



53 LYNHURST CRESCENT  
UXBRIDGE  
LONDON  
UB10 9EG

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## FLOOD RISK ASSESSMENT

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JULY 2023

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## APPENDICES

APPENDIX I              Architects plans

Client :              Munish Kharbanda

Rev	Date	Prepared by	Checked by	Approved by
P0	10/07/23	Chris Lee	MN	MN

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## 1.0 INTRODUCTION

- 1.1 Meridian Civil Engineering Consultancy LTD (MCEC) has been instructed by Munish Kharbanda to prepare a site-specific Flood Risk Assessment (FRA) for the development being carried out to 53 Lynhurst Crescent, Uxbridge, London, UB10 9EG.
- 1.2 It is understood that the proposed development is for the erection of a single storey extension to the rear and first floor extension to the rear and the side of the property. The only increase in built footprint is from the rear extension. The proposed development is considered a minor extension of existing use and therefore the EA standing advice for minor extensions should be followed for this Floor Risk Assessment.
- 1.3 It can be seen from the architectural site sections that the rear garden area is sited at a lower level than the front garden, and lower than the existing property ground floor finished floor level, with steps required from the rear patio to the rear garden.
- 1.4 The Environment Agency (EA) mapping for Flood Risk, shows the redline boundary of the site to encompass areas within Flood Zone 2. The existing buildings and front garden areas are shown to be located within Flood Zone 1. Flood Zone 2 is an area with a between 1% and 0.1% chance of flooding from rivers (fluvial flooding) and/or a between 0.5% and 0.1% chance of flooding from the sea (tidal flooding) in any given year. Flood zone 1 is an area with a less than 0.1% chance of flooding from rivers (fluvial flooding) and/or a less than 0.1% chance of flooding from the sea (tidal flooding) in any given year.
- 1.5 According to the EA Long Term Flood Risk map (RoFSW), the rear of the site is shown to be at low risk from surface water flooding and the front of the site is shown to be at medium risk from surface water flooding. Medium risk means that this area has a chance of flooding of between 1% and 3.3% each year. Low risk means that this area has a chance of flooding of between 1% and 0.1% each year. Flooding from surface water is difficult to predict as rainfall location and volume are difficult to forecast. In addition, local features can greatly affect the chance and severity of flooding. According to available data the site is at low risk of groundwater and sewer flooding.
- 1.6 According the EA Long Term Flood Risk map, the site is at risk of reservoir flooding when there is also flooding from rivers. The probability of a reservoir dam failing is considered to be low, so the risk of flooding from this source to the site's local area is also deemed to be low.
- 1.7 In line with the EA standing advice for minor extensions, included in the NPPF, the finished ground floor level of the proposed extension should be no lower than the existing property. As per the existing site sections the existing Finished Floor Level is raised above existing rear garden levels.
- 1.8 It is recommended that the extension be constructed in a flood resilient manner in line with Ciria C790F - Code of Practice for Property Flood resilience and The Department for Communities and Local Government - Improving the Flood Performance of New Buildings: flood resilient construction (2007) to allow the building to recover in the event of flooding. Flood resilience measures could include the following:
  - using flood resilient materials (for example lime plaster) and design (for example raised electrical sockets and the main circuits located at high level)
  - making sure there's access to all spaces to enable drying and cleaning
  - Safe refuge is available on upper floor for residents.
  - Finished floor level to be set not lower than existing
- 1.9 This report has been produced broadly in accordance with the National Planning Policy Framework (NPPF), West London Strategic Flood Risk Assessment and the London Plan.

## 2.0 POLICY COMPLIANCE

2.1 The purpose of this assessment is to demonstrate that the development proposal outlined above can be satisfactorily accommodated without worsening flood risk for the area and without placing the development itself at risk of flooding, as per the:

- National Planning Policy Framework
- West London Strategic Flood Risk Assessment
- The London Plan

## 3.0 SITE LOCATION

3.1 The proposed development is being carried out to 53 Lynhurst Crescent, Uxbridge, London, UB10 9EG.



Figure 1: Site location plan. Site outlined in red.

3.2 It is understood that the proposed development is for the erection of a single storey extension to the rear and first floor extension to the rear and the side of the property. The only increase in built footprint is from the rear extension. The proposed development is considered a minor extension of existing use and therefore the EA standing advice for minor extensions should be followed for this Floor Risk Assessment.

3.3 It can be seen from the architectural site sections that the rear garden area is sited at a lower level than the front garden, and lower than the existing property ground floor finished floor level, with steps required from the rear patio to the rear garden.

