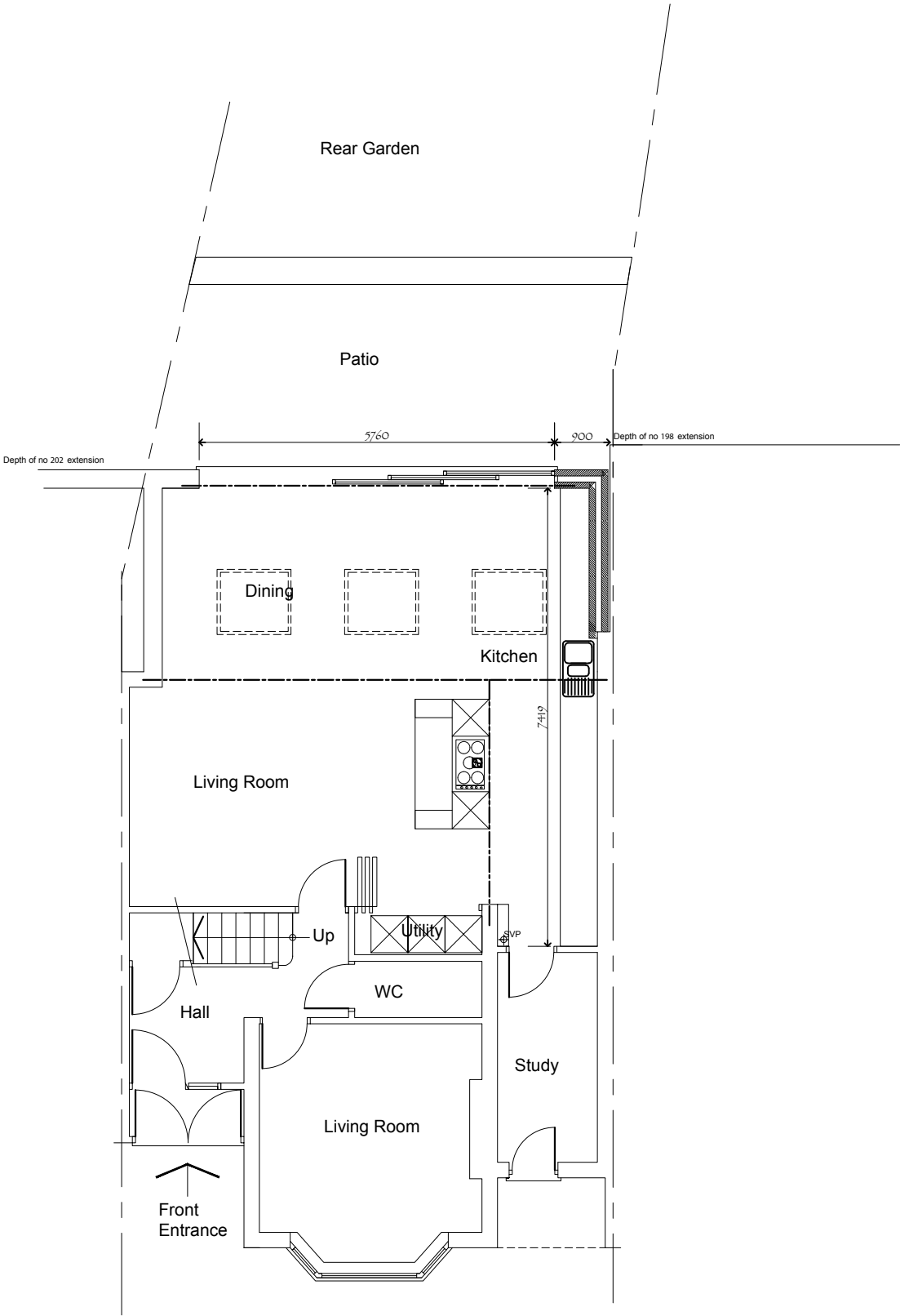
SITE LOCATION PLAN



Notes:
Contractors must verify all dimensions on site before commencing any work or shop drawings. This drawing must not be scaled. Use figured dimensions only. Subject to statutory approvals and survey.



