

5 Blaydon Road (extension)

Application for Single Storey Side Garage

It was noted there were several comments made by neighbours/Officer (App REF 9415/APP/2023/7) and the application was refused. With the new Application submitted we hope we have addressed all the concerns raised.

1) Lack of dimensions on the plans,

As per Hillingdon validation document the plans have been produced to a metric scale.

2) Proximity to Neighbour.

Please see plans which show we intend to leave 100mm gap between the flank wall of no 7 and no 5 new proposed Garage.

A setback has been created from main front wall of house.

3) Loss of Light.

The infill Garage still gives light to the High-Level window in the courtyard.

4) Drainage

It is proposed the Garage roof has a gutter on rear wall and front wall, the water from garage roof will be taken away into down pipes and then into the Surface water Drainage System.

This has been indicated on the plans for clarity.

5) Courtyard Facing the Neighbour Bedroom window.

Note the window on no 5 are existing windows and will not be altered.

The existing high-level window at no 7 will have the same view it has had before, no impact from new proposed Garage.

As Cross section of Existing and proposed to show no difference has been created by the proposed New Garage

6) Height Differences

It is proposed garage roof will remain under the existing fascia as indicated on the plan.

7) Impact on Street Scene

Many of the properties have had some form of works done to the included side extension which face the main road.

Please see photos below



No 7 (Side garage extends beyond Front wall of house)



No 9



No 12



No 2, 2 Story side extension.

No 4 Single story side extension in line with house

No 6, S story side extension, Ground floor in line with Main House



No 8 , Single story side extension in line with house

No 10 , Single story side extension in line with house