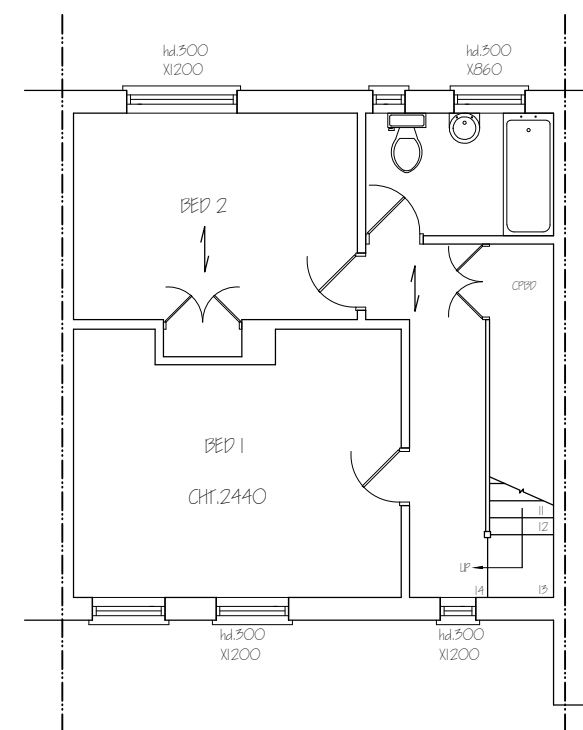


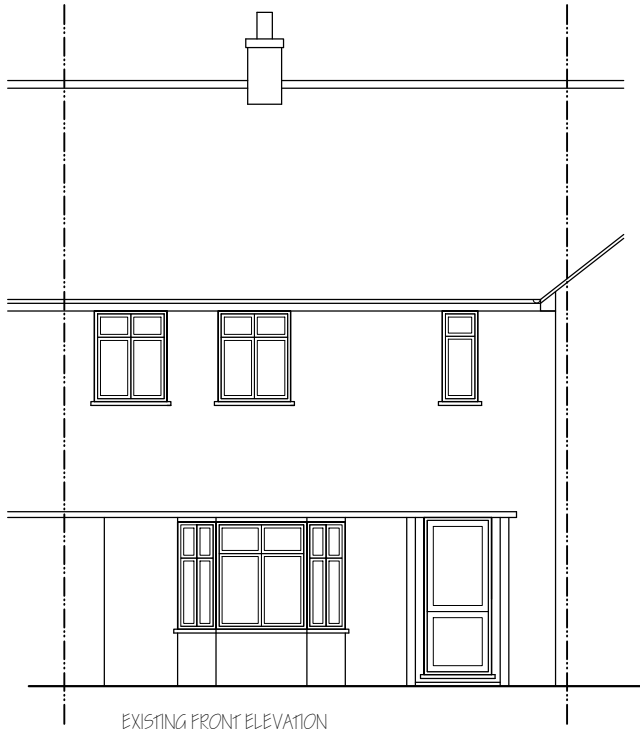
EXISTING GROUND FLOOR PLAN



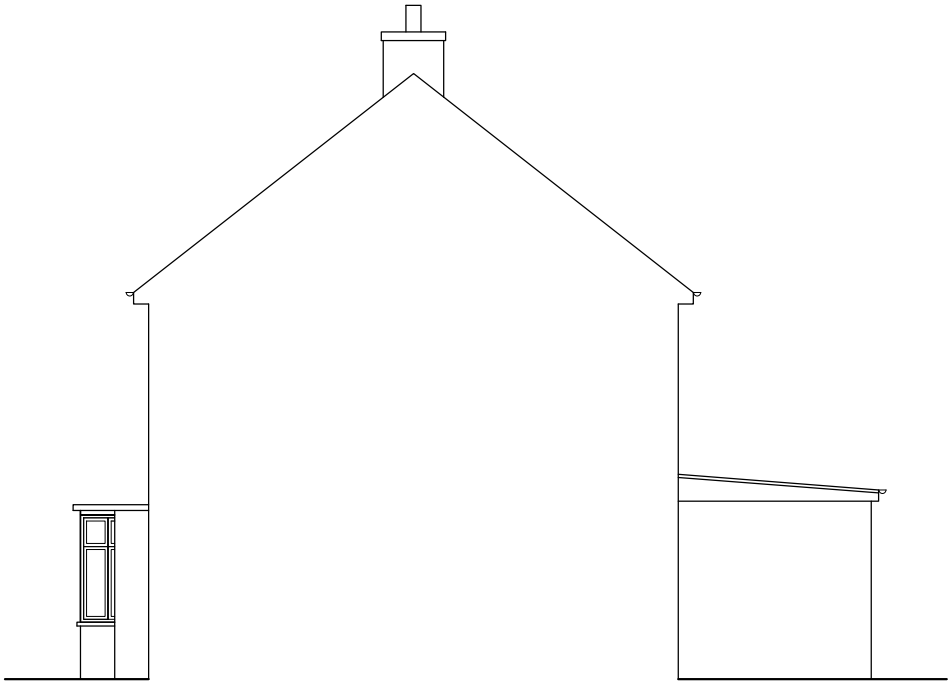
EXISTING FIRST FLOOR PLAN

<b>Nigel Fallon, B.Sc. (Hons)MBEng. 07768-408525</b> <b>Planning &amp; Development Consultant, Building Engineer.</b> <b>164 Japonica Lane,</b> <b>Willen Park,</b> <b>Milton Keynes, MK15 9EE.</b>		<b>ADDRESS:</b> <b>53, THE PINCLE</b> <b>LUXBRIDGE, LUXIO OPH.</b>	
DRAWING TITLE: EXISTING FLOOR PLANS		NO. - 01	REV:
