

Planning

ARB/25/00887	Duke of York Square & Cavalry Square, LONDON, SW3 Prune 4 x Platanus x hispanica (London Plane)	ARB/25/00997	19 Pembroke Gardens, LONDON Prune 1 x False Acacia and 1 x Tree of Heaven (front garden)	PLANNING APPEALS RECEIVED There Were no Appeals Received This Week
ARB/25/00909	16 Edwardes Square, LONDON, W8 6HE Prune 1 x Eucalyptus (rear)	ARB/25/01008	Chalfont House, 19-21 Chesham Street, LONDON SW1X 8NG Prune 1 x Cherry (Prunus spp) (T1) in rear garden.	PLANNING APPEALS DECIDED ALL - Appeal Allowed DIS - Appeal Dismissed PAL - Part Allowed WDR = Withdrawn There Were No Appeals Decided This Week
ARB/25/00910	6 Canning Place, LONDON, W8 5AD Prune 1 x Mulberry (rear)	ARB/25/01009	7 Kingsbridge Road, LONDON W10 6PU Prune 1 x Eucalyptus in rear garden.	ENFORCEMENT APPEALS RECEIVED There were no Enforcement Appeals Received For This Period
ARB/25/00991	Flat 1, 9 Pembroke Crescent, LONDON, W11 3DT Prune 1 x Lime (front garden); Prune 7 x Lime, 1 x Viburnum, Remove 1 x Dead Shrub (rear garden)	ARB/25/01010	41 Addison Avenue, LONDON, W11 4QU Prune 1 x Lime Tree in rear garden.	ENFORCEMENT APPEALS DECIDED ALL - Allowed DIS - Dismissed PAL - Part Allowed WDR - Withdrawn There were no Enforcement Appeals Decided For This Period
ARB/25/00992	37 Lansdowne Road, LONDON, W11 2LQ Prune 1 x Oak (rear) and 1 x Crab Apple (front)	ARB/25/01011	43 Addison Avenue, LONDON, W11 4QU Prune 1 x False Acacia in rear garden.	

Local Planning Applications

London Borough of Hammersmith & Fulham

PLANNING (LISTED BUILDINGS AND CONSERVATION AREAS) ACT 1990
give notice that applications have been made to the Council of the London Borough of Hammersmith & Fulham as follows:
FOR DEVELOPMENT WHICH MAY AFFECT THE CHARACTER OR APPEARANCE OF A CONSERVATION AREA
1A Durrell Road London SW6 5LQ 2025/00352/FUL
Demolition of the existing semi-detached single dwellinghouse and erection of 3no. new dwellinghouses plus basement with front and rear lightwells, including erection of new low level brickwork from boundary wall, new metal railings on top and brick piers; erection of 3no. bike stores in the rear garden, and provision of 2no. cycle spaces amalgamated with part of the rear garden to the rear of no. 720 Fulham Road; removal of existing crossover and reinstatement of footpath/kerb to the front elevation
Maisonette First And Second Floors 12 St Dunstan's Road London W8 8RB 2025/00402/FUL
Erection of 1.1m high metal railings to replace existing timber railings to the front elevation of first floor balcony.

King Charles House, Harriet House, Queen Catherine House, Stanley Bridge Studios And Stamford Bridge Studios Wandon Road London SW12 2JH 2025/00154/FUL
Alterations to King Charles House to include: installation of external wall insulation (EWI) and encasement of existing external pipework, replacement windows, installation of louvred panels, kitchen extract vents, glazed openable screens to existing recessed boxes; removal of external canopy of roof terrace; removal of existing canopy and existing canopies and external doors; alterations to Harriet House, Queen Catherine House, Stanley Bridge Studios and Stamford Bridge Studios to include: replacement windows, replacement ventilation fans, additional kitchen fans to Harriet House and Queen Catherine House; associated works.

LBHF: Land To The North Of The A40 (the Westway) Adjacent To The Translation And Innovation Hub (The Old Wood) London W12 0EZ. (RBKC: Land At 18a, 299-301 The Old Wood Road, London W10 6HJ) 2025/00368/FUL
Construction of a new publicly accessible underpass for pedestrian and cyclist between Imperial White City Campus and Latimer Road.

