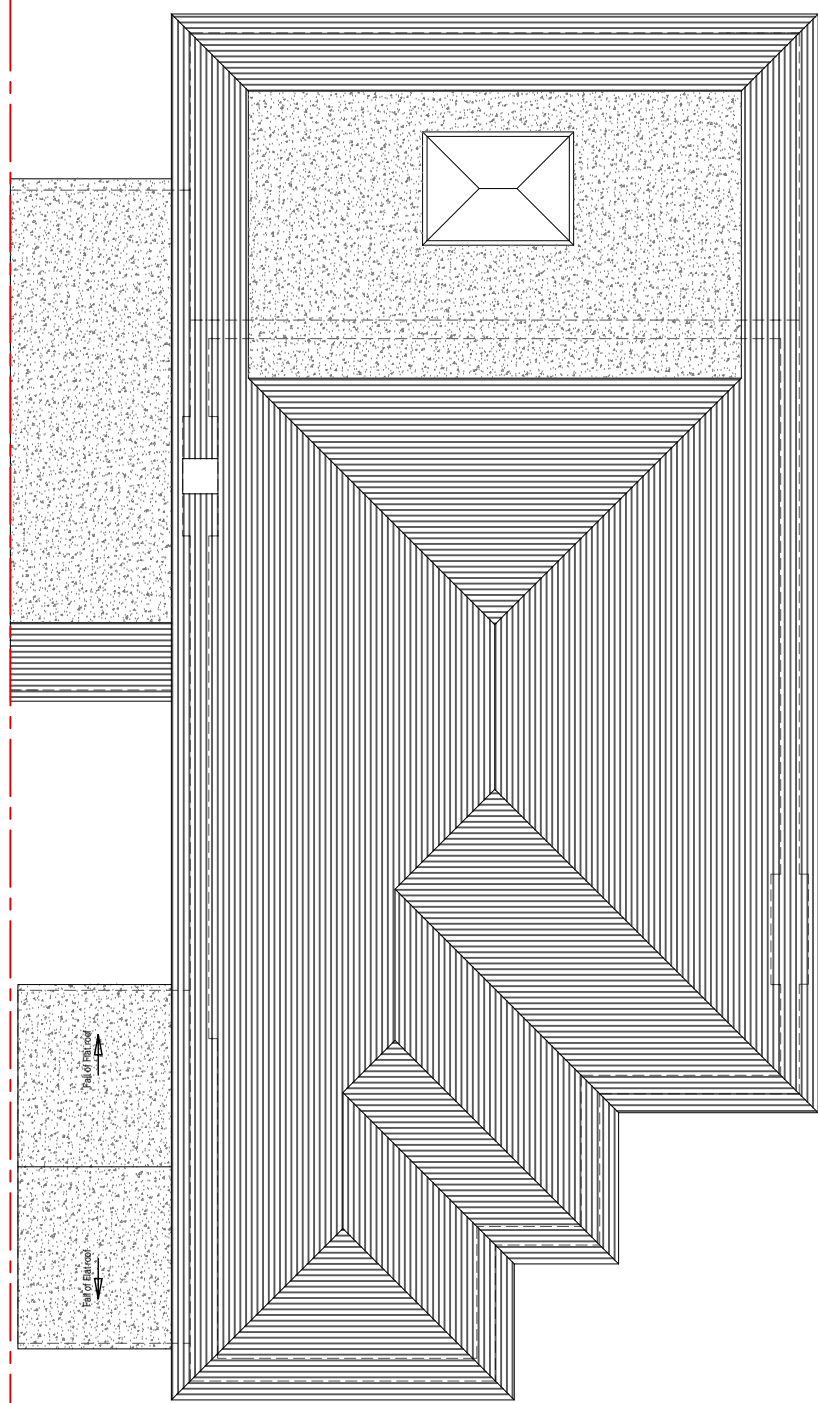


Proposed Ground Floor Plan  
Scale 1:100



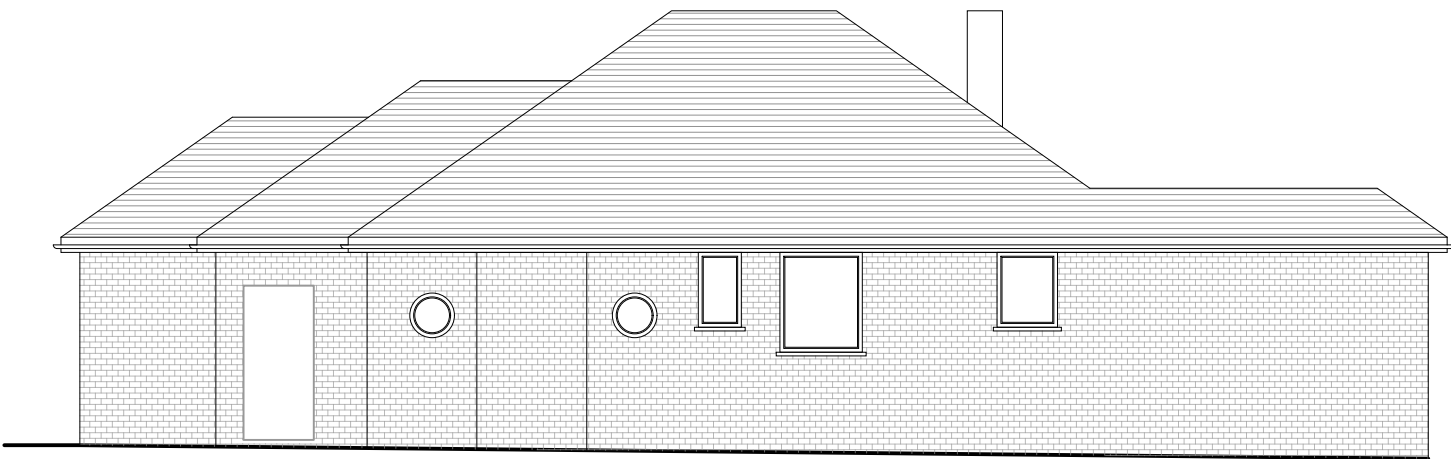
Proposed Roof Plan  
Scale 1:100



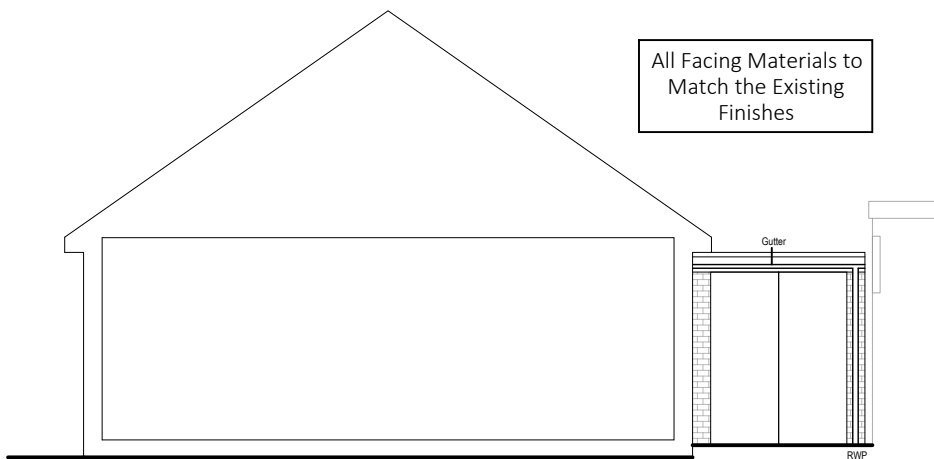
Proposed Section  
Scale 1:100



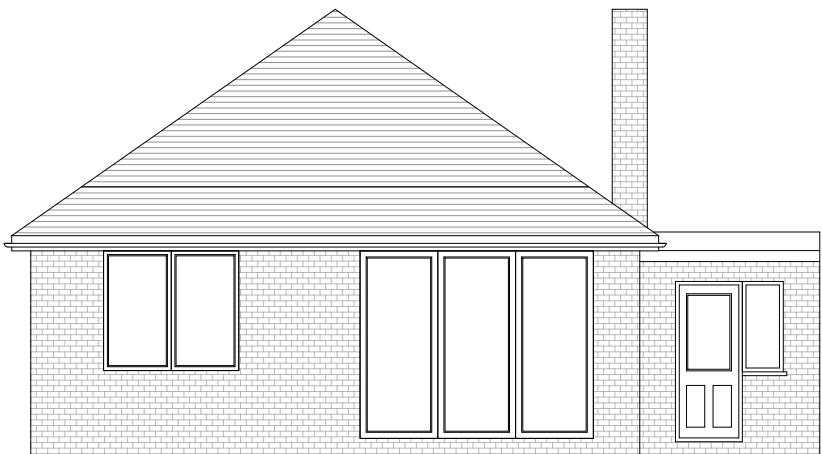
Proposed Front Elevation  
Scale 1:100



Proposed Side Elevation  
Scale 1:100



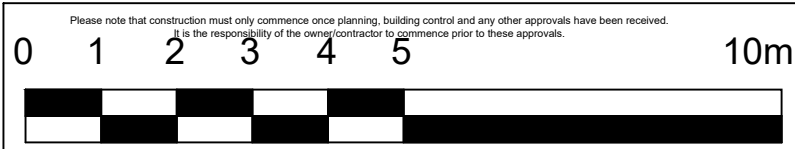
Proposed Elevation A  
Scale 1:100



Existing Rear Elevation  
Scale 1:100



Existing Side Elevation  
Scale 1:100



<p><b>IMPORTANT! GENERAL NOTE</b></p> <p>The specification is to be read in conjunction with the plans/section details, and other associated structural details as may be provided.</p> <p>All work is to be carried out to the Local Authority Planning and Building Regulations Approval, and the Codes of Practice and British Standards as necessary.</p> <p>All dimensions, levels, sizes, positions and locations of particulars as indicated on drawings are to be verified by the appointed Contractor on site prior to engaging in works. Any discrepancies must be reported to the Architect/Designer/Engineer or responsible person/s immediately.</p> <p>The Contractor is responsible for ensuring compliance with the CDM Regulations, and appropriate Health &amp; Safety on site precautions.</p> <p>The Client/Building Owner must obtain any necessary PARTY WALL AGREEMENTS, prior to engaging in the works on site.</p>	Revision	Date	Description				
<p><b>PARTY WALL ACT 1996</b></p> <p><b>OWNER/S MUST ENSURE ALL PARTY WALL AGREEMENTS ARE IN PLACE BEFORE ANY BUILDING WORKS ARE TO COMMENCE</b></p>	<p><b>A2</b></p>	Paper Size	Scale	<p><b>B-12 Development</b></p> <p>Architectural consultancy</p>			
			1:100				
		Revision	1st				
			May-24	Architect	<p>S Blaydon Close</p> <p>RUSUP</p> <p>HA4 8AD</p>		
		Drawn By	Checked By				
		---					
					<p>Proposed Plans &amp; Elevations</p> <p>BC5-AP2-103</p>		