SCALE - 1:100		DATE: 21/04/2023	DRG. PAPER SIZE: A3





EXISTING FRONT ELEVATION



EXISTING SIDE ELEVATION

**Nigel Fallon, B.Sc. (Hons) MEng. 07768-408525**

**Planning & Development Consultant, Building Engineer.**

164 Japonica Lane,  
Willen Park,  
Milton Keynes, MK15 9EE.

DRAWING TITLE: EXISTING/ PROPOSED ELEVATIONS

SCALE - 1: 100

DATE: 21/ 04/ 2023

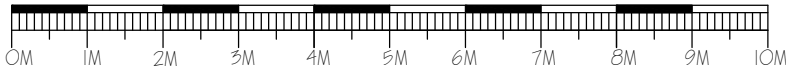
ADDRESS:  
53, THE DINGLE,  
UXBRIDGE, UB10 0DH.

NO. - 02

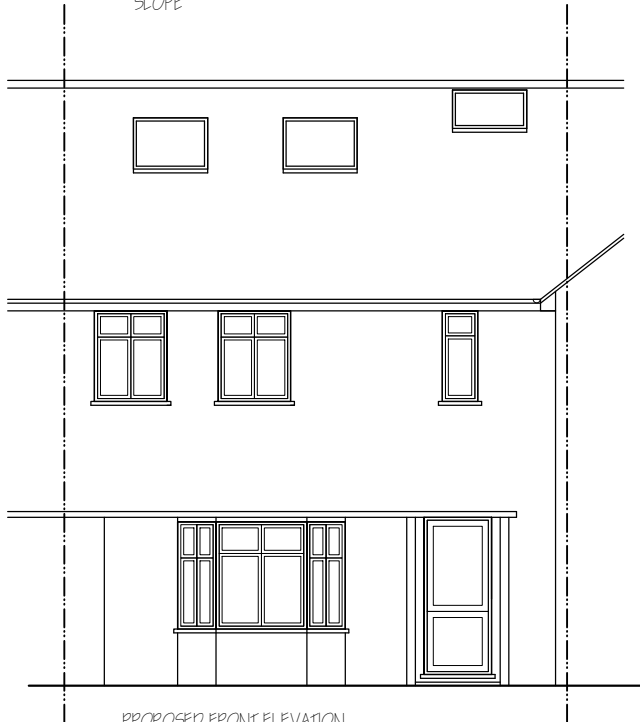
REV:

DRG. PAPER SIZE: A3

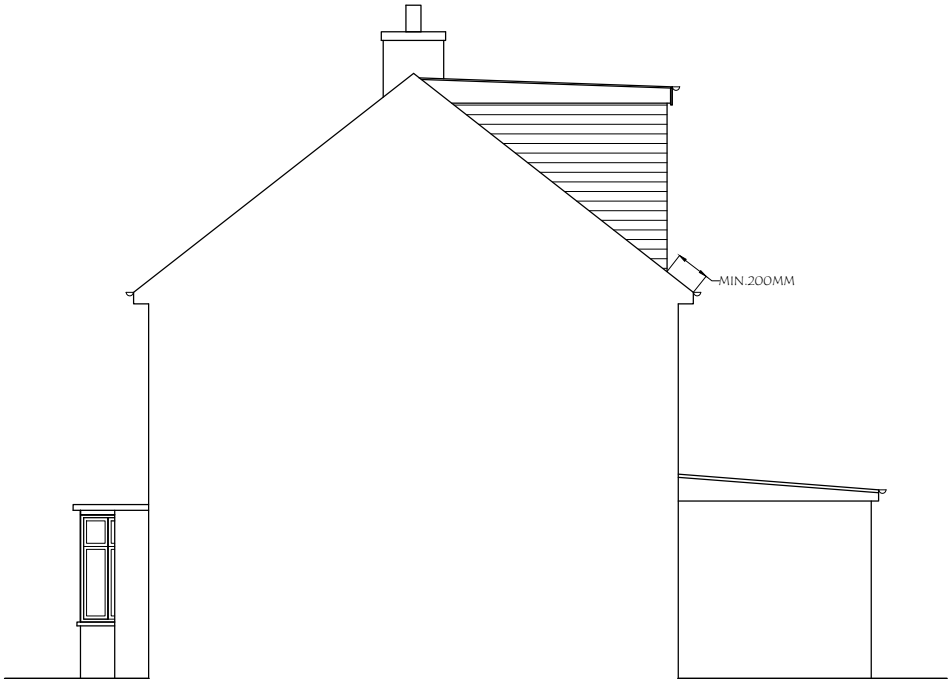
	4.03m² 6.65m	26.80m²
TOTAL =		26.80m²
26.80m² < 40m², THEREFORE 115 P.P.		



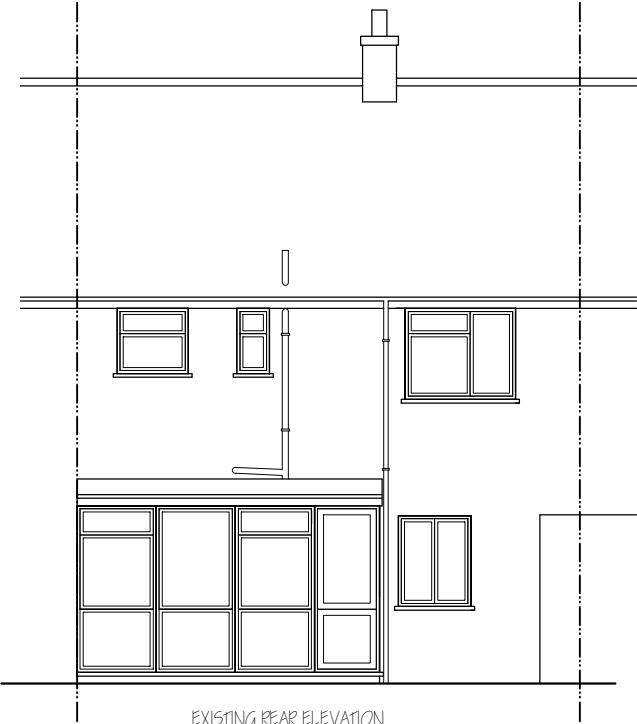
PROPOSED FRONT ROOFLIGHTS WOULD NOT PROJECT  
MORE THAN 15CM FROM THE PLANE OF THE FRONT ROOF  
SLOPE



PROPOSED FRONT ELEVATION



PROPOSED SIDE ELEVATION



EXISTING REAR ELEVATION




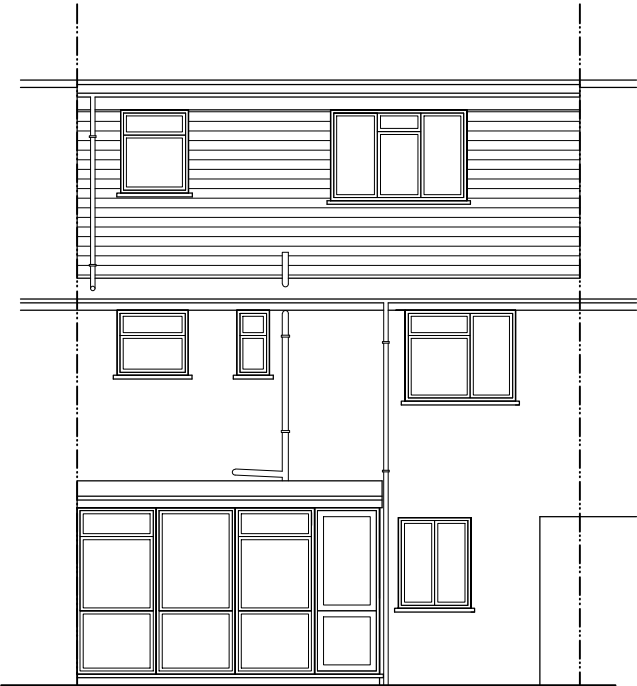
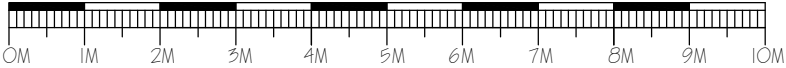
EXISTING SIDE ELEVATION

**Nigel Fallon, B.Sc. (Hons) MEng. 07768-408525**  
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164 Japonica Lane,  
Willen Park,  
Milton Keynes, MK15 9EE.