3.4 Proposed and existing Architects plans are included in Appendix I.

## 4.0 SEQUENTIAL TEST/EXCEPTION TEST

- 4.1 Under the NPPF, all new planning applications should undergo a Sequential Test. This test should be implemented by local planning authorities with a view to locating particularly vulnerable new developments (e.g. residential, hospitals, mobile homes etc.) outside of the floodplain.
- 4.2 The Environment Agency (EA) mapping for Flood Risk, shows the site located within Flood Zone 2 (medium risk of fluvial or tidal flooding). Areas within Flood Zone 2 have been shown to be at a between 1% and 0.1% annual probability of flooding from rivers and/or a between 0.5% and 0.1% annual probability of flooding from seas.
- 4.3 Following the published Flood Risk and Coastal Change Planning Policy Guidance (PPG) Table 2 and NPPF guidelines, the proposed development is classed as 'More vulnerable' due to being a residential development.
- 4.4 The NPPF Sequential Test: Flood Risk Vulnerability and Flood Zone 'Compatibility' Table is reproduced below;

Flood Risk Vulnerability Classification		Essential Infrastructure	Water Compatible	Highly Vulnerable	More Vulnerable	Less Vulnerable
Flood Zone	Zone 1	✓	✓	✓	✓	✓
	Zone 2	✓	✓	Exception Test Required	✓	✓
	Zone 3a	Exception Test Required	✓	✗	Exception Test Required	✓
	Zone 3b <i>Functional Floodplain</i>	Exception Test Required	✓	✗	✗	✗

Table 1 The Sequential Test: Flood Risk Vulnerability and Flood Zone 'Compatibility' Table as specified by NPPF. Please note: ✓ means development is appropriate; ✗ means the development should not be permitted.

- 4.5 Using the principles of the Sequential Test outlined above, the proposed development is classed as 'More Vulnerable' under the NPPF due to the residential nature of the development. The development areas are shown to be located within Flood Zone 2 (as defined by the EA flood map for planning in Figure 2) and therefore, in accordance with Table 1 above the proposed development would be acceptable without the need for an Exception Test.

## 5.0 CLIMATE CHANGE ALLOWANCES

- 5.1 Making an allowance for climate change in the design of surface water drainage systems will help to minimise vulnerability and provide resilience to flooding and coastal change in the future. Climate Change allowances vary across the UK subject to catchment conditions and are based on climate change projections and different scenarios of carbon dioxide (CO<sub>2</sub>) emissions to the atmosphere.
- 5.2 Climate change allowances were recently updated by the EA and the climate change allowances are now defined by River Catchment peak rainfall allowances. The data published on the DEFRA database shows the site located within the London Management Catchment and for residential development (lifespan 100yrs), in accordance with NPPF guidance, an upper end allowance of 40% should be applied to rainfall events as the climate change allowance within this region.
- 5.3 The data published on the DEFRA database shows the site located within the London Management Catchment for peak river flow and, in accordance with NPPF guidance for residential development (lifespan 100yrs, classed as 'more vulnerable') a central allowance of 17% should be applied to river flow events as the river flow climate change allowance within this region.

## 6.0 SOURCES OF FLOODING

### 6.1 Tidal and Fluvial

6.1.1 Current guidance outlined in the NPPF states that the 'design flood' as:

*This is a flood event of a given annual flood probability, which is generally taken as:*

- *river flooding likely to occur with a 1% annual probability (a 1 in 100 chance each year); or*
- *tidal flooding with a 0.5% annual probability (1 in 200 chance each year); or*

6.1.2 The Environment Agency (EA) mapping for Flood Risk, shows the redline boundary of the site to encompass areas of Flood Zone 2. The existing building and front garden areas are shown to be located within Flood Zone 1. Flood Zone 2 is an area with a between 1% and 0.1% chance of flooding from rivers (fluvial flooding) and/or a between 0.5% and 0.1% chance of flooding from the sea (tidal flooding) in any given year. Flood Zone 1 is an area with a less than 0.1% chance of flooding from rivers (fluvial flooding) and/or a less than 0.1% chance of flooding from the sea (tidal flooding) in any given year. The flood risk at this development is fluvial in nature.

6.1.3 The development areas are shown to be located within Flood Zone 2 (as defined by the EA flood map for planning in Figure 2) and therefore, in accordance with the principals of the sequential test the proposed development is appropriate development for this flood zone.

6.1.4 It can be seen the existing building and site frontage are located within an area of flood zone 1 (low risk). As the proposed development is a minor extension of existing use the floor level of the extension is required to be no lower than existing as defined by the EA standing advice published as part of the NPPF. As such the floor level of the proposed ground level extensions would be above the flood zone 2 potential water level as it is required to match the existing building.

6.1.5 It can be seen from the architectural site sections that the rear garden area is sited at a lower level than the front garden, and lower than the existing property ground floor finished floor level, with steps required from the rear patio to the rear garden. The extension is to be built over the existing rear patio so flood plain displacement as a result of development would be negligible.