Existing Ground floor plan



Proposed Ground Floor Plan



SCALE: 1/ 100 @ A3

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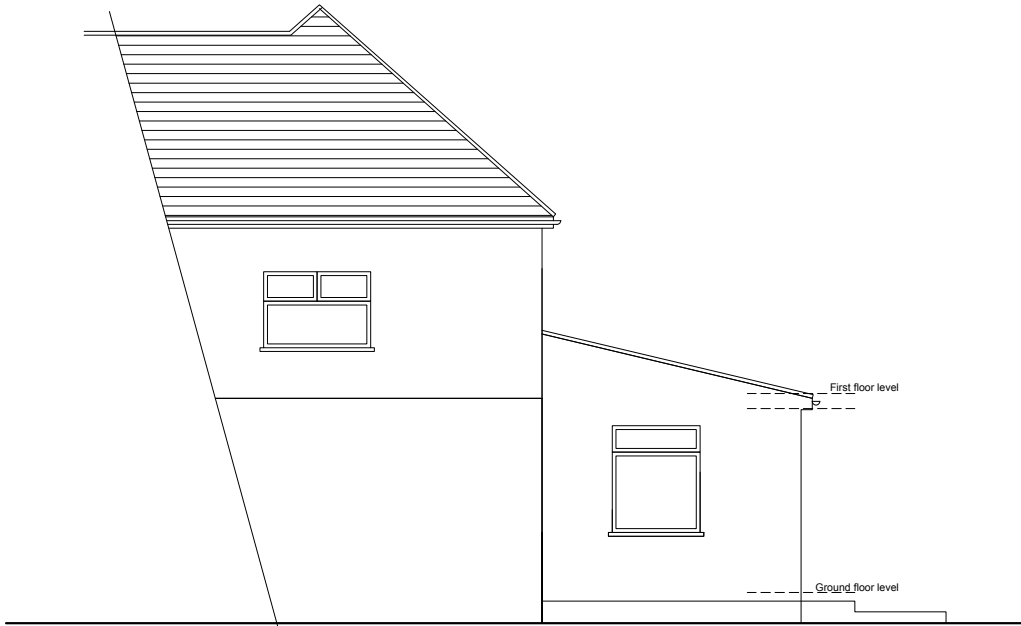
Revisions:
a. date.

This symbol indicates that you may need to take action in order to comply with the Party Wall Act and it may ne wise to consult a suitable Party Wall surveyor. Your architect can help point you in the right direction.

All dimensions are in millimetres
All dimensions to be checked on site
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AH ARCHITECTURE Chartered Architects 15 Alleyn Park Southall Middlesex UB2 5QT Tel: 020 8797 4176 Email: info@ah-architecture.co.uk Project name: 200 West end Road Ruislip HA4 6DU	Drawing name: Existing & Proposed Plans		
	Job no: AH 730	Drawing no: 01	Revision: A
	Scale: 1/100 @ A3	Date: 10/11/2025	Drawn by: AH

