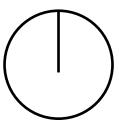




SITE LOCATION PLAN

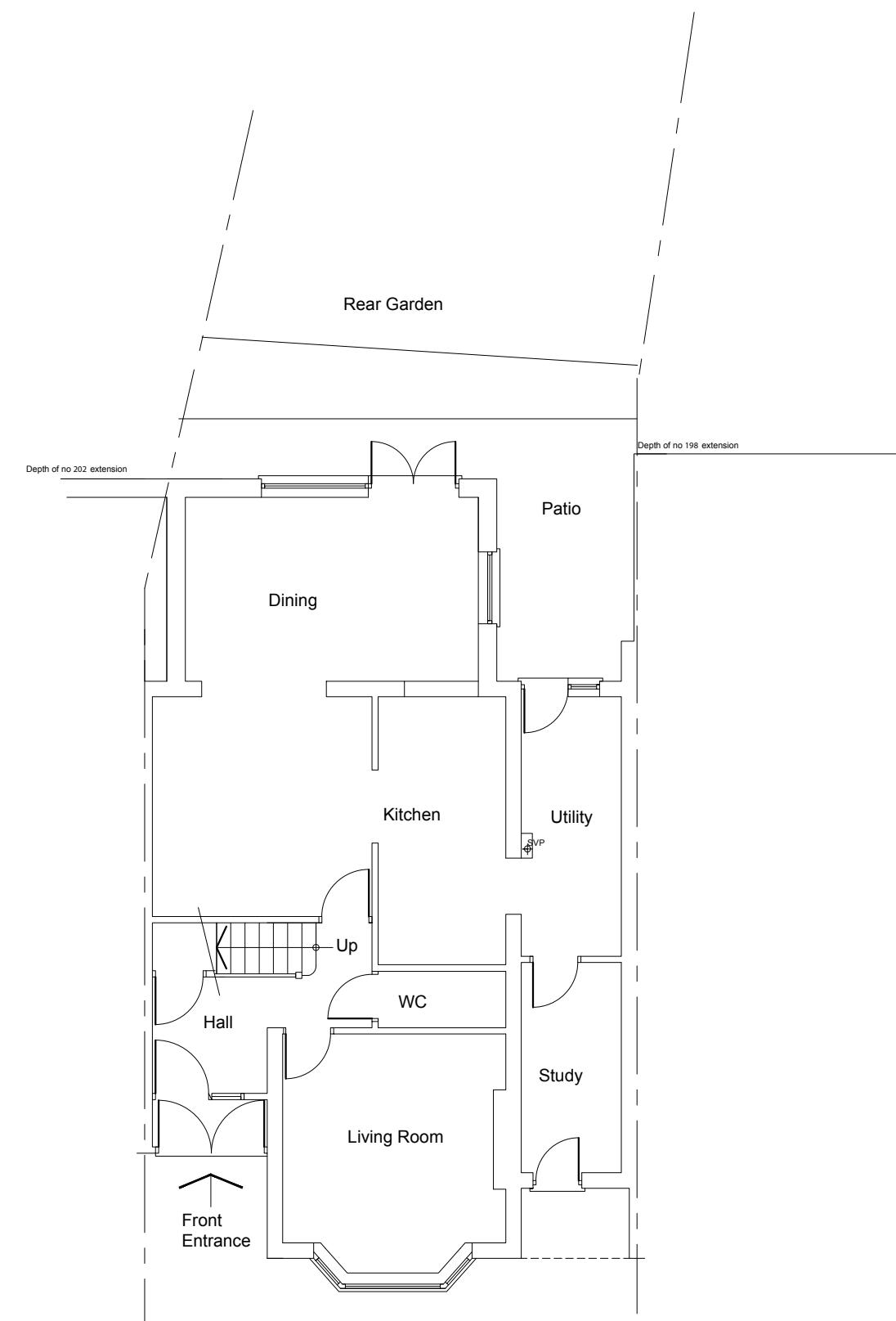


Scale 1:1250

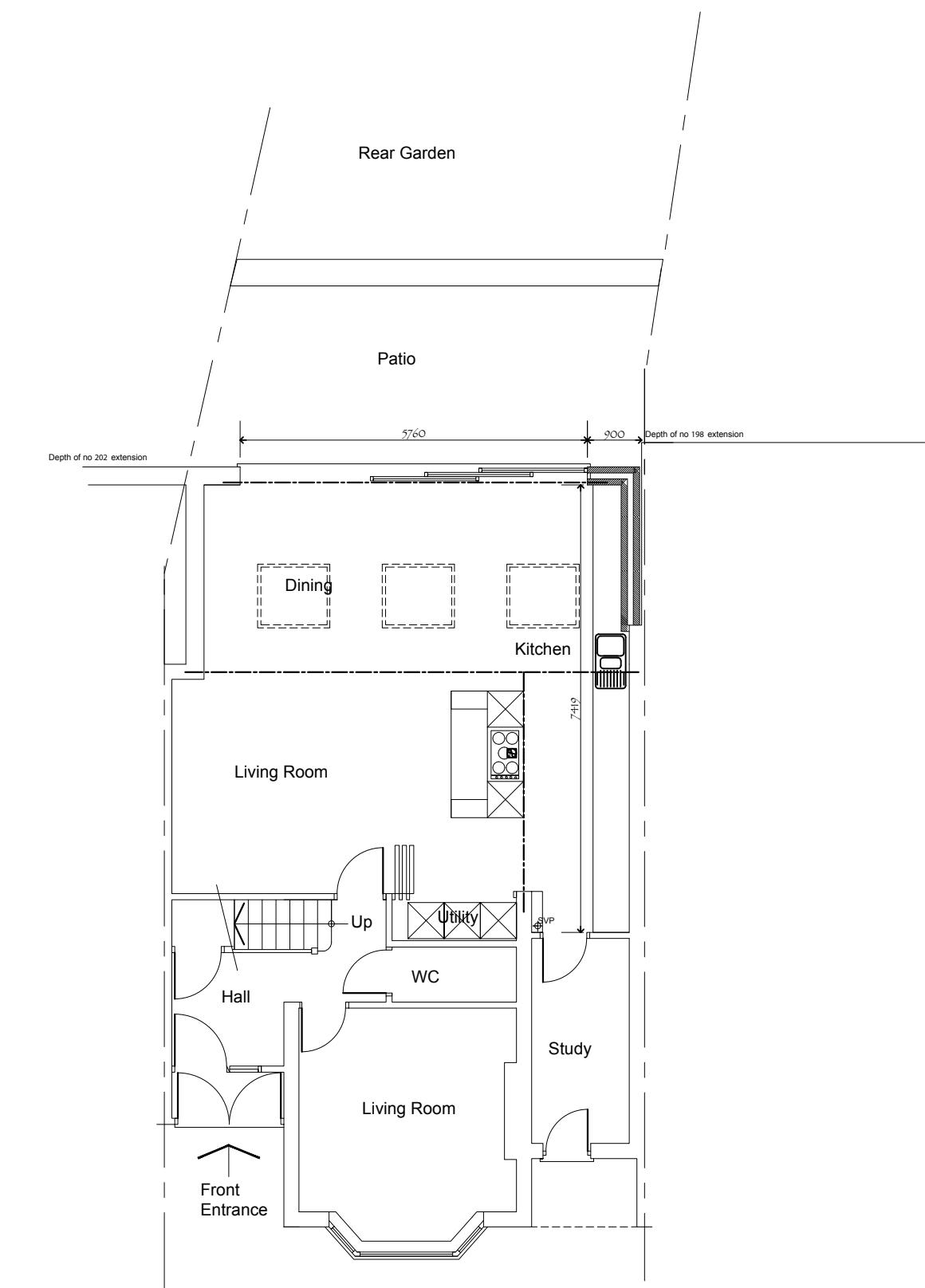
Projection: British National Grid

Notes:

Contractors must verify all dimensions on site before commencing any work or shop drawings. This drawing must not be scaled. Use figured dimensions only. Subject to statutory approvals and survey.