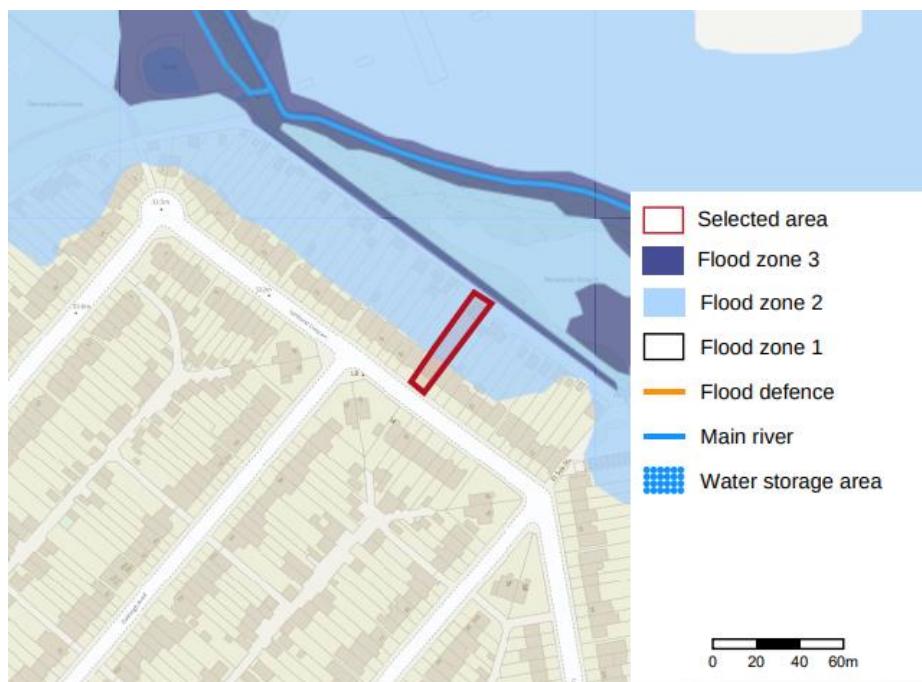


Figure 2: EA Flood map for Planning extract.

## 6.2 Surface Water

6.2.1 According to the EA Long Term Flood Risk map (RoFSW), the rear of the site is shown to be at low risk from surface water flooding and the front of the site is shown to be at medium risk from surface water flooding. Medium risk means that this area has a chance of flooding of between 1% and 3.3% each year. Low risk means that this area has a chance of flooding of between 1% and 0.1% each year. Flooding from surface water is difficult to predict as rainfall location and volume are difficult to forecast. In addition, local features can greatly affect the chance and severity of flooding.

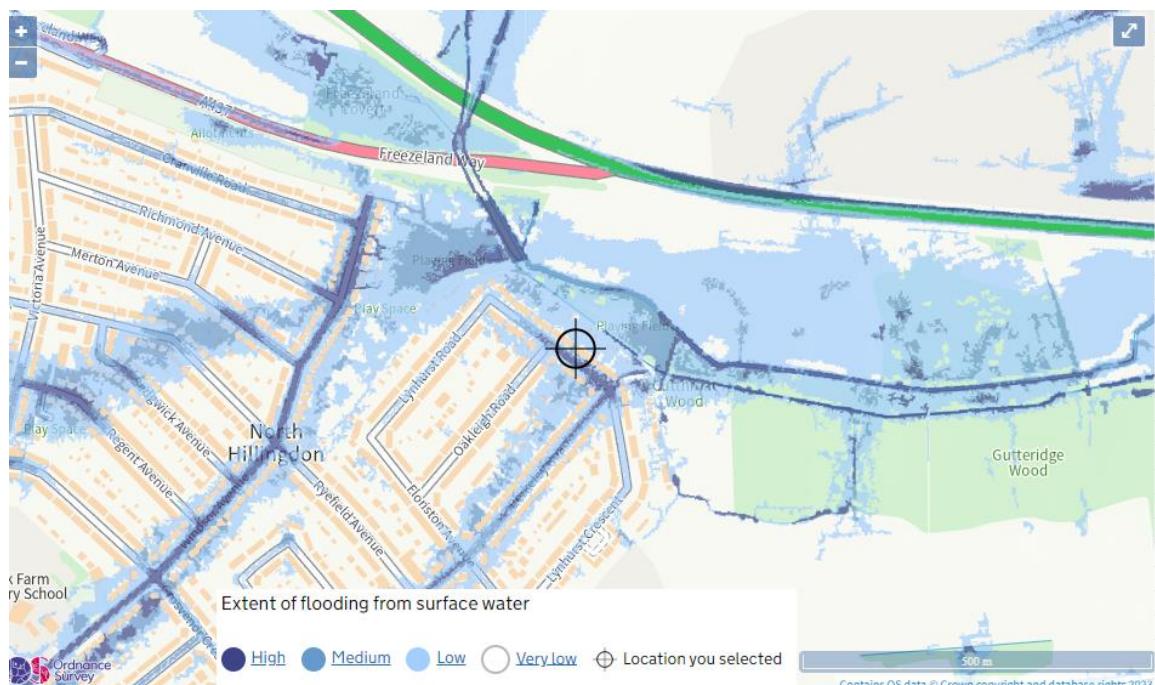


Figure 3: EA Long term risk of flooding map extract - Surface Water.

6.2.2 Current guidance outlined in the NPPF states that the 'design flood' as:

*This is a flood event of a given annual flood probability, which is generally taken as:*

- *surface water flooding likely to occur with a 1% annual probability (a 1 in 100 chance each year) with a 1% annual probability (a 1 in 100 chance each year),*

6.2.3 As the site is located in an area potentially at risk from stormwater flooding MCEC have downloaded the EA Risk of Surface Water dataset to analyse the data in more detail in relation to the proposed site works.

6.2.4 The EA Risk of flooding surface water mapping shows that for the 1 in 100 year event (figure 4) there is up to 0.60m of inundation depth in the driveway of the property. The proposed extension is currently shown to be outside the extent of this flooding and so can be considered not to be at risk from the design flood event.