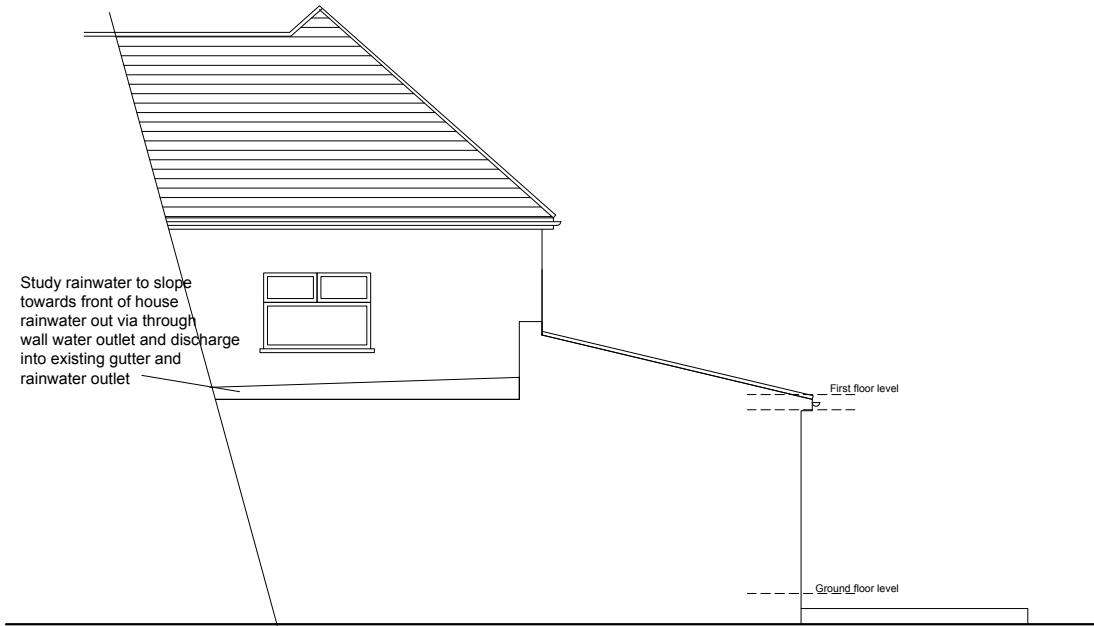
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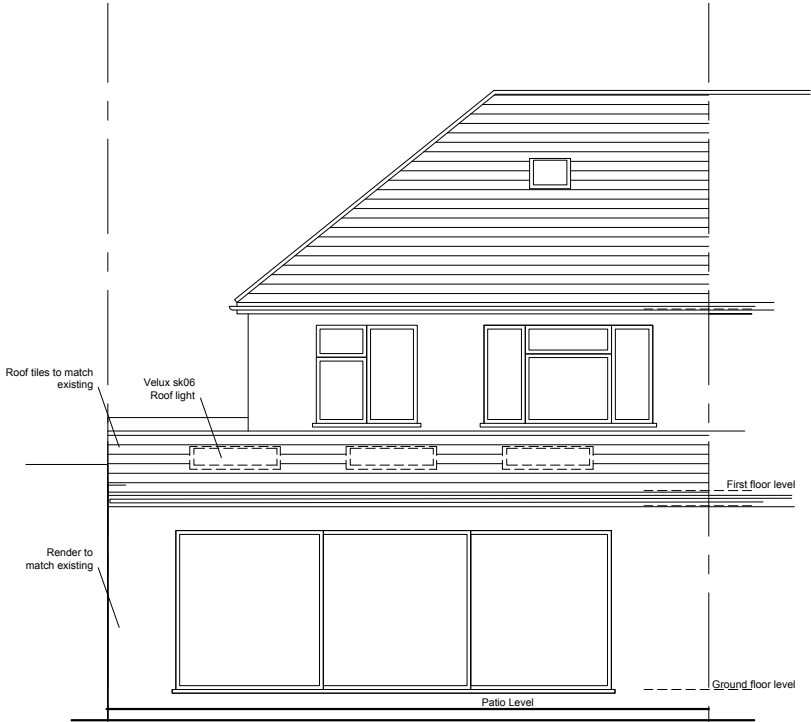
Existing Side Elevation



Existing Rear Elevation



Proposed Side Elevation



Proposed Rear Elevation



SCALE: 1/ 100 @ A3

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	Job no: AH 730	Drawing no: 02	Revision: A
	Scale: 1/100 @ A3	Date: 10/11/2025	Drawn by: AH

Notes:
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Floor Type F1: New concrete slab