Existing Ground floor plan



Proposed Ground Floor Plan

0 2 4 6 8 10m
SCALE: 1/ 100 @ A3

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4. Where applicable, a suitable Structural Engineer and/or a Party Wall Surveyor should be consulted. Although as far as possible these instances have been indicated, this is not necessarily exhaustive and the whole scope of proposed works should be reviewed.
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Revisions:
a. date:

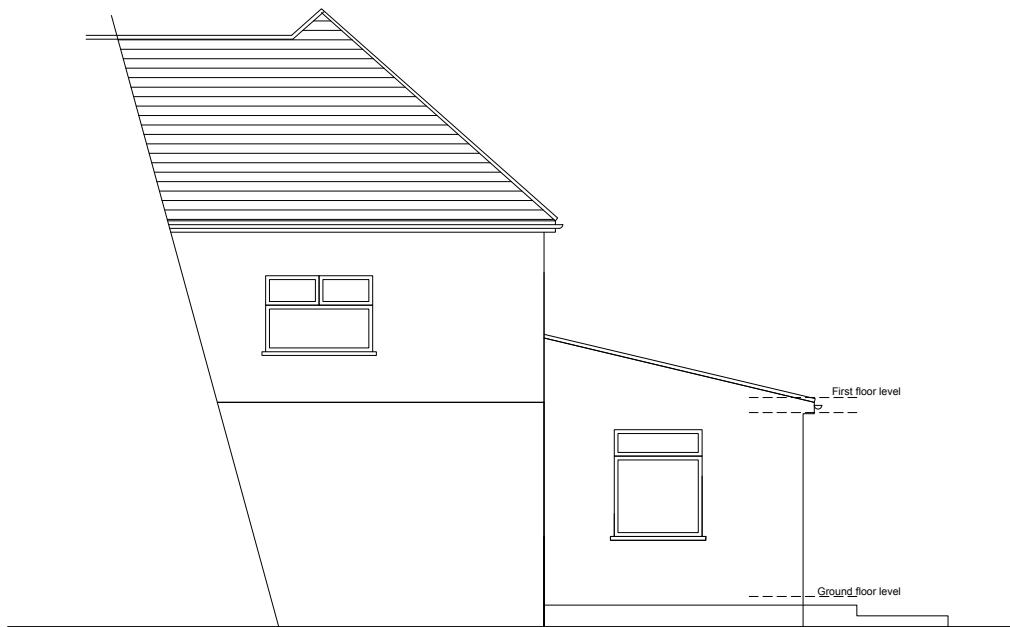
All dimensions are in millimetres
All dimensions to be checked on site
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Drawing name: Existing & Proposed Plans		Job no: AH 730	Drawing no: 01	Revision: A
15 Alleyn Park Southall Middlesex UB2 5QT	Tel: 020 8797 4176 Email: Info@ah-architecture.co.uk	Scale: 1/100 @ A3	Date: 10/11/2025	Drawn by: AH
Project name: 200 West end Road Ruislip HA4 6DU				

Notes:

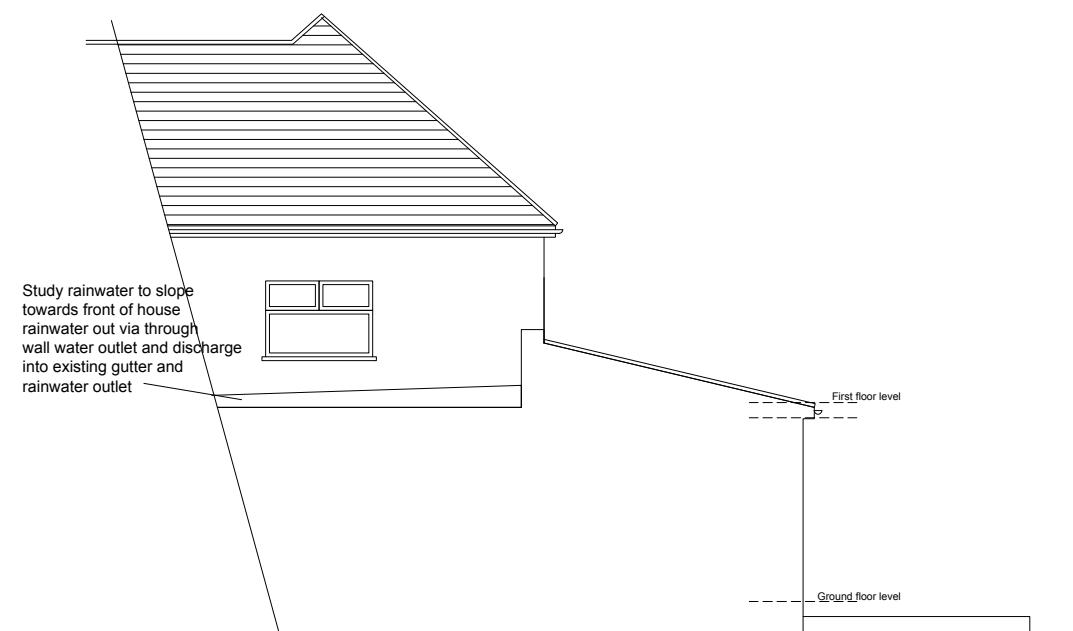
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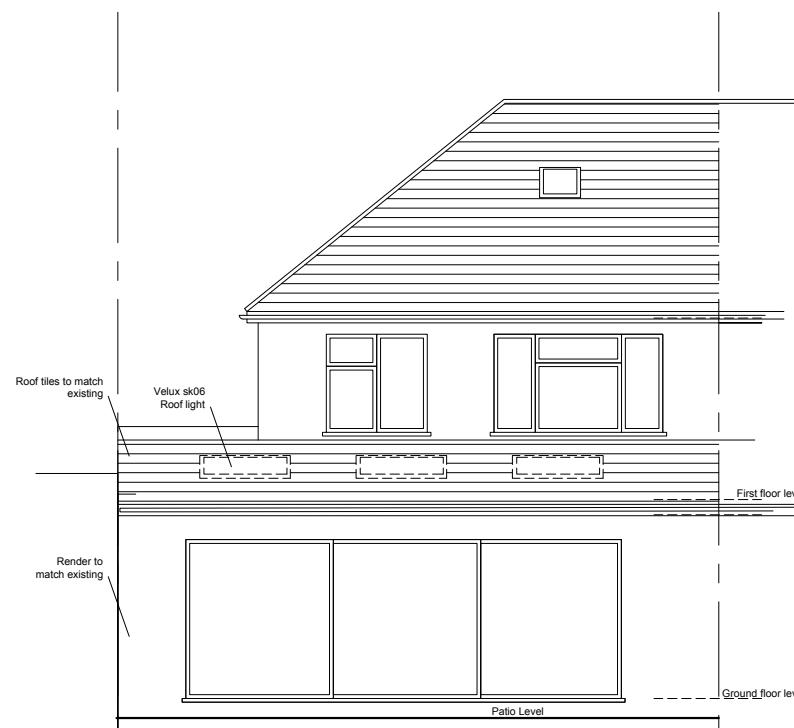
Existing Side Elevation



Existing Rear Elevation



Proposed Side Elevation



Proposed Rear Elevation

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Revisions:
a. date:

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All dimensions to be checked on site
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15 Alleyn Park
Southall Middlesex
UB2 5QT
Tel: 020 8797 4176
Email: Info@ah-architecture.co.uk

Drawing name:
Existing & Proposed Elevations

Job no: **AH 730** Drawing no: **02** Revision: **A**
Scale: **1/100 @ A3** Date: **10/11/2025** Drawn by: **AH**

