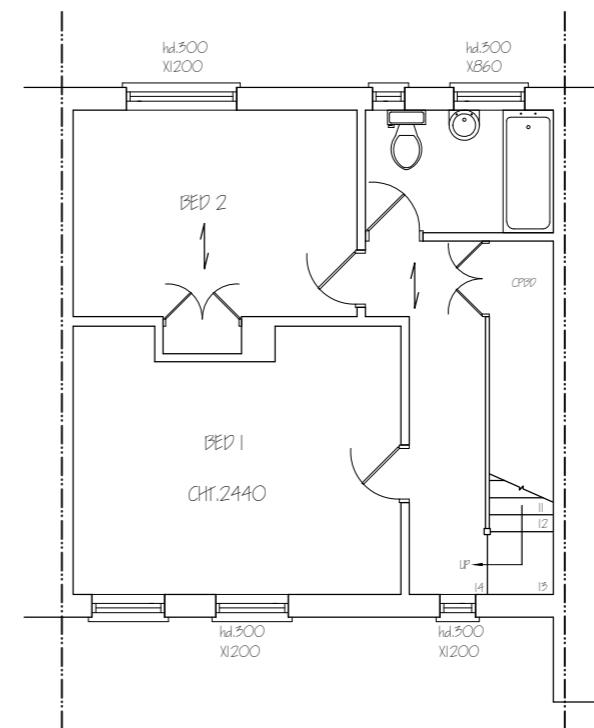
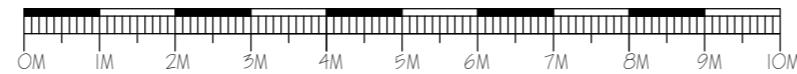