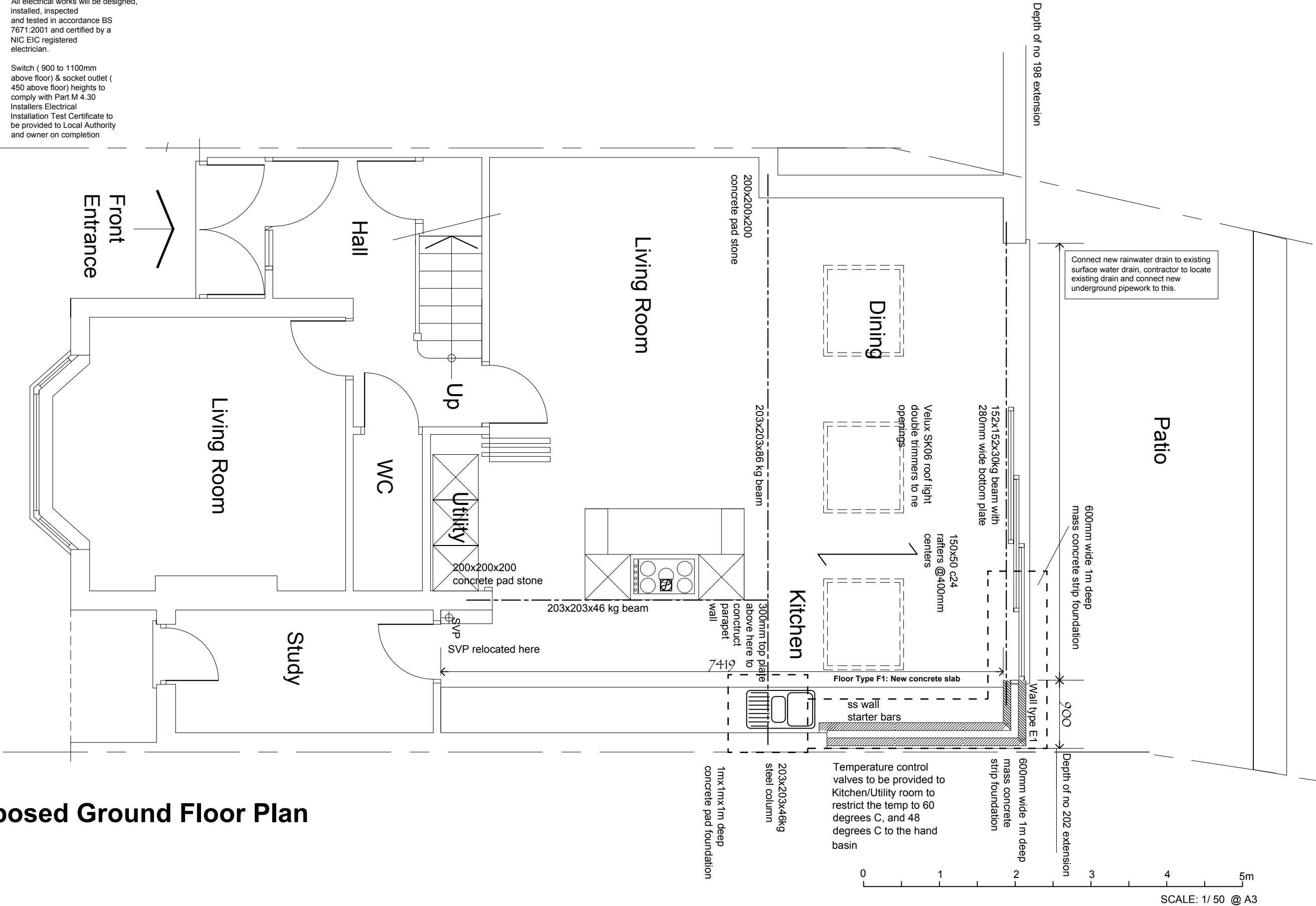
Excavate existing to decrease level area of new slab.
On 150mm MOT Type II
50 mm sand blinding,
Polythene sheet 1200g guage DPM membrane above
slab, lay 150mm concrete groundbearing slab,
100mm FF4000 insulation by Celotex, all joints tight butted
and taped 70mm screed with underfloor heating pipework 15mm floor finish (TBC)
Target U Value 0.16W/m2 K