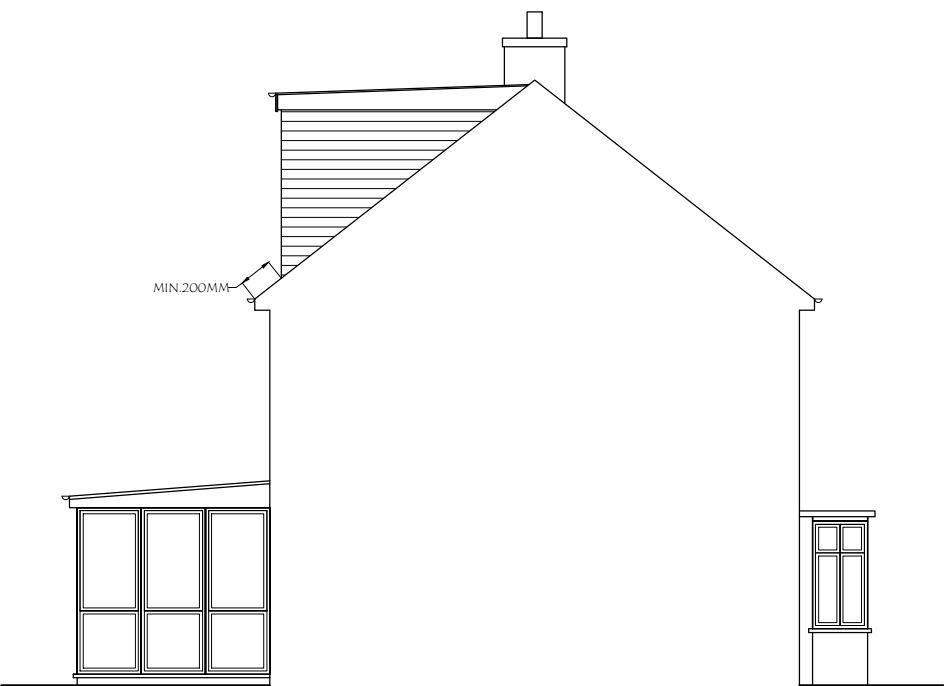
DRAWING TITLE: EXISTING/ PROPOSED ELEVATIONS		NO. - 03	REV:
SCALE - 1: 100	DATE: 21/ 04/ 2023	DRG. PAPER SIZE: A3	

ADDRESS:  
53, THE DINGLE,  
LUXBRIDGE, LU21 0DH.