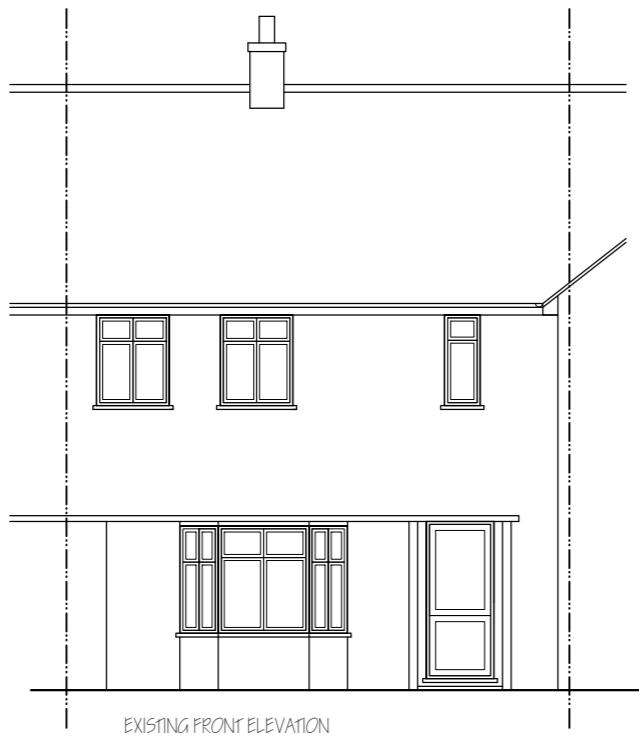
EXISTING GROUND FLOOR PLAN



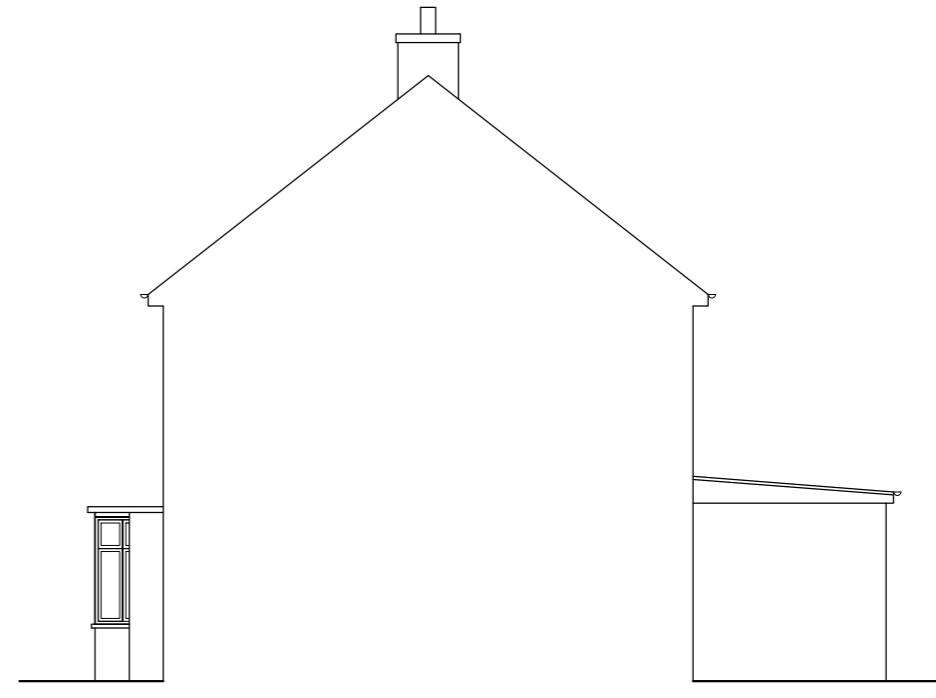
EXISTING FIRST FLOOR PLAN

<b>Nigel Fallon, B.Sc. (Hons) MBEng. 07768-408525</b> <b>Planning &amp; Development Consultant, Building Engineer.</b> <b>164 Japonica Lane,</b> <b>Willen Park,</b> <b>Milton Keynes, MK15 9EE.</b>		<b>ADDRESS:</b> <u>53, THE DINGLE,</u> <u>UXBRIDGE, UB10 0DH.</u>
<b>DRAWING TITLE: EXISTING FLOOR PLANS</b> <b>SCALE: 1: 100</b>		<b>NO. - 01</b> <b>REV:</b> <b>DATE: 21/04/2023</b> <b>DRG. PAPER SIZE: A3</b>



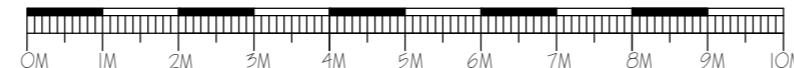


EXISTING FRONT ELEVATION



EXISTING SIDE ELEVATION

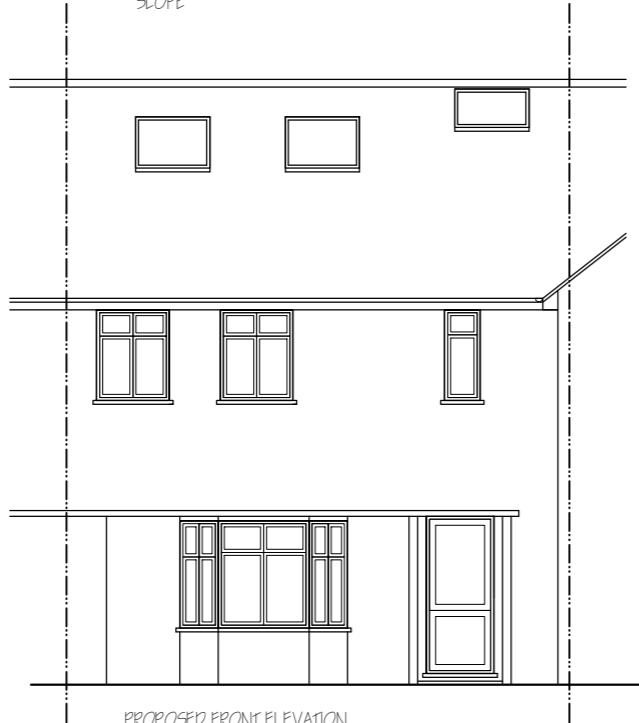
<b>Nigel Fallon, B.Sc. (Hons) MBEng. 07768-408525</b> <b>Planning &amp; Development Consultant, Building Engineer.</b> <b>164 Japonica Lane,</b> <b>Willen Park,</b> <b>Milton Keynes, MK15 9EE.</b>		<b>ADDRESS:</b> <b>53, THE DINGLE,</b> <b>UXBRIDGE, UB10 0DH.</b>	
<b>DRAWING TITLE: EXISTING / PROPOSED ELEVATIONS</b>		<b>NO. - 02</b>	<b>REV:</b>
<b>SCALE - 1:100</b>		<b>DATE: 21/04/2023</b>	
<b>DRG. PAPER SIZE: A3</b>			