New External wall Type E1:

External sand cement or silicone base render
External 100mm concrete blockwork
100mm cavity
with 90mm celotex with 10mm airgap
100mm thermalite block inner leaf
25mm battens to form service gap
12.5mm plasterboard internal lining
Skins to be tied together with 200mm stainless steel double triangular wall ties spaced 450mm
vertically and 750mm horizontally.
U value = 0.14 W/m2k

All electrical works will be designed, installed, inspected and tested in accordance BS 7671:2001 and certified by a NIC EIC registered electrician.

Switch (900 to 1100mm above floor) & socket outlet (450 above floor) heights to comply with Part M 4.30
Installers Electrical
Installation Test Certificate to be provided to Local Authority and owner on completion



Proposed Ground Floor Plan

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Revisions:
a. date.

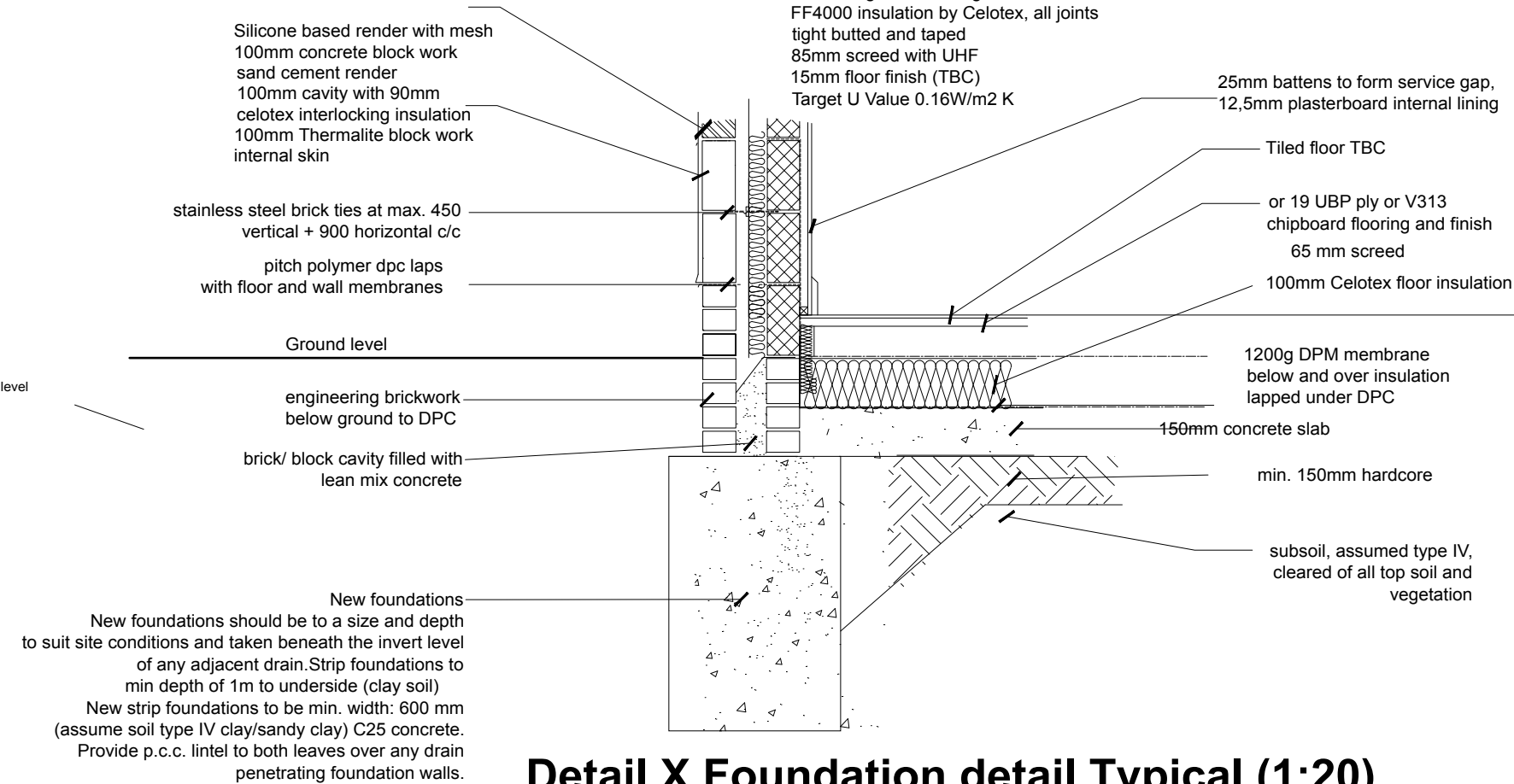
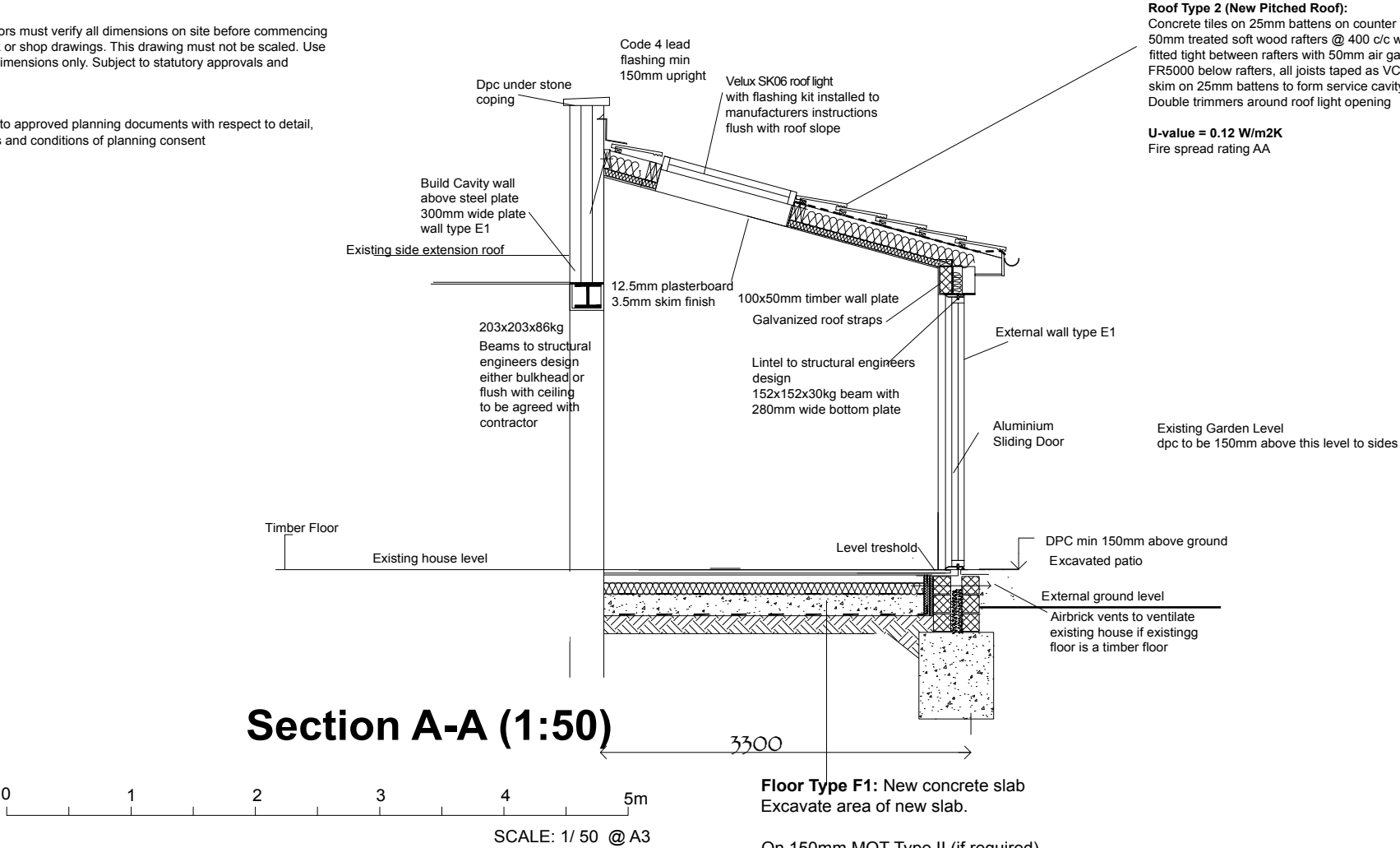
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	Job no: AH 730	Drawing no: 03	Revision: A
	Scale: 1/50 @ A3	Date: 10/11/2025	Drawn by: AH