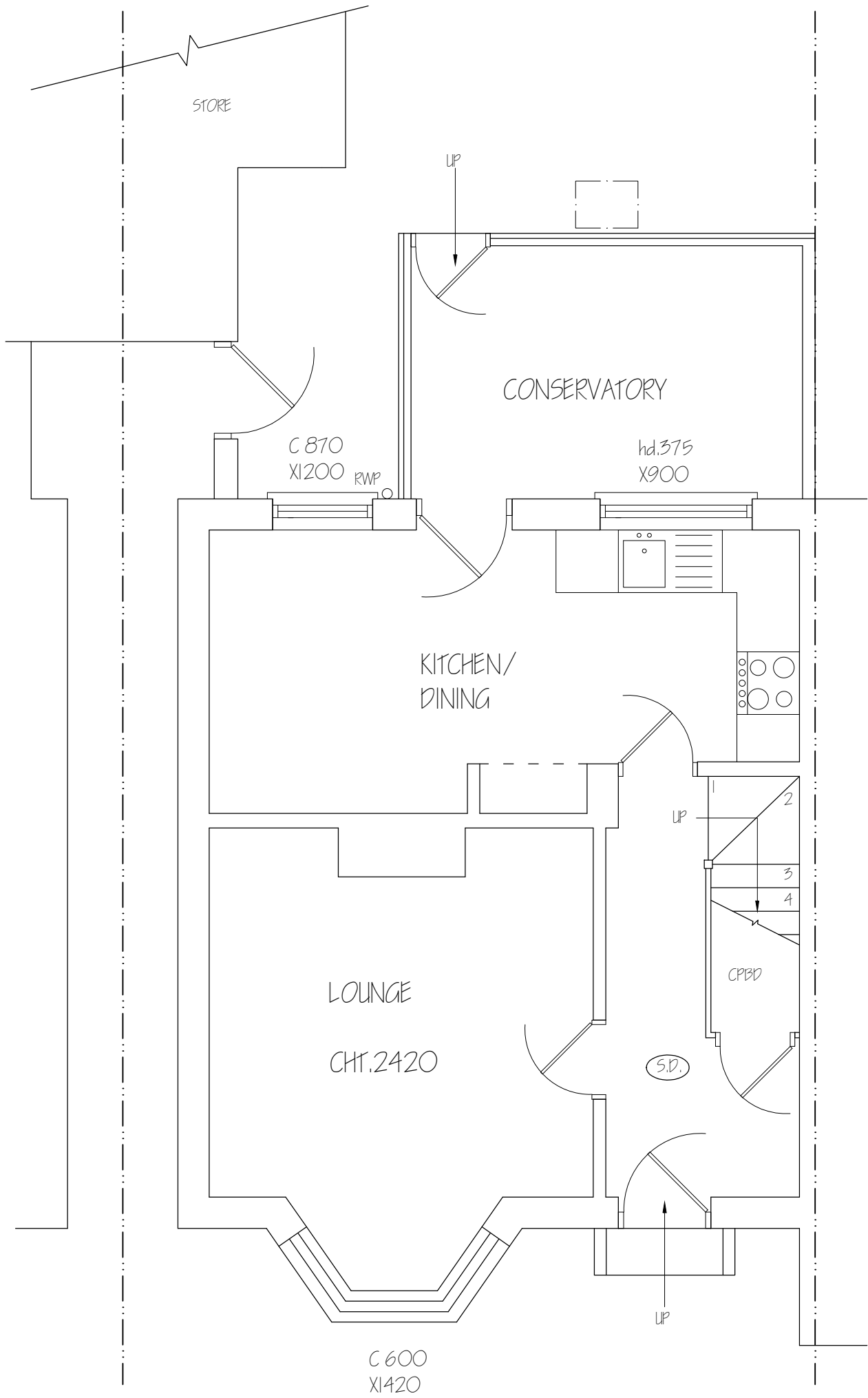
 DORMER	4.03m <sup>2</sup> 6.65m	26.80m <sup>2</sup>
TOTAL =		26.80m <sup>2</sup>
26.80m <sup>2</sup> < 40m <sup>2</sup> , THEREFORE 115 P.P.		