19 Favart Road London SW6 4AX 2025/00265/FUL
Erection of a rear extension at second floor level, over part of the first floor back addition; raising the height of existing first floor back addition to form a new flat roof, in connection with the proposed roof terrace; the removal of metal railings on top; erection of a single storey rear extension; formation of external steps in the front garden leading to the existing front lightwell; removal of existing folding doors to the rear elevation at basement level, to enclose existing rear lightwell.

19 Favart Road London SW6 4AX 2025/00266/FUL
Excavation of part of the rear garden, in connection with the enlargement of the existing basement.

10 Allard Road London W6 0PW 2024/02550/FUL
Erection of a rear extension at second floor level, on top of the existing back addition following the removal of existing roof terrace; installation of 12no. solar panels above the main flat roof at roof level; installation of 6no. and solar panels in the front roof slope; installation of solar panels above the main flat roof at roof level; installation of a new dormer window, 1no. rooflight and 2no. solar panels in the rear roof slope; installation of solar panels, 1no. air conditioning unit above the roof of second floor rear back addition; infilling of the existing rear window and installation of a new rear window of the rear back addition at first floor level; installation of a new rooflight, 1no. air source heat pump and 1no. air conditioning unit above the roof of lower ground floor back addition; replacement of existing windows with new double glazed timber framed windows.

Flats 1 And 3 125 Moore Park Road London SW6 4PS 2025/00365/FUL
Amalgamation of 2no. self-contained two bedroom flats at basement, ground and part first floor; to a single self-contained three bedroom dwelling unit; together with associated internal alterations (Retroconversion).

349 Fulham Palace Road London SW6 6TB 2025/00400/FUL
Installation of a new shopfront comprising of new glazing, doors and timber stall risers to replace the existing doors, glazing and tiled stall risers.

700 Fulham Road London SW6 5SA 2025/00424/ADV
Display of 2no. internally illuminated fascia signs, 1no. non-illuminated fascia sign with vinyl lettering, 1no. non-illuminated fascia sign, 2no. internally illuminated projecting signs and 2no. vinyl applied internal to shopfront glazing.

Flat 3 First Floor Left 122 - 124 Blythe Road London W14 0HD 2025/00010/FUL
Replacement of 2no. existing single glazed timber framed windows with new single glazed timber framed windows to the front elevation, and replacement of 1no. existing single glazed timber framed window with a new single glazed timber framed window to the rear elevation at first floor level.

1 124 Blythe Road London W14 0NP 2025/00428/FUL
Erection of a part one part two storey rear extension at ground and first floor level, following the demolition of the existing single storey rear extension; replacement of windows to the front bay window at ground floor level.

31 Ewell Road London SW6 3NB 2025/00341/FUL
Erection of a single storey rear extension to the side of the existing back addition; installation of 1no. new rooflight above the new flat roof at roof level and replacement of 2no. existing rooflights with new enlarged rooflights in the front roof slope; replacement of the existing window with a new enlarged window to the rear elevation; and installation of a new dormer window to the side of rear back addition at second floor level; infilling

of the existing window and installation of a new window to the side of rear back addition at first floor level; alterations to the roof of ground floor rear back addition to include the removal of existing rooflights with a new rooflight; installation of new render finish to replace the existing doors and windows at ground floor level to the rear elevation
16 Brook Green London W6 7BL 2025/00345/FUL
Partial demolition of the front boundary wall, erection of 4no. painted render finish piers with an electrical vehicle charging point to the rear of 1no. pier, installation of a pedestrian access gate with fixed painted black railings and erection vehicular entrance gates at the front elevation; alterations to the front forecourt area to include the formation of a new hard standing by replacing paving slabs with granite cobble and formation of a crossover for vehicular access; erection of metal railings in the centre of shared flowerbed in between property no. 16 and 17 Brook Green to the front side of the property.