SCALE: 1/ 100 @ A3

0 2 4 6 8 10m

Drawing name:
Existing & Proposed Elevations

Job no: **AH 730** Drawing no: **02** Revision: **A**

Scale: **1/100 @ A3** Date: **10/11/2025** Drawn by: **AH**

Project name:
200 West end Road Ruislip HA4 6DU

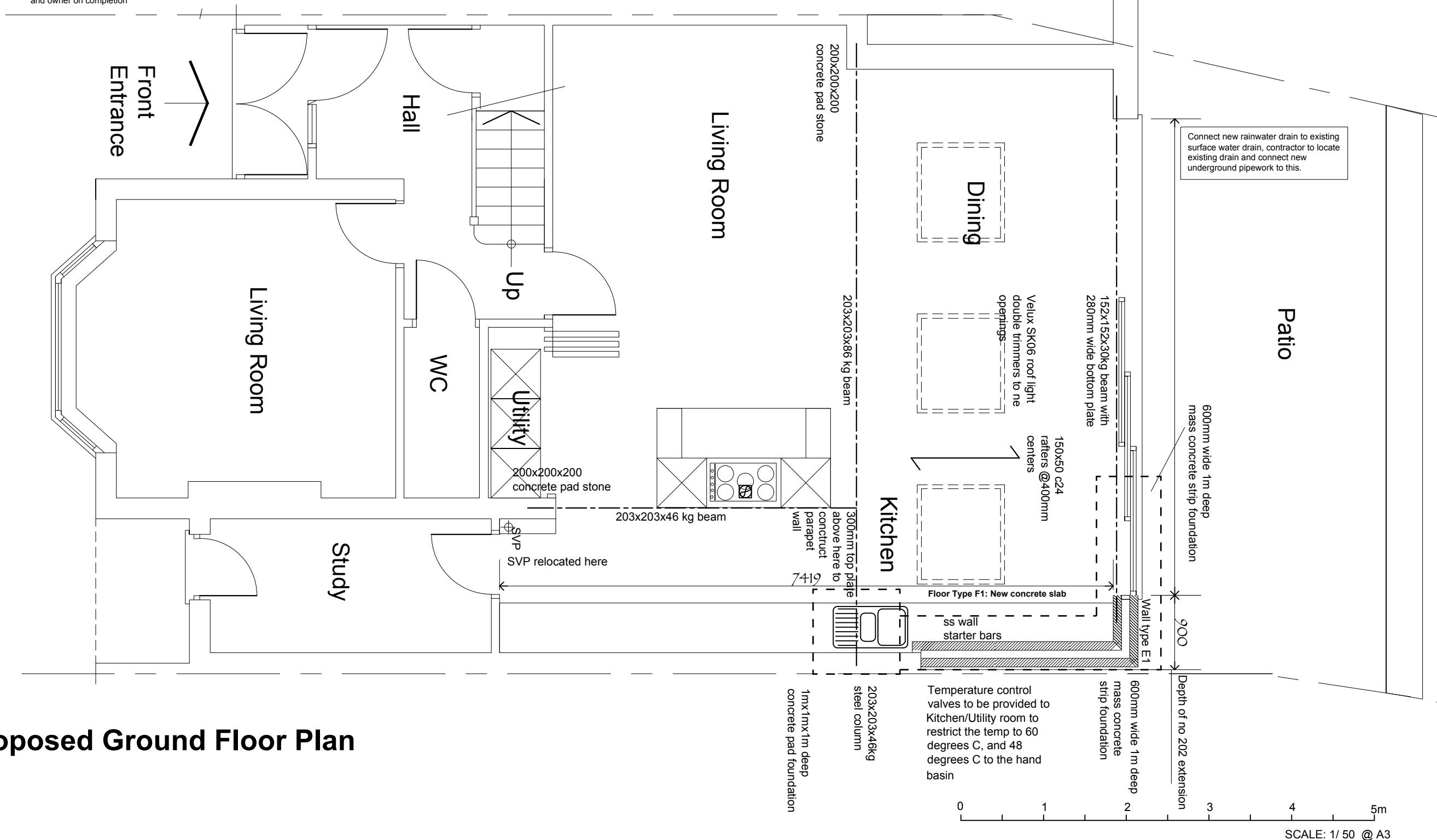
Notes:
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All electrical works will be designed, installed, inspected and tested in accordance BS 7671:2001 and certified by a NIC EIC registered electrician.