6.2.5 The EA Risk of flooding surface water mapping shows that for the 1 in 1000 year event the entirety of the rear garden is predicted to be inundated, with flood depths mostly between 0.3m and 0.6m. It also shows a large amount of flooding along the side and front of the property, to a flood depth of up to 0.9m.

6.2.6 As the proposed development is a minor extension of existing use the floor level of the extension is required to be no lower than existing as defined by the EA standing advice published as part of the NPPF. As such the floor level of the proposed extensions would be above the potential surface water flood level as it is required to match the existing building.

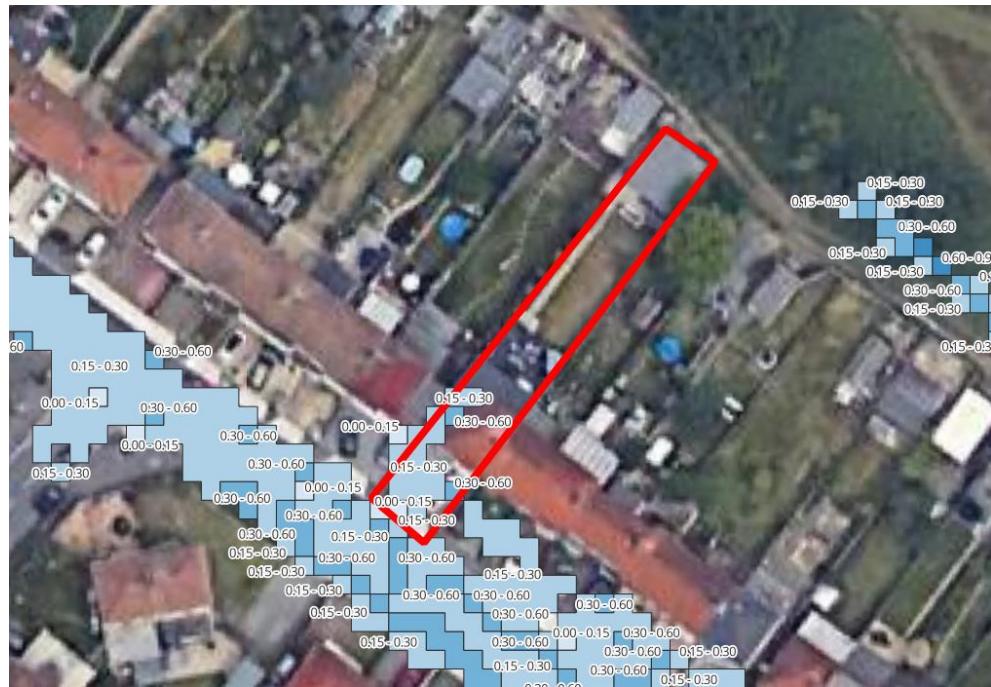


Figure 4: EA risk of flooding from surface water mapping. 1 in 100-year event flood depths.

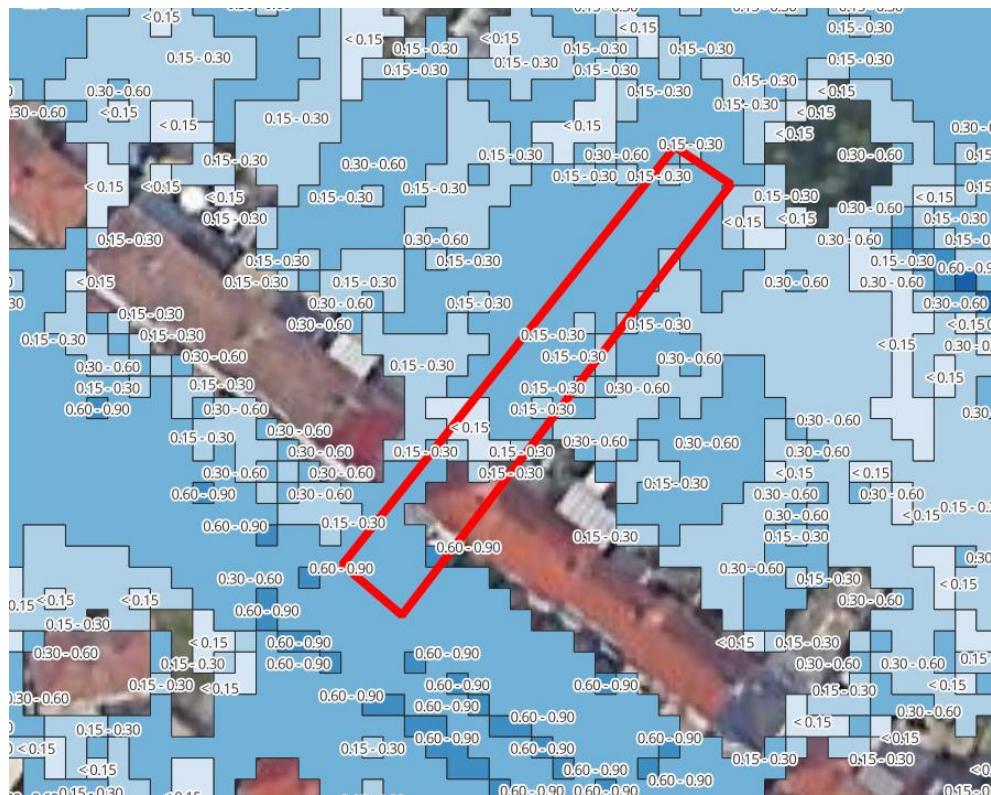


Figure 5: EA risk of flooding from surface water mapping. 1 in 1000-year event flood depths.