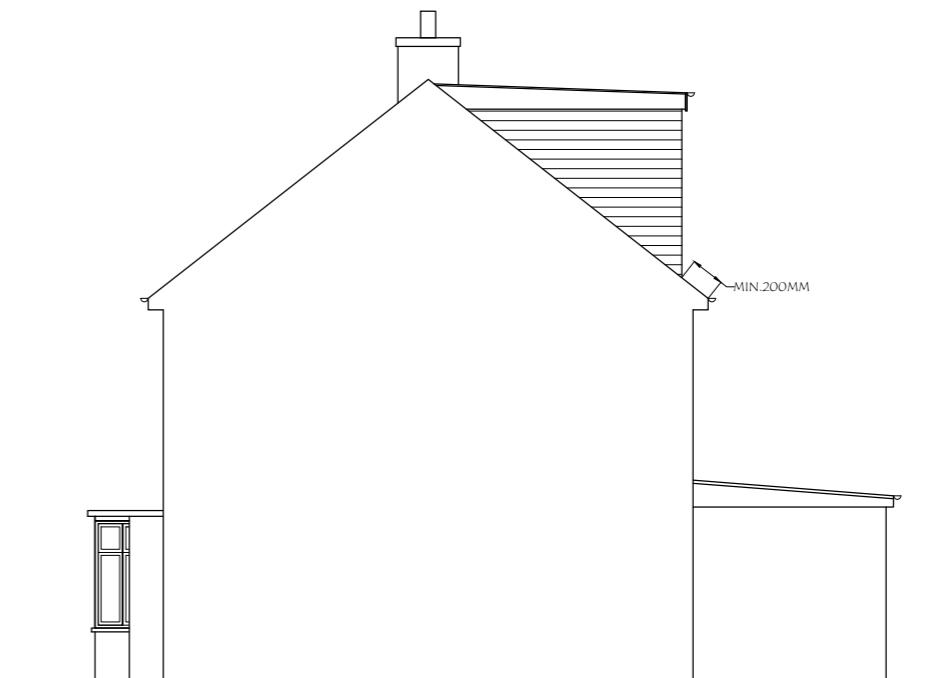
	4.03m <sup>2</sup>	26.80m <sup>3</sup>
DORMER	6.65m	
<b>TOTAL = 26.80m<sup>3</sup></b>		

26.80m<sup>3</sup> < 40m<sup>3</sup>, THEREFORE ITS P.D.

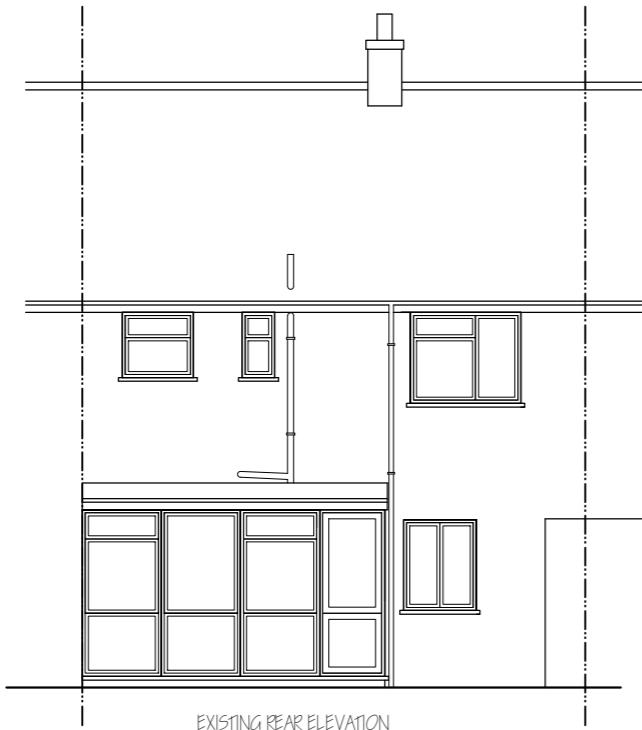
PROPOSED FRONT ROOPLIGHTS WOULD NOT PROJECT  
MORE THAN 15CM FROM THE PLANE OF THE FRONT ROOF  
SLOPE



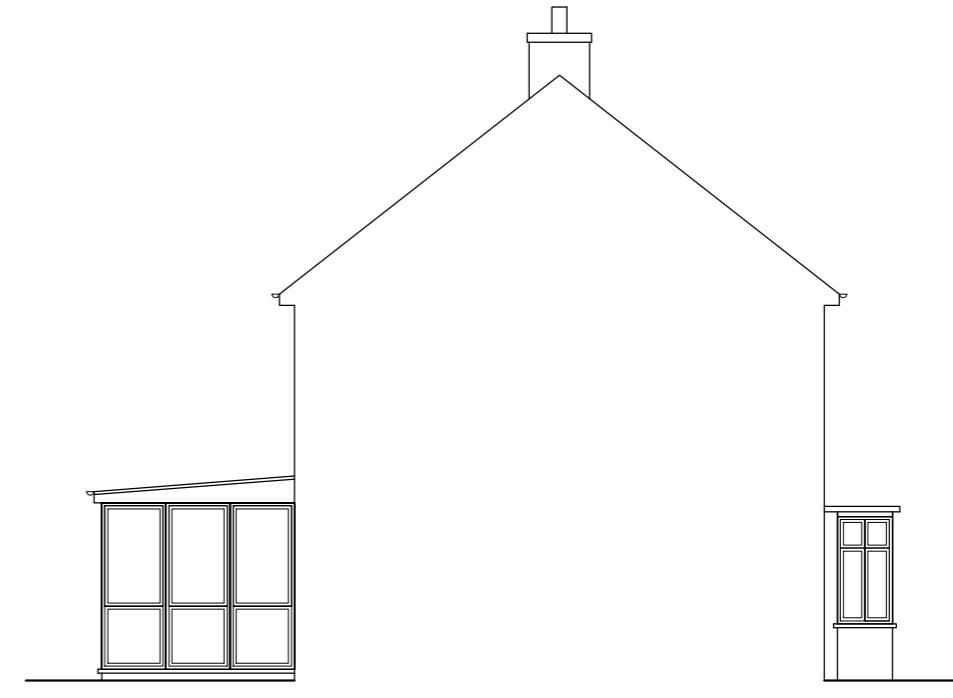
PROPOSED FRONT ELEVATION



PROPOSED SIDE ELEVATION



EXISTING REAR ELEVATION



EXISTING SIDE ELEVATION

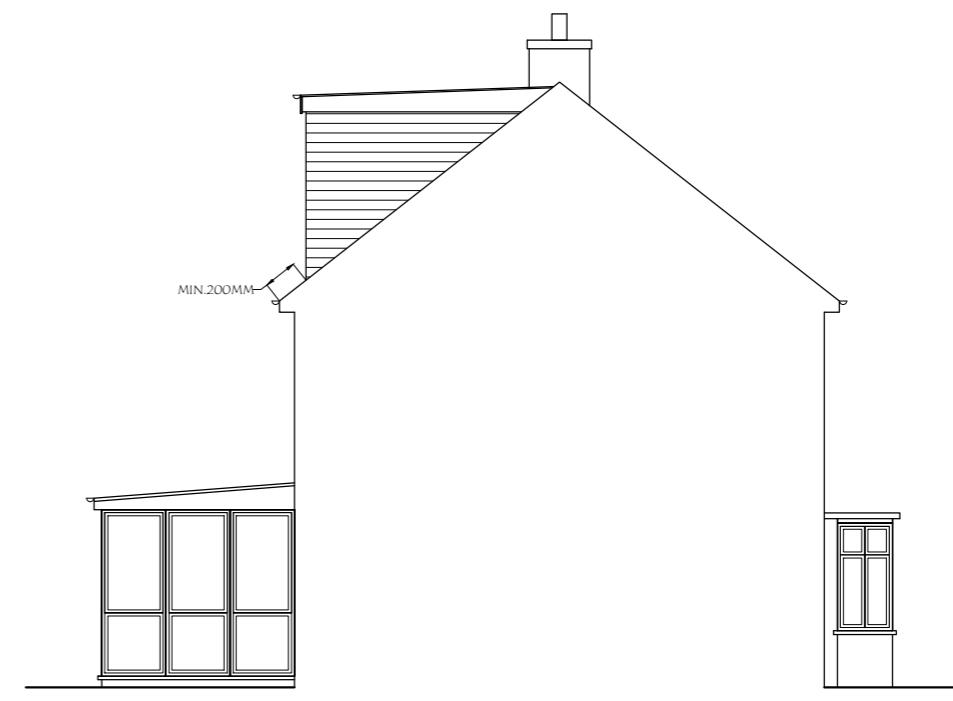
<b>Nigel Fallon, B.Sc. (Hons) MBEng. 07768-408525</b> <b>Planning &amp; Development Consultant, Building Engineer.</b> <b>164 Japonica Lane, Willen Park, Milton Keynes, MK15 9EE</b>		<b>ADDRESS:</b> <b>53, THE DINGLE, UXBRIDGE, UB10 0DH.</b>
<b>DRAWING TITLE: EXISTING / PROPOSED ELEVATIONS</b>		<b>NO. - 03</b> <b>REV:</b>
<b>SCALE - 1:100</b>	<b>DATE: 21/ 04/ 2023</b>	<b>DRG. PAPER SIZE: A3</b>



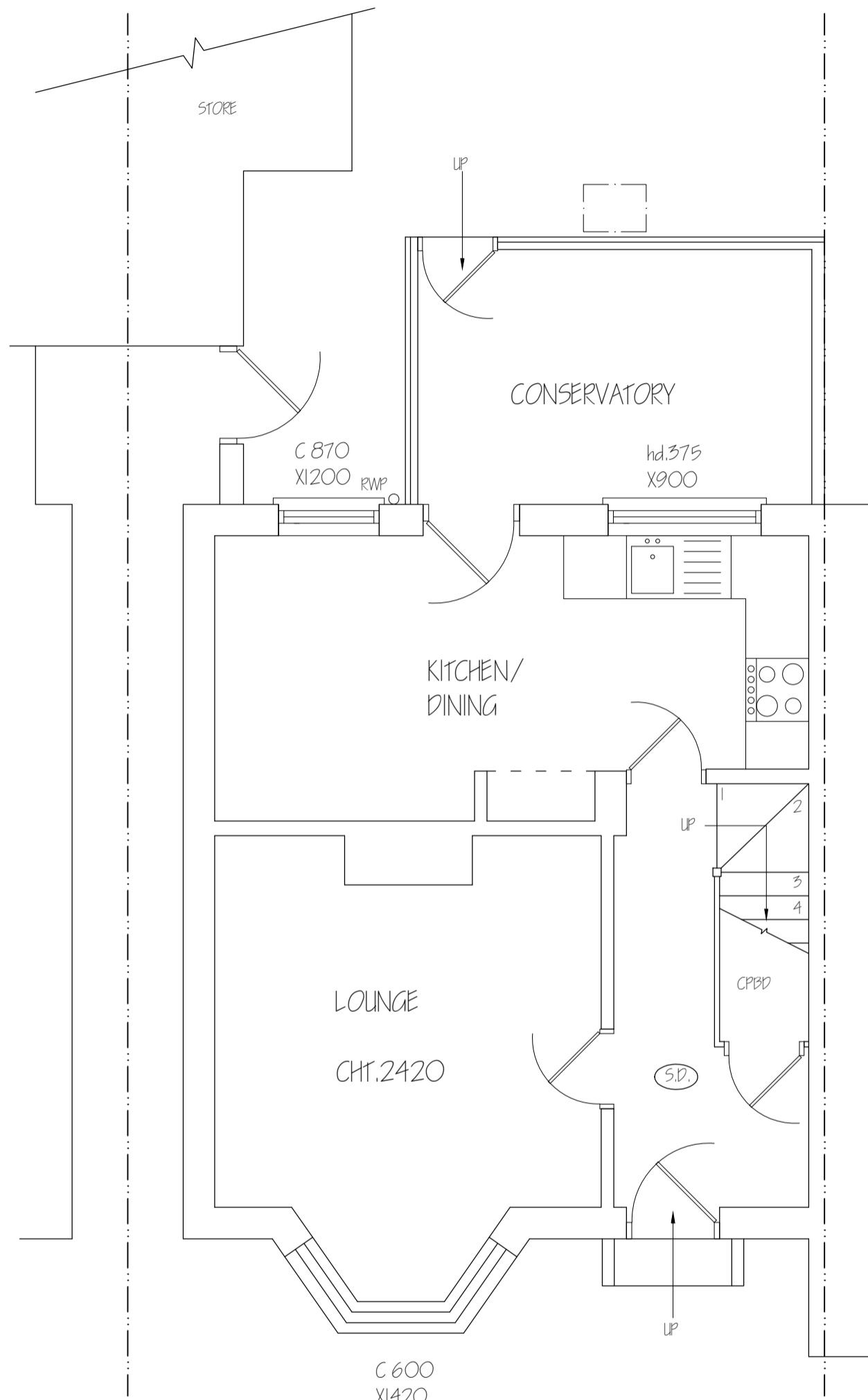
	4.05m <sup>2</sup> 6.65m	26.80m <sup>2</sup>
<b>TOTAL = 26.80m<sup>2</sup></b>		
<i>26.80m<sup>2</sup> &lt; 40m<sup>2</sup>, THEREFORE IT'S P.D.</i>		



PROPOSED REAR ELEVATION

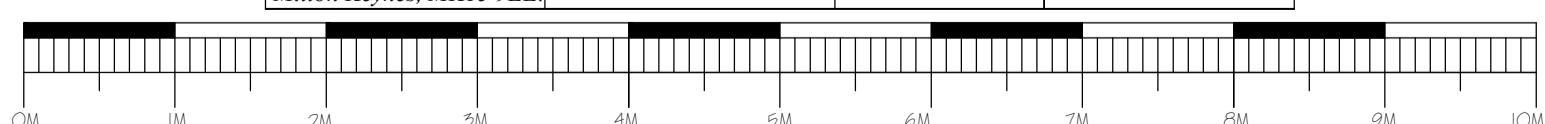


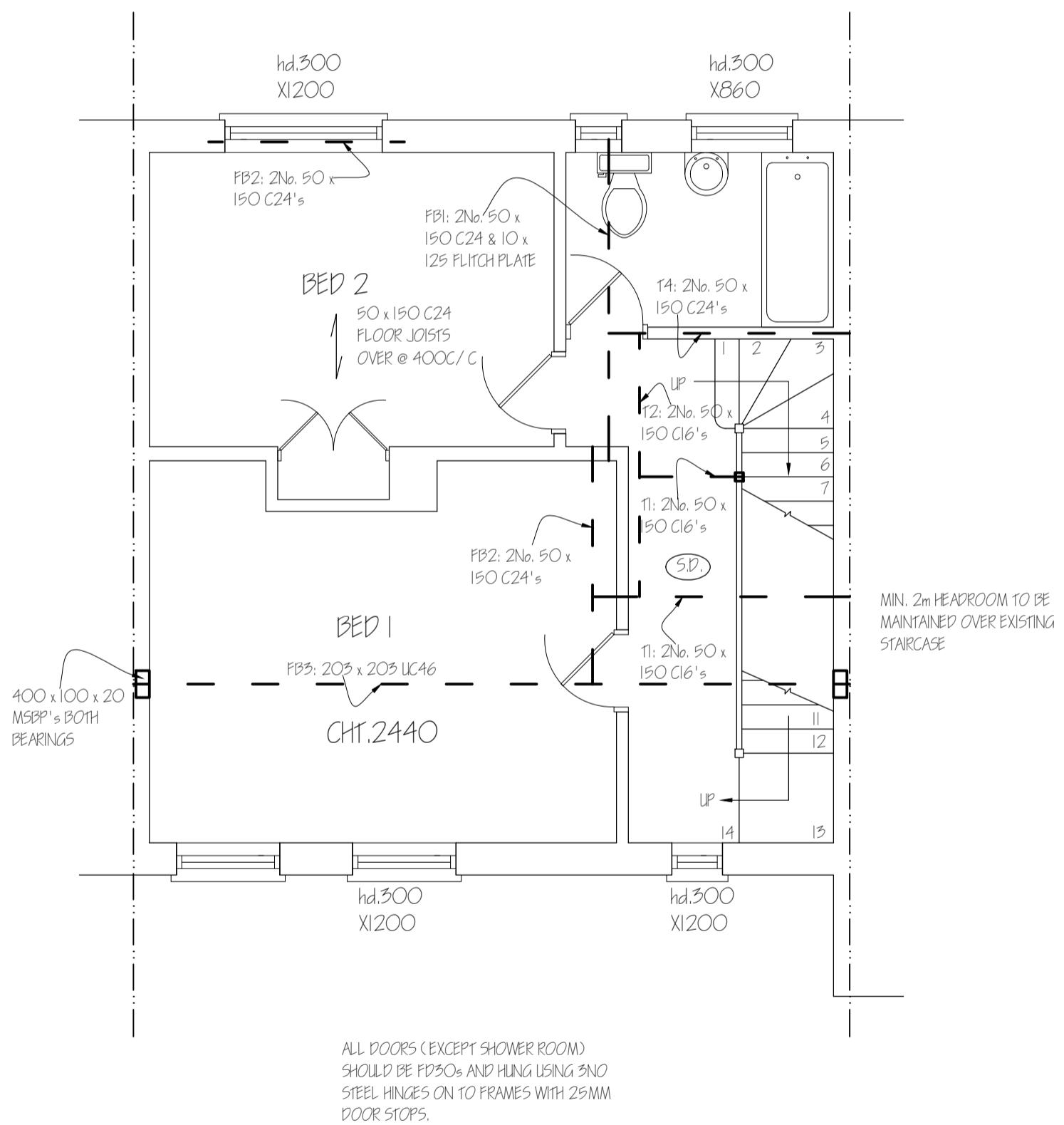
PROPOSED SIDE ELEVATION



ALL DOORS (EXCEPT SHOWER ROOM)  
SHOULD BE FD30s AND HUNG USING 3NO  
STEEL HINGES ON TO FRAMES WITH 25MM  
DOOR STOPS.

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Planning & Development Consultant, Building Engineer.	
164 Japonica Lane, Willen Park, Milton Keynes, MK15 9EE.	DRAWING TITLE: PROPOSED GROUND FLOOR PLAN
SCALE - 1: 50	NO. - 04
	DATE: 21/04/2023
	DRG. PAPER SIZE: A3





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 Milton Keynes, MK15 9EE.

ADDRESS:  
 53, THE DINGLE,  
 LUXBRIDGE, UB10 0DH.

DRAWING TITLE: PROPOSED FIRST FLOOR PLAN

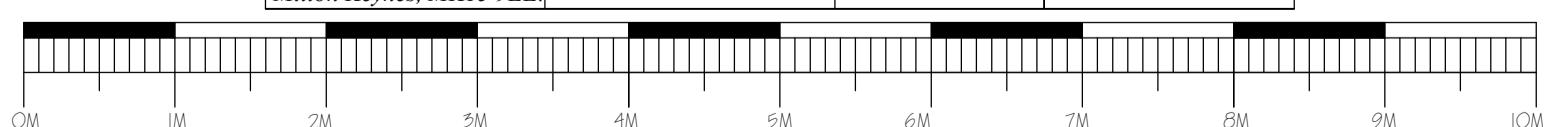
NO. - OS

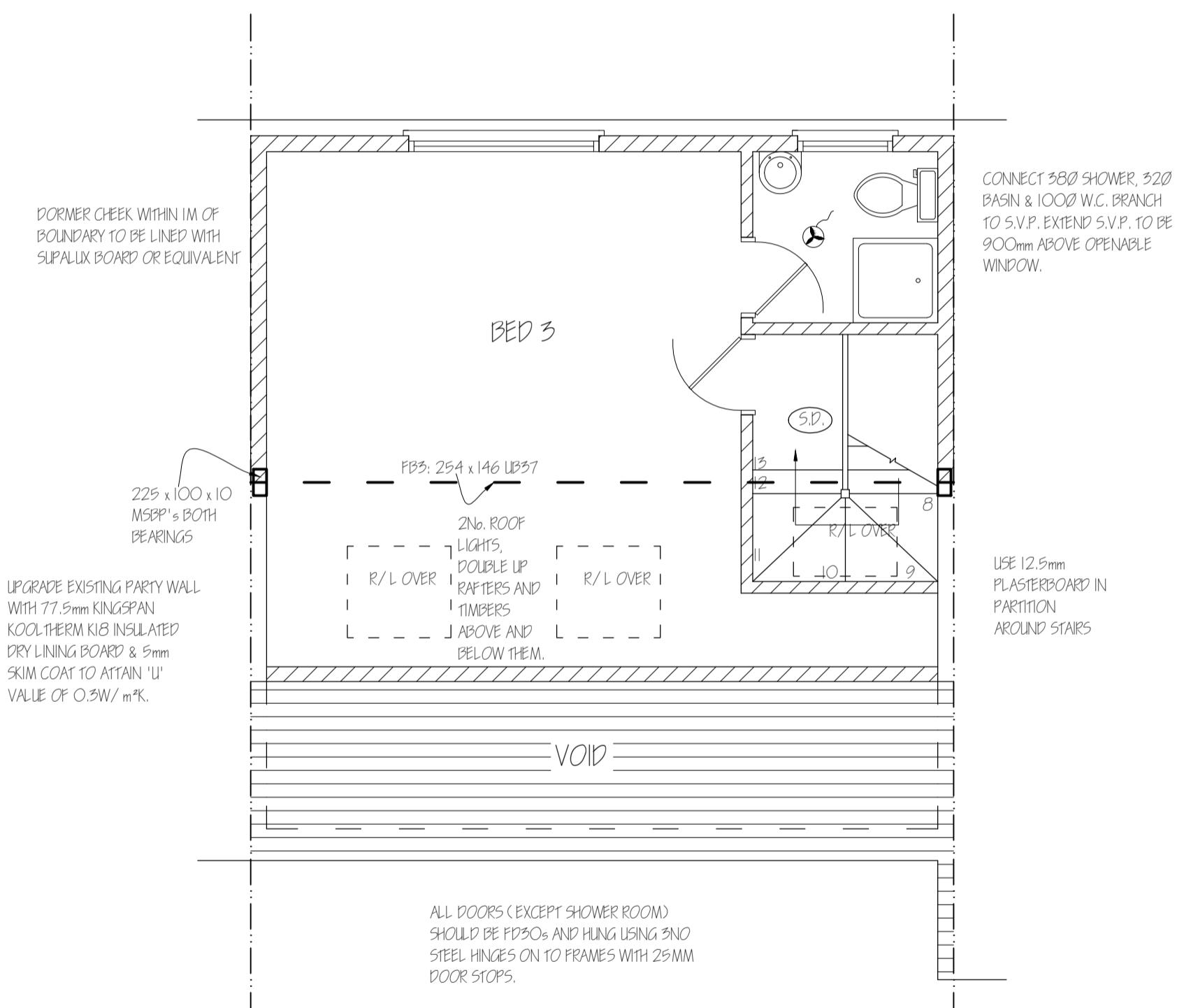
REV:

SCALE - 1: 50

DATE: 21/04/2023

DRG. PAPER SIZE: A3





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 Willen Park,  
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DRAWING TITLE: PROPOSED SECOND FLOOR PLAN

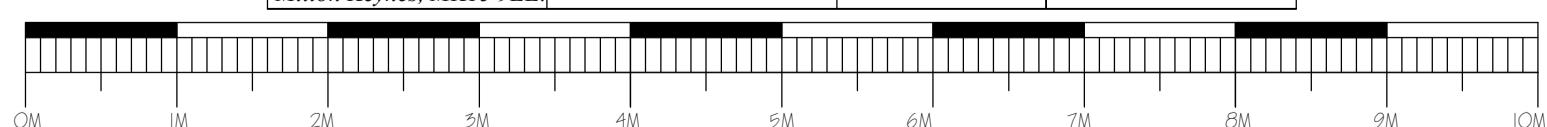
ADDRESS:  
 53, THE DINGLE,  
 LUXBRIDGE, UB10 0DH.