44 Lena Gardens London W6 7PZ 2025/00364/FUL
Alterations to the front facade to front gable feature and main roof, erection of a new ground floor front extension together with an additional floor at roof level to form a first floor with 1no. solar panel and 1no. rooflight at roof level, and new door opening to the side elevation at ground floor level; alterations to the front boundary wall to include relocation of the existing gates, erection of new fencing and brickwork; associated landscaping.

61 Godolphin Road London W12 8JN 2025/00359/FUL
Replacement of 1no. door with a double glazed timber framed window to the front (western) elevation of the building at ground floor level; replacement of existing windows with new double glazed windows.

Flat 2 Second Floor 72 St George Road London W12 7HL 2025/00229/FUL
Installation of a glazed roof access hatch to the flat roof at main roof level together with the formation of a new private, accessible roof terrace over part of the flat roof surrounded by a 1100mm high glazed balustrade.

492 Fulham Palace Road London SW6 6HZ 2025/00383/FUL
Replacement of existing timber single glazed windows with new timber double glazed windows to front and rear elevations.

Maisonette A Basement And Ground 50 Cambridge Grove London W6 0LA 2025/00394/FUL
Replacement of existing timber single glazed windows with new timber double glazed windows to front and rear elevations.

45 Bassett Park Road London W12 9RW 2025/00378/FUL
Erection of a new rear roof extension involving an increase in the ridge height by 150mm; erection of a rear extension at second floor level over part of the existing back addition; infilling of the existing rear window and installation of a new rear window of the rear back addition at first floor level; installation of a new rooflight, 1no. air source heat pump and 1no. air conditioning unit above the roof of lower ground floor back addition; replacement of existing windows with new double glazed timber framed windows.

11 Narborough Street London SW6 3AP 2025/00388/FUL
Erection of a rear roof extension, including installation of French doors and a Juliet balcony; erection of a rear extension at second floor level over part of the existing back addition; removal of the remaining rooflights of the roof of the rear back addition; second floor level to form a roof terrace enclosed with a 1700mm high recessed glazed screen; installation of French doors to the rear elevation of the proposed rear extension at second floor level to provide access to the proposed roof terrace; and installation of 3no. rooflights to the front roof slope.

Lion House 2 Ryecroft Street London SW6 3TT 2025/00405/FUL
Erection of a front roof extension; erection of a single storey rear extension including a new single storey rear extension at ground floor level; infilling of the roof of the rear extension at main roof level; installation of new timber framed double-glazed sash windows to replace existing windows; erection of a new brick-built front boundary wall with black metal railings on top and black metal entrance gate; replacement of existing timber bin store with a brick-built bin store to the front garden; and replacement of existing steps and tiles to front entrance area.

FOR CONSERVATION AREA CONSENT (DEMOLITION WORK)
FOR DEVELOPMENT WHICH MAY AFFECT THE SETTING OR CONTEXT OF A LISTED BUILDING

16 Brook Green London W6 7BL 2025/00345/FUL
Partial demolition of the front boundary wall, erection of 4no. painted render finish piers with an electrical vehicle charging point to the rear of 1no. pier, installation of a pedestrian access gate with fixed painted black railings and erection vehicular entrance gates at the front elevation; alterations to the front forecourt area to include the formation of a new hard standing by replacing paving slabs with granite cobble and formation of a crossover for vehicular access; erection of metal railings in the centre of shared flowerbed in between property no. 16 and 17 Brook Green to the front side of the property.

Maisonette A Basement And Ground 50 Cambridge Grove London W6 0LA 2025/00384/FUL
Replacement of existing timber single glazed windows with new timber double glazed windows to front and rear elevations.

Anyone who wishes to make representations about these applications should do so by 19th March 2025. See below for ways of commenting on applications.

Director of Planning and Property of Place Department

on behalf of HAMMERSMITH & FULHAM COUNCIL

You can view applications, make comments and monitor their progress on our website: www.bhf.gov.uk/planning Click on the 'Planning Online' logo on the Planning Home Page.