PROPOSED REAR ELEVATION

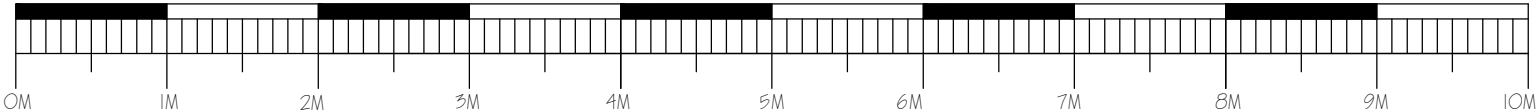


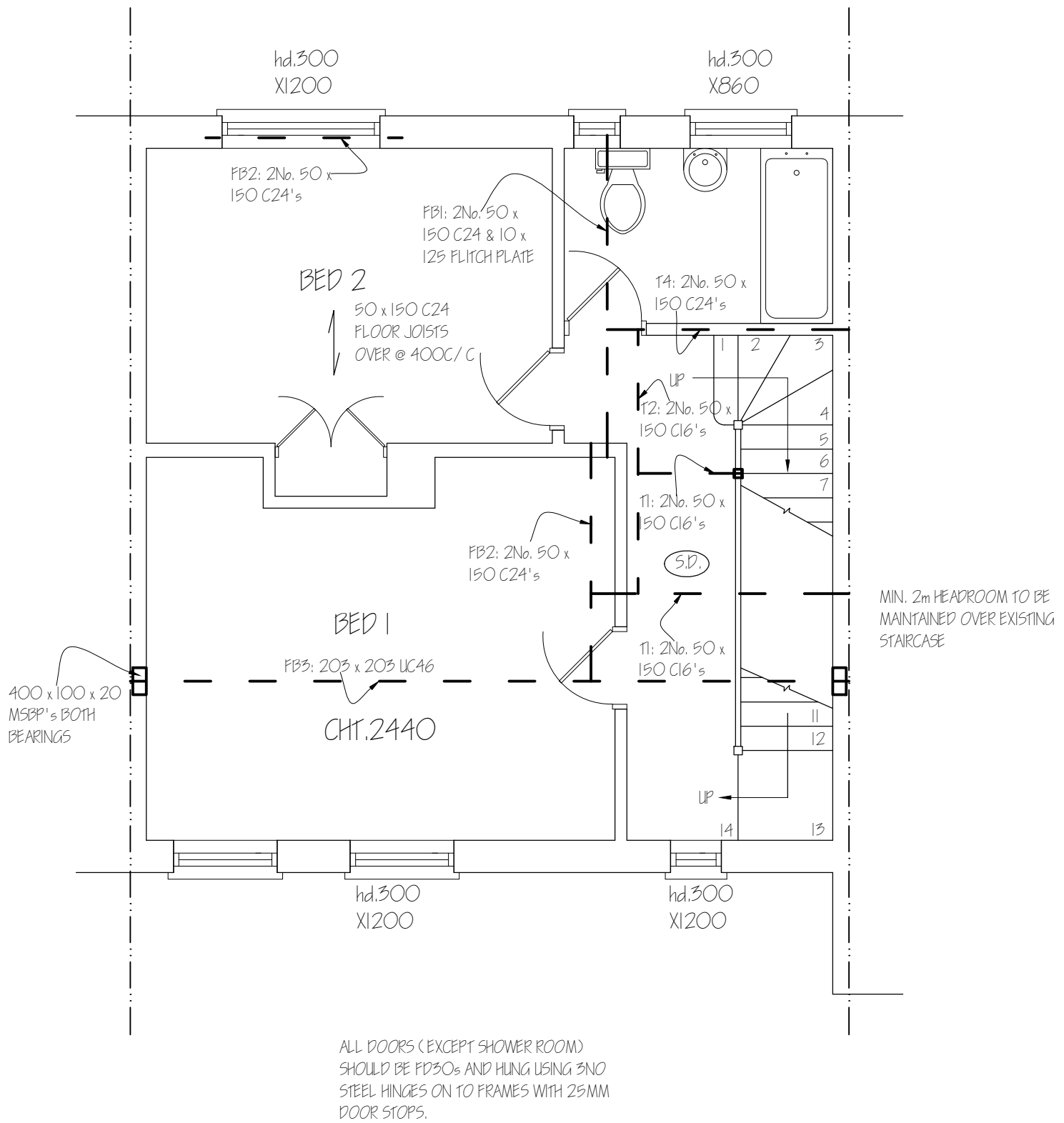
PROPOSED SIDE ELEVATION



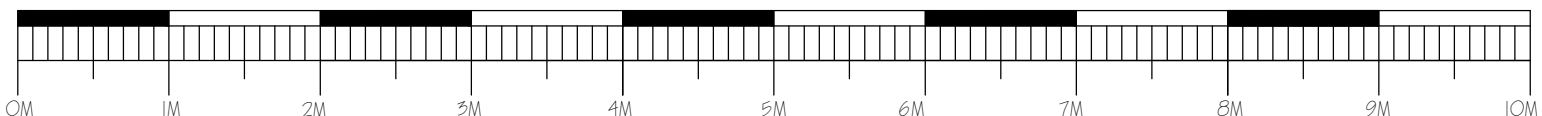
ALL DOORS (EXCEPT SHOWER ROOM)  
SHOULD BE FD30s AND HUNG USING 3NO  
STEEL HINGES ON TO FRAMES WITH 25MM  
DOOR STOPS.