Notes:
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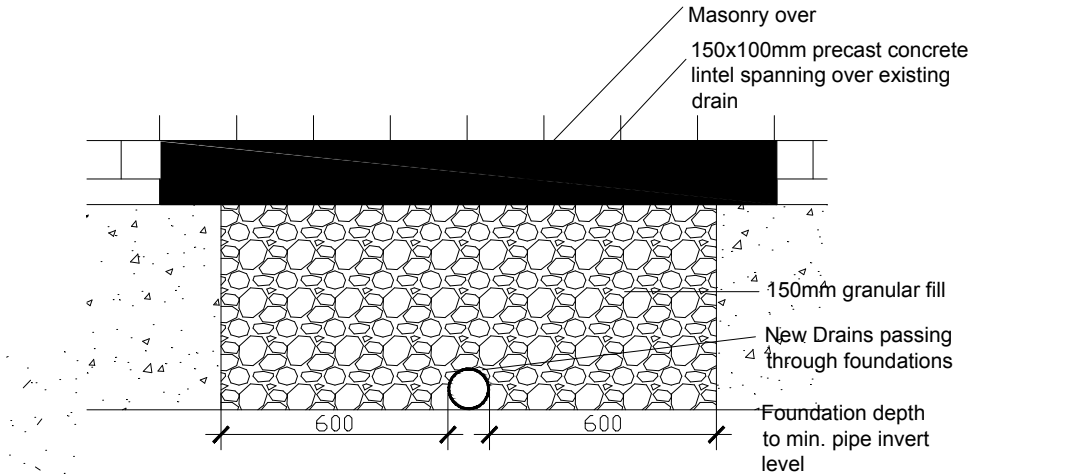
Ref also to approved planning documents with respect to detail, materials and conditions of planning consent



Detail X Foundation detail Typical (1:20)

Roof Type 2 (New Pitched Roof):
Concrete tiles on 25mm battens on counter battens/ Sarking, on 150 x 50mm treated soft wood rafters @ 400 c/c with 100mm Celotex FR5000 fitted tight between rafters with 50mm air gap above. 50mm Celotex FR5000 below rafters, all joists taped as VCL. 12.5mm plasterboard and skim on 25mm battens to form service cavity. Double trimmers around roof light opening

U-value = 0.12 W/m2K
Fire spread rating AA



Detail of bridging arrangement over Existing drains @ 1:20

Internal floor level to match existing

Detail Level

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	Job no: AH 730	Drawing no: 04	Revision: -
	Scale: 1/50 @ A3	Date: 10/11/2025	Drawn by: AH
	Project name: 200 West end Road Ruislip HA4 6DU		