**6.2.7** It is recommended that the extension be constructed in a flood resilient manner in line with Ciria C790F - Code of Practice for Property Flood resilience and The Department for Communities and Local Government - Improving the Flood Performance of New Buildings: flood resilient construction (2007) to allow the building to recover in the event of flooding.

## 6.3 Groundwater

6.3.1 The West London Strategic Flood Risk Assessment mapping shows the site not to be located in an area susceptible to groundwater flooding. The site is therefore considered to be at low risk of groundwater flooding.

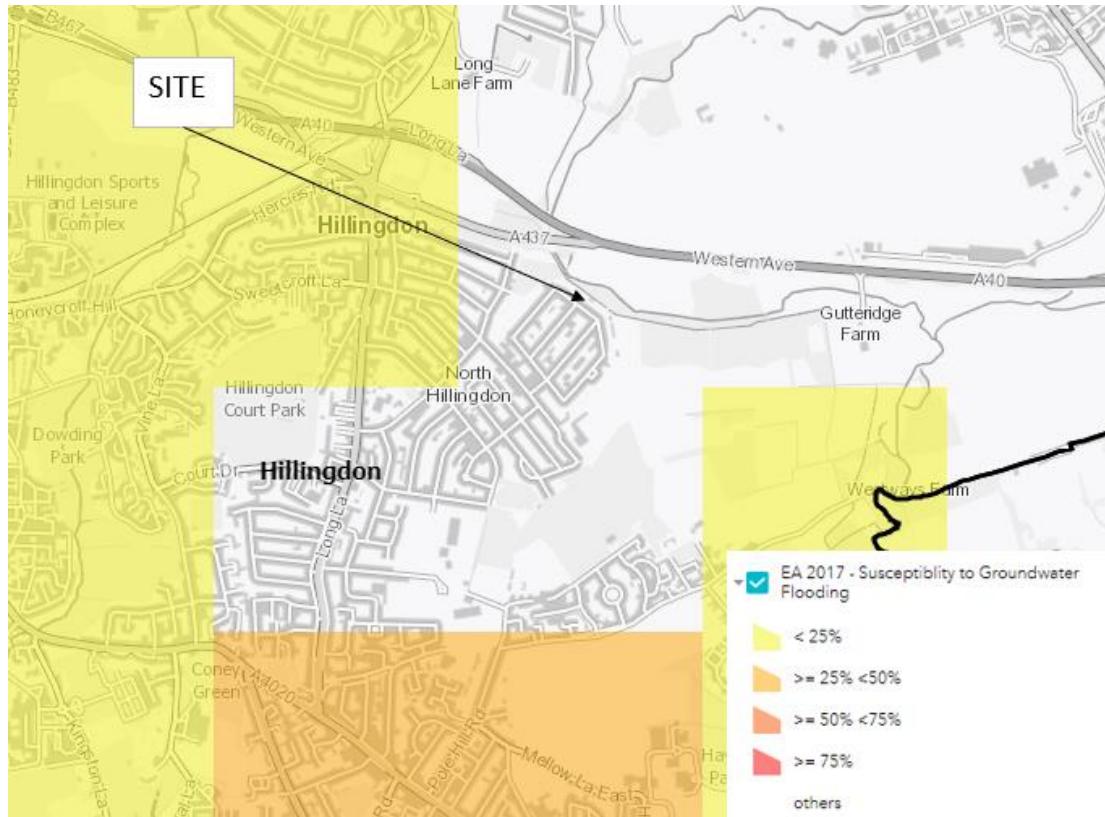


Figure 6: WL SFRA Areas Susceptible to Groundwater Flooding map.

## 6.4 Sewer

6.4.1 The West London Strategic Flood Risk Assessment shows there to be no recorded sewer flooding incidents in the area of the development