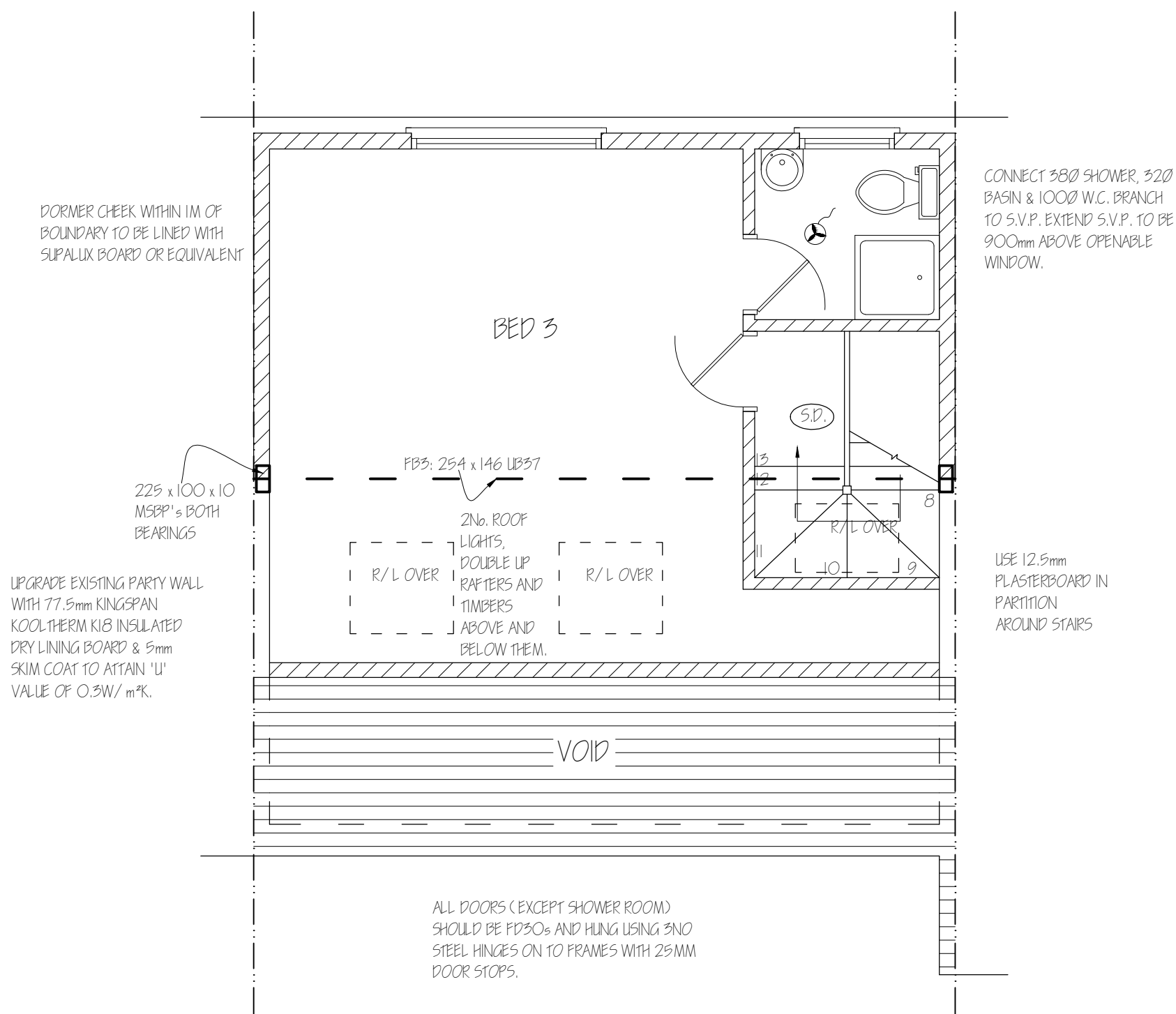
<b>Nigel Fallon, B.Sc. (Hons)MBEng. 07768-408525</b>		ADDRESS: 53, THE DINGLE, LUXBRIDGE, UPTO ODH.	
Planning & Development Consultant, Building Engineer.		NO. - 04	
164 Japonica Lane, Willen Park, Milton Keynes, MK15 9EE.		REV:	
DRAWING TITLE: PROPOSED GROUND FLOOR PLAN		DRG. PAPER SIZE: A3	
SCALE - 1: 50		DATE: 21/ 04/ 2023	