Switch (900 to 1100mm above floor) & socket outlet (450 above floor) heights to comply with Part M 4.30
Installers Electrical Installation Test Certificate to be provided to Local Authority and owner on completion

Floor Type F1: New concrete slab
Excavate existing to decrease level area of new slab.
On 150mm MOT Type II 50 mm sand blinding, Polythene sheet 1200g guage DPM membrane above slab, lay 150mm concrete groundbearing slab, 100mm FF4000 insulation by Celotex, all joints tight butted and taped 70mm screed with underfloor heating pipework 15mm floor finish (TBC) Target U Value 0.16W/m²K

New External wall Type E1:
External sand cement or silicone base render
External 100mm concrete blockwork
100mm cavity with 90mm celotex with 10mm airgap
100mm thermalite block inner leaf
25mm battens to form service gap
12.5mm plasterboard internal lining
Skins to be tied together with 200mm stainless steel double triangular wall ties spaced 450mm vertically and 750mm horizontally.
U value = 0.14 W/m²K



Proposed Ground Floor Plan

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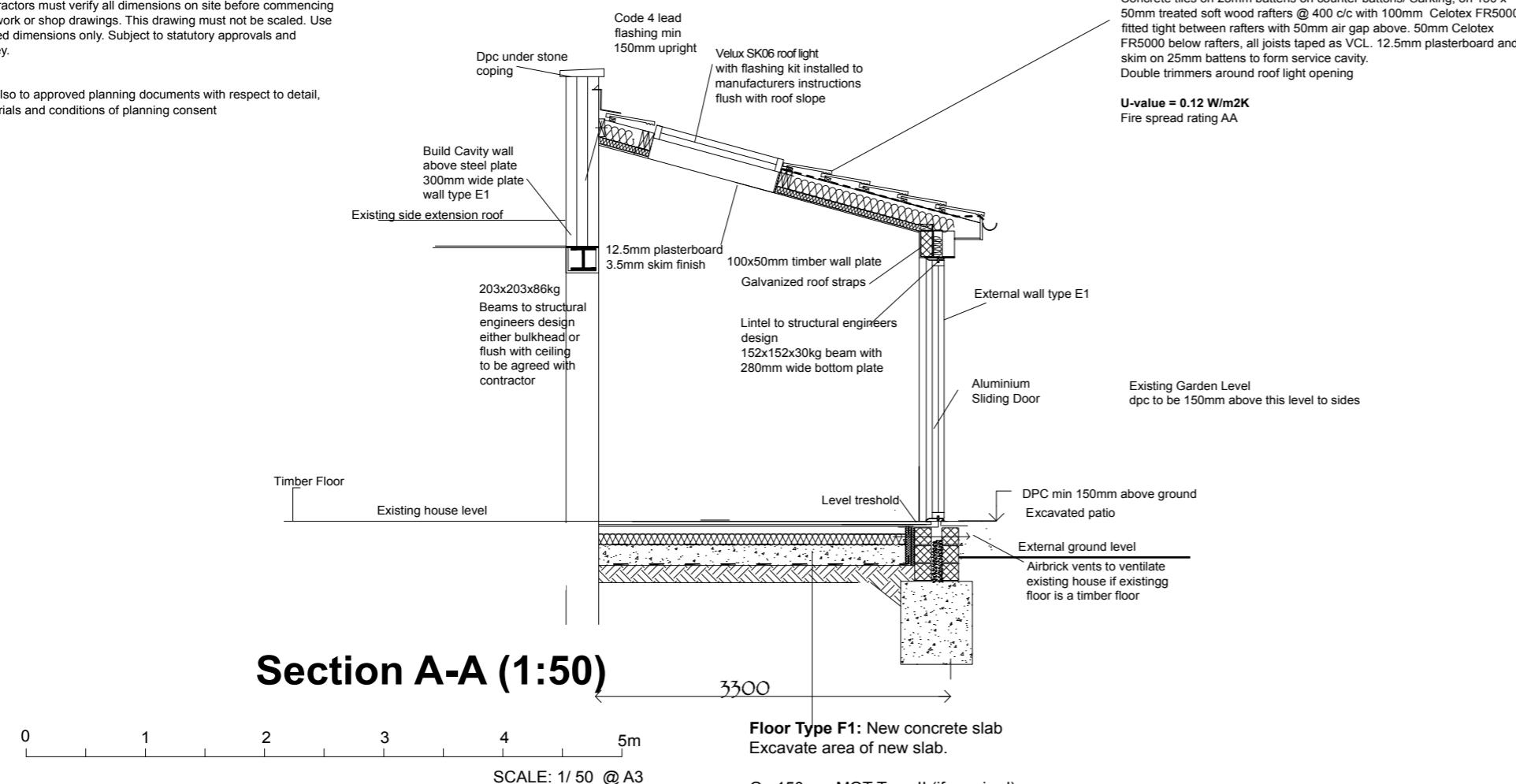
15 Allyn Park
Southall Middlesex
UB2 5QT
Tel: 020 8797 4176
Email: Info@ah-architecture.co.uk