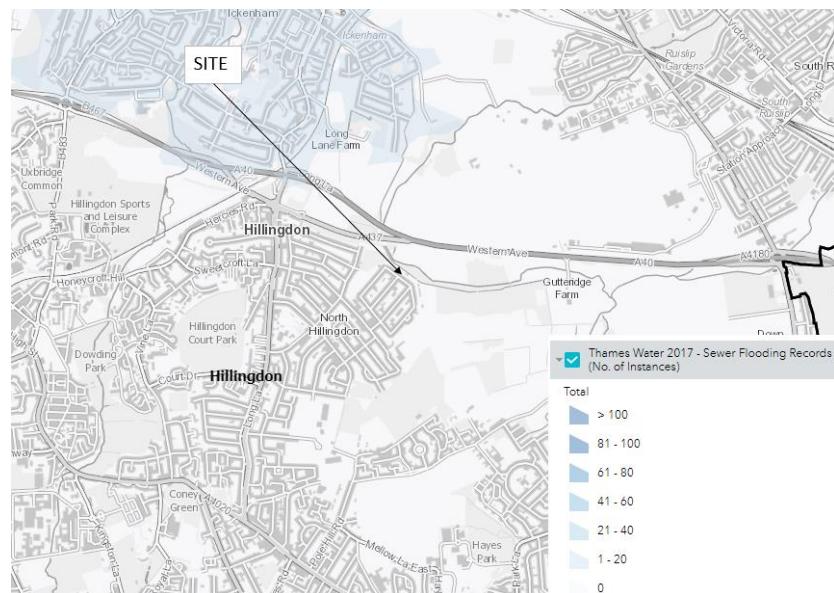


Figure 7: WL SFRA sewer flooding records mapping

**6.4.2** It is recommended any new sewer connection at the site should be agreed with the local sewer provider to ensure there is capacity in the network (to ensure no increased risk). As the property could potentially be at risk from surface and fluvial flooding it is recommended non return valves are installed on the drainage connections from the property to reduce the risk of backflow into the property.

## 6.5 Reservoir

**6.5.1** The EA Long Term Flood Risk map shows that the site is located in an area at risk of reservoir flooding when there is also flooding from rivers.

**6.5.2** In the unlikely event that a reservoir dam fails, a large volume of water would escape at once, with little or no warning. According to the EA, there has been no loss of life in the UK from reservoir flooding since 1925. All large reservoirs must be inspected and supervised by reservoir panel engineers as detailed by the enforcement authority for the Reservoirs Act 1975 in England. The EA are responsible to ensure that reservoirs are inspected regularly, and essential safety work carried out. The probability of a reservoir dam failing is considered to be low, so the risk of flooding from this source to the site's local area is also deemed to be low.

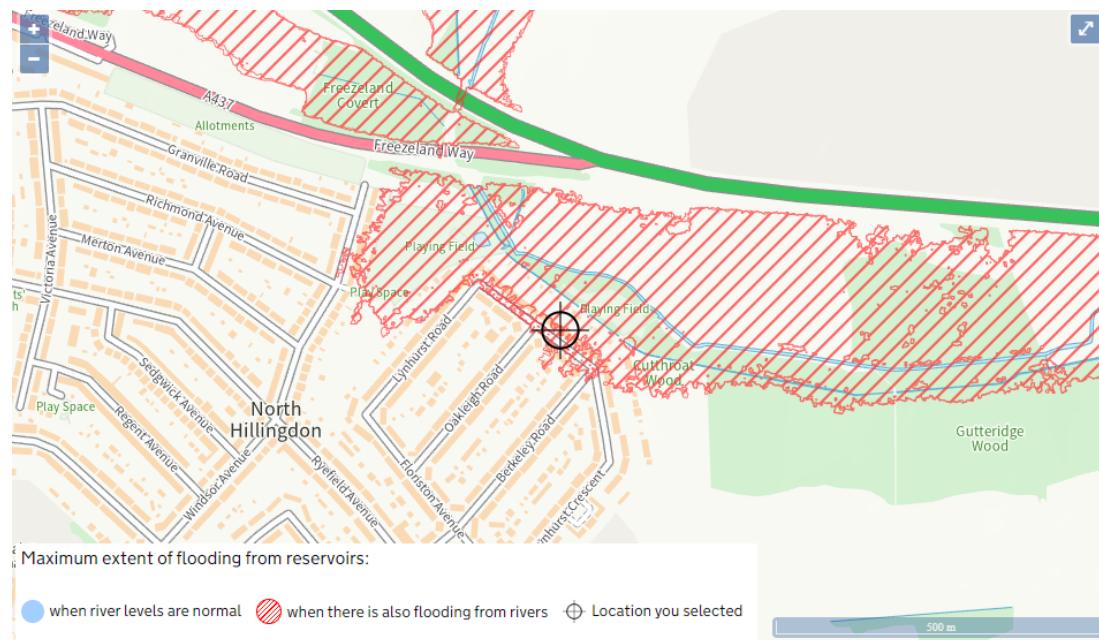


Figure 8: EA long term flood risk map extract. Flooding from reservoirs

## 7.0 RESIDUAL RISKS

**7.1** Residual risks will be limited to exceedance rainfall events causing overtopping of the designed drainage, blockage in underground drainage resulting in overland flow or a reservoir dam failure.

**7.2** As the property is already raised relative to existing ground levels this would mitigate risk from potential overland flows.

## 8.0 OFFSITE IMPACT

- 8.1 The proposed extensions are shown to be potentially within the extent of both Flood Zone 2 and the 1 in 1000 surface water flooding event. As a result, it is expected that the increase of built footprint could cause a displacement of floodwaters. However, as the increase of built footprint is small (84.3m<sup>2</sup> to 99.9m<sup>2</sup>) the increase in floodwater displacement in comparison to the total flooded area can be considered negligible. In addition, the events in which the development would displace floodwater are beyond the 'design flood' event as defined by the NPPF.
- 8.2 The use of sustainable drainage should be considered by the developer in relation to limiting increased offsite flows generated by the increased development area. It is proposed that a water butt is included with the construction of the extension as a way of providing SuDS benefits and reduce the runoff from the increase of built area. A full SuDS strategy is outside the scope of this report.

## 9.0 FLOOD RISK MANAGEMENT MEASURES

- 9.1 It is understood that the proposed development is for the erection of a single storey extension to the rear and first floor extension to the rear and the side of the property. The proposed development is considered a minor extension of existing use and therefore the EA standing advice for minor extensions should be followed for this Floor Risk Assessment.
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## 10.0 CONCLUSION

- 10.1 Meridian Civil Engineering Consultancy LTD (MCEC) has been instructed by Munish Kharbanda to prepare a site-specific Flood Risk Assessment (FRA) for the development being carried out to 53 Lynhurst Crescent, Uxbridge, London, UB10 9EG.
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- 10.6 According the EA Long Term Flood Risk map, the site is at risk of reservoir flooding when there is also flooding from rivers. The probability of a reservoir dam failing is considered to be low, so the risk of flooding from this source to the site's local area is also deemed to be low.
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## APPENDIX I Architects plans

**PARTY WALL NOTICES:**

PLEASE NOTE THAT BEFORE BUILDING  
WORKS COMMENCE IT IS THE  
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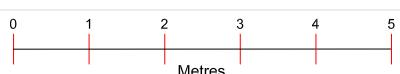
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**LEGEND**

- SD = SMOKE DETECTOR WITH SOUNDER
- EL = EMERGENCY LIGHTING TO BS5266: Part 1 1988
- HD = HEAT DETECTOR
- FD30 = 30 MINUTE FIRE RESISTING DOOR AND FRAME



A	050523	MR	FIRST ISSUE
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**PROJECT**