You can also e-mail comments to: planningcomments@bhf.gov.uk

You can also make comments by telephone to the planning department at our

CUSTOMER SERVICE CENTRE 145 KING STREET W6 9JU between 9.00am and 5.00pm, Monday to Friday, excluding public holidays.

If you want to make comments on applications please E-mail them through our website or post them to **DEVELOPMENT MANAGEMENT SERVICE PLANNING AND DEVELOPMENT DEPARTMENT TOWN HALL KING STREET W6 9JU** by the date shown above. Please include the application reference number and the name of the planning officer. We will try to consider any representations received after the date indicated but this cannot be guaranteed so please reply promptly. For initial enquiries call our information and reception service on **020 8753 1081**.



Send us your comments about planning applications via our website: www.bhf.gov.uk/planning

LONDON BOROUGH OF HILLINGDON APPLICATIONS FOR PLANNING PERMISSION

CATEGORY B - Applications under the Planning (Listed Buildings and Conservation Areas) Regulations 1990

Ref: 26843/APP/2025/276 4 Wood Lane Ruislip Proposal: Erection of a single storey infill extension to the rear, following the demolition of existing conservatory and amendments to fenestrations and alterations to front drive Application for Planning Permission (which would, in the opinion of the Council, affect the character or appearance of **Old Uxbridge** in **Windsor SL Conservation Area**)

Ref: 942/APP/2025/215 Boots The Chemist 163 High Street, Uxbridge Proposal: Shopfront alterations, including signage, fascia/ shopfront decoration, replacement awning fabric and internal alterations (Application for Listed Building Consent Application for Planning Permission (which would, in the opinion of the Council, affect the character or appearance of **Old Uxbridge** in **Windsor SL Conservation Area**))

Ref: 73720/APP/2025/321 The former Red Lion PH 287 High Street Proposal: Erection of a 2 storey rear infill extension, a roof extension, and external alterations to expand the existing Bed and Breakfast (B&B) on the upper floors and external alterations to restore the Public House. Application for Planning Permission (which would, in the opinion of the Council, affect the character or appearance of **Harlington Village Conservation Area**)

Ref: 29804/APP/2025/313 15 Manor Road Ruislip Proposal: Erection of a two-storey side and rear extension following demolition of existing garage. Application for Planning Permission (which would, in the opinion of the Council, affect the character or appearance of **Ruislip Village Conservation Area**)

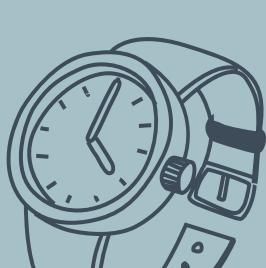
Ref: 73243/APP/2025/270 Land to South of Greengend 17 Dene Road Northwood Proposal: Variation of Condition 2 (Approved with Condition 2 of planning permission ref. 73243/APP/2022/535, dated 11-11-2024) Erection of 6 dwellings with new access to Foxhill and erection of 3 dwellings with new access to Dene Road with associated landscaping and parking to amend details of plots 1 and 2 to allow additional accommodation, an amendment to the design of the dormer on plot 2, and increases in size to the rear single storey garden rooms, and the installation of PV panels on the roofs. Skylights are limited to the rear elevations. While there is a marginal increase in ridge height, this is partially compensated by a lowering of the finished floor levels of plots 1 and 2 Application for Planning Permission (which would, in the opinion of the Council, affect the setting of the Listed Building (s) in the vicinity of the development).

Copies of the applications and accompanying plans are available to view online at www.hillingdon.gov.uk. Any representations on the applications should be submitted in writing to Planning Services, London Borough of Hillingdon, Civic Centre, Uxbridge, Middlesex, UB8 1UW, quoting the reference number or online at www.hillingdon.gov.uk or by email to applicationsprocessingteam@hillingdon.gov.uk. Representations should be made by 19th March 2025 (21 days) for applications within

CATEGORY A and CATEGORY B; Written or telephone enquiries may also be made to Planning Services at the above address (Tel: 01895 250230).

JULIA JOHNSON, Director of Planning, Regeneration & Public Realm
Date: 26th February 2025

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