Project name:
200 West end Road Ruislip HA4 6DU

Drawing name: Proposed Plans		Job no: AH 730	Drawing no: 03	Revision: A
Scale: 1/50 @ A3		Date: 10/11/2025	Drawn by: AH	

Notes:
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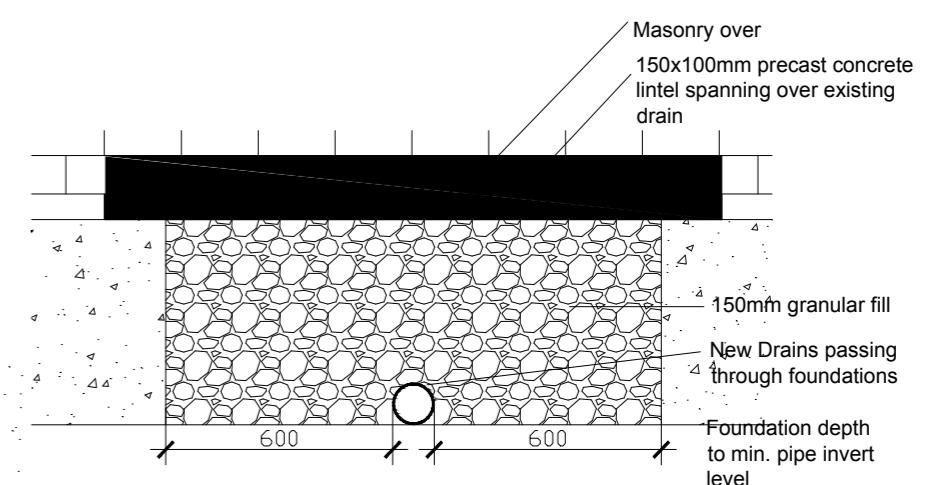
Ref also to approved planning documents with respect to detail, materials and conditions of planning consent



Detail X Foundation detail Typical (1:20)

Roof Type 2 (New Pitched Roof):
Concrete tiles on 25mm battens on counter battens/ Sarking, on 150 x 50mm treated soft wood rafters @ 400 c/c with 100mm Celotex FR5000 fitted tight between rafters with 50mm air gap above. 50mm Celotex FR5000 below rafters, all joists taped as VCL. 12.5mm plasterboard and skim on 25mm battens to form service cavity. Double trimmers around roof light opening

U-value = 0.12 W/m2K
Fire spread rating AA



Detail of bridging arrangement over Existing drains @ 1:20

Internal floor level to match existing

AH ARCHITECTURE		Drawing name: Section Details		
Chartered Architects		Job no: AH 730	Drawing no: 04	Revision: -
		Scale: 1/50 @ A3	Date: 10/11/2025	Drawn by: AH
Project name:				200 West end Road Ruislip HA4 6DU