53 LYNHURST CRESCENT  
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**DWG TITLE**

PLANS

**CLIENT**

MR. MUNISH KHARBANDA

**DWG NO:**

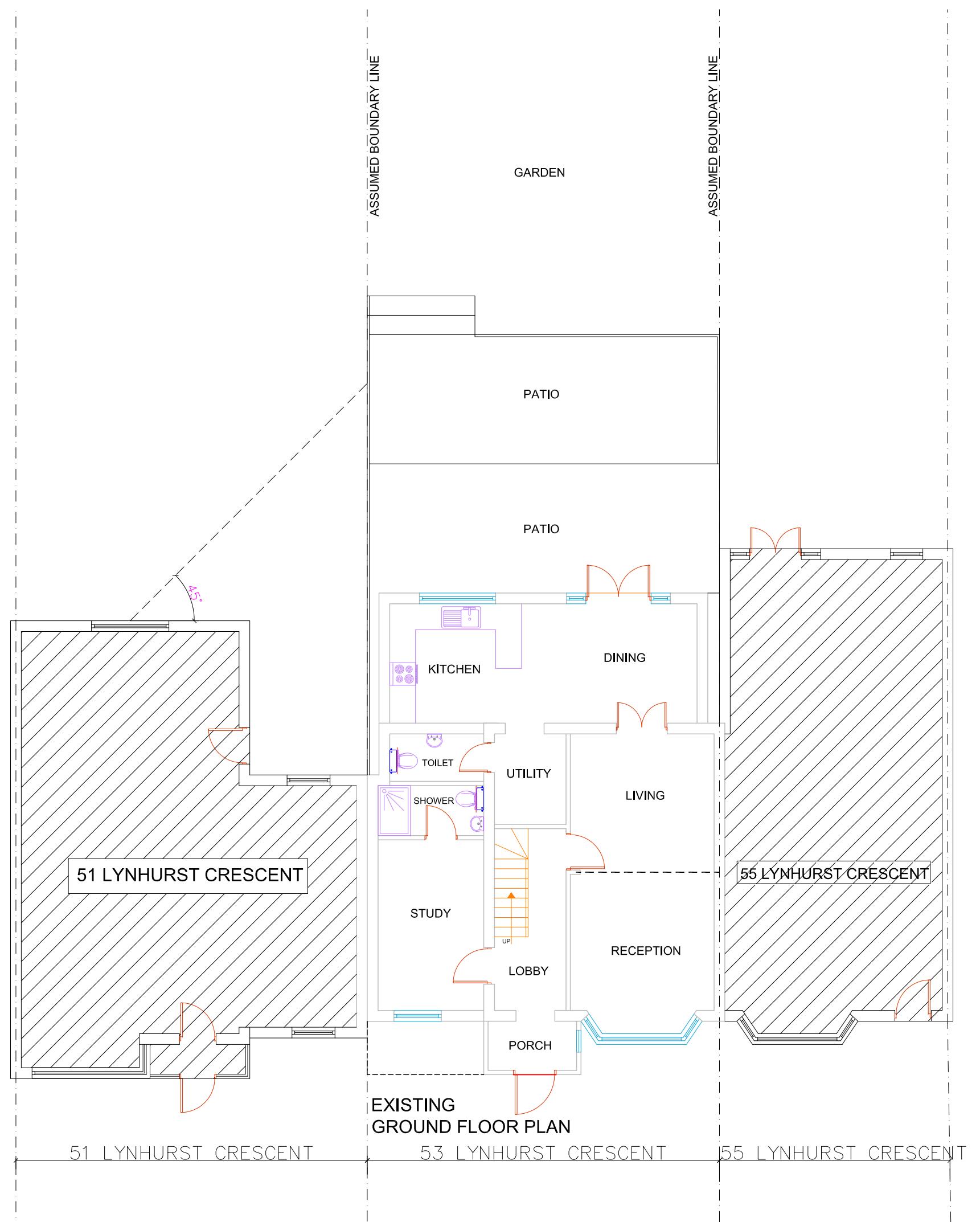
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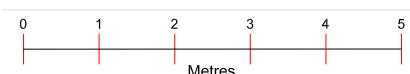
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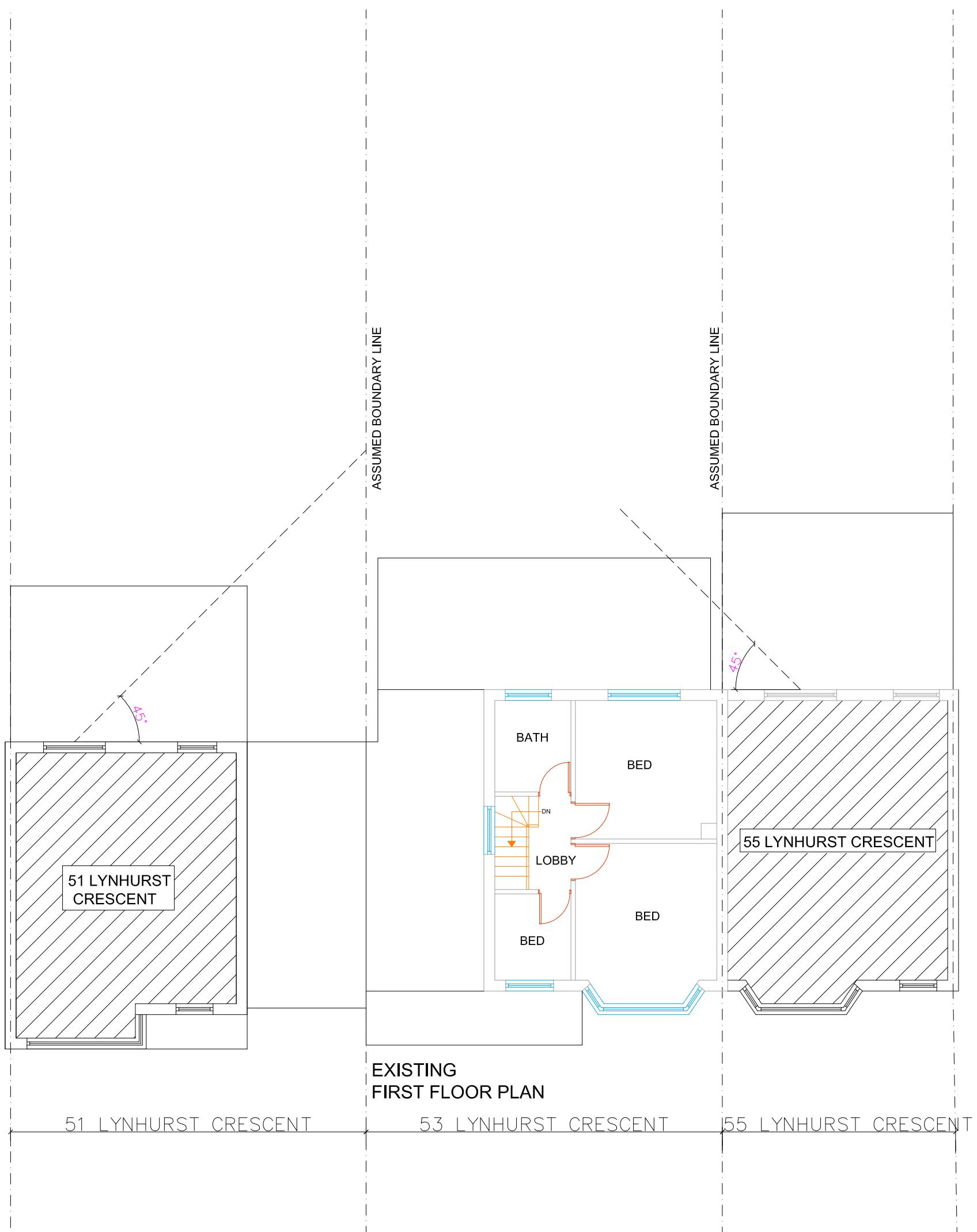
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- EL = EMERGENCY LIGHTING TO BS5266: Part 1 1988
- HD = HEAT DETECTOR
- FD30 = 30 MINUTE FIRE RESISTING DOOR AND FRAME



A	050523	MR	FIRST ISSUE
ISSUE	DATE	INITIALS	GRID REF
PROJECT			
53 LYNHURST CRESCENT UXBRIDGE UB10 9EG			
DWG TITLE			
PLANS			
CLIENT			
MR. MUNISH KHARBANDA			
DWG NO:		ISSUE	
TRICON/53LC/102			
SCALE	DATE	DRAWN BY	
1:1000A3	05 MAY	MR	A



**PARTY WALL NOTICES:**

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B 150823 AT MR AMENDED DRAWING  
A 050523 FIRST ISSUE

ISSUE DATE INITIALS GRID REF DESCRIPTION



497 SUNLEIGH ROAD HA0 4LY [020 8252 3233]

**PROJECT**

53 LYNHURST CRESCENT  
UXBRIDGE  
UB10 9EG

**DWG TITLE**

PLANS

**CLIENT**

MR. MUNISH KHARBANDA