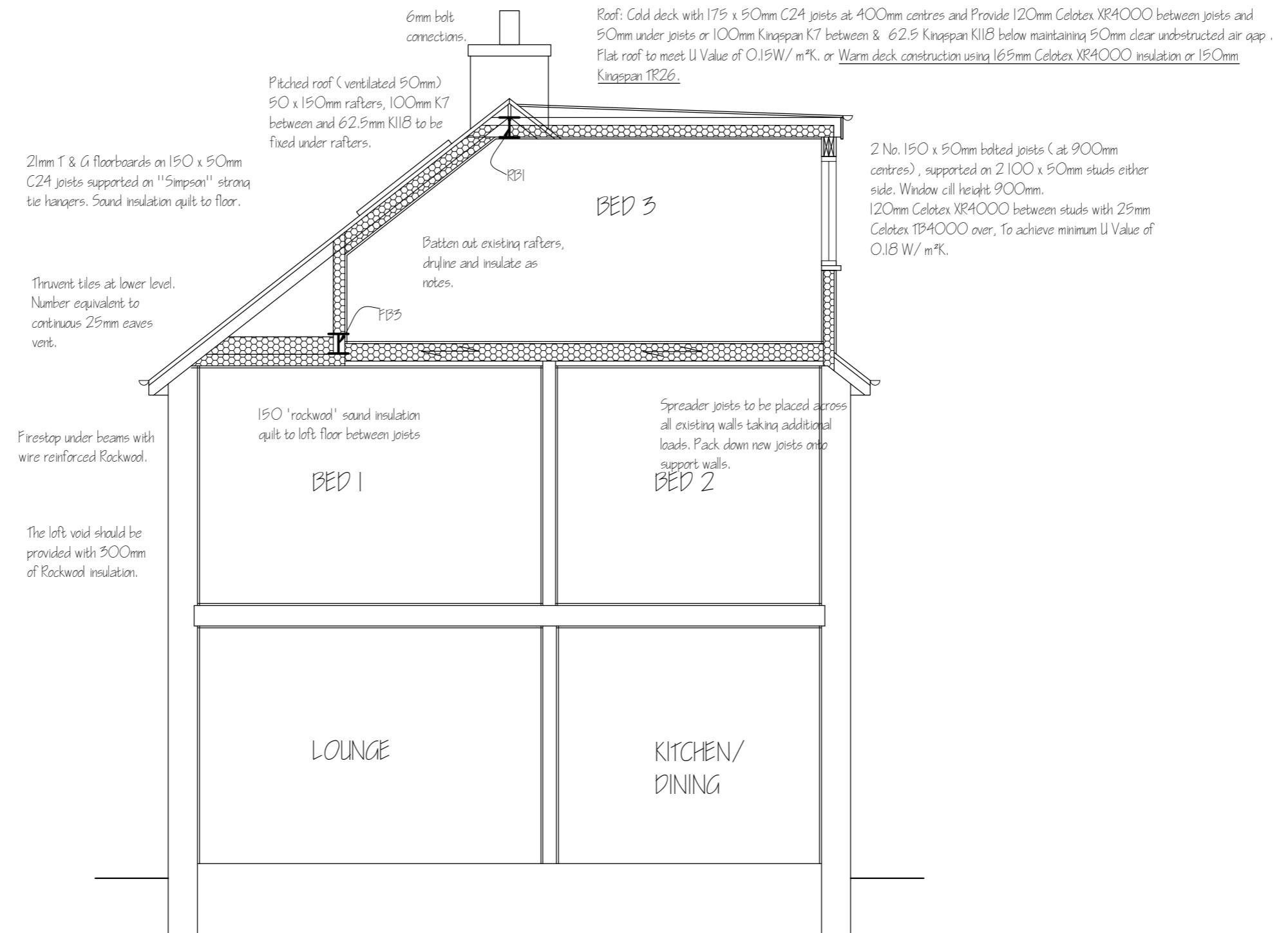
NO. - 06 REV:

SCALE - 1: 50

DATE: 21/04/2023

DRG. PAPER SIZE: A3





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349, Chartridge Lane, Chesham, HP5 2SH.		DRAWING TITLE: PROPOSED SECTION	NO. - 07
		SCALE - 1: 50	REV:
		DATE: 21/04/2023	DRG. PAPER SIZE: A3