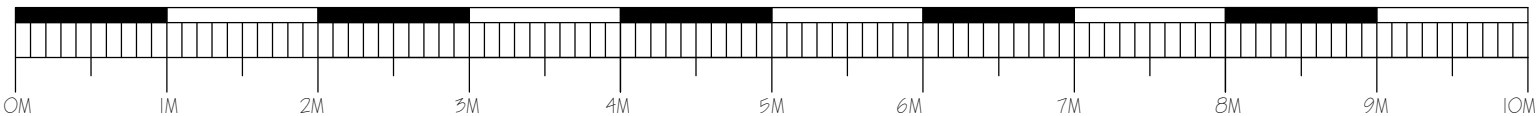


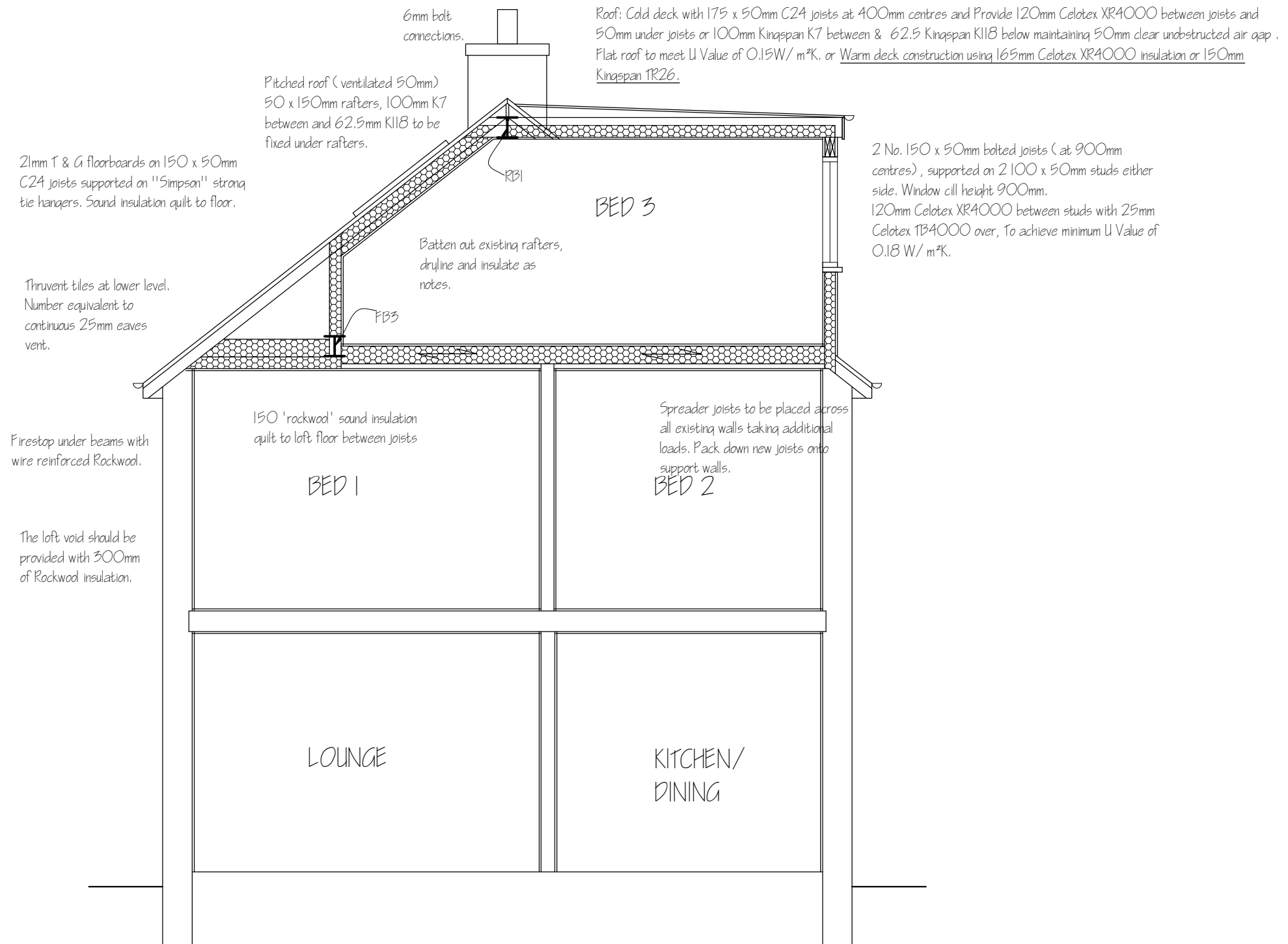
<b>Nigel Fallon</b> , B.Sc. (Hons)MBEng. 07768-408525 Planning & Development Consultant, Building Engineer. 164 Japonica Lane, Willen Park, Milton Keynes, MK15 9EE.		ADDRESS: 53, THE DINGLE, LUXBRIDGE, LU10 0DH.	
DRAWING TITLE: PROPOSED FIRST FLOOR PLAN		NO. - 05	REV:
SCALE - 1: 50	DATE: 21/ 04/ 2023	DRG. PAPER SIZE: A3	





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Planning & Development Consultant, Building Engineer.			
164 Japonica Lane, Willen Park, Milton Keynes, MK15 9EE.		DRAWING TITLE: PROPOSED SECOND FLOOR PLAN	NO. - 06
SCALE - 1: 50		DATE: 21/ 04/ 2023	REV:
		DRG. PAPER SIZE: A3	





<b>Nigel Fallon, B.Sc. (Hons) MBEng. 07768-408525</b> <b>Planning &amp; Development Consultant, Building Engineer.</b> <b>349, Chartridge Lane,</b> <b>Chesham, HP5 2SH.</b>			ADDRESS: 53, THE DINGLE, UNBRIDGE, WILLOUGH.	
DRAWING TITLE: PROPOSED SECTION		NO. - 07		REV:
SCALE - 1: 50		DATE: 21/ 04/ 2023		DRG. PAPER SIZE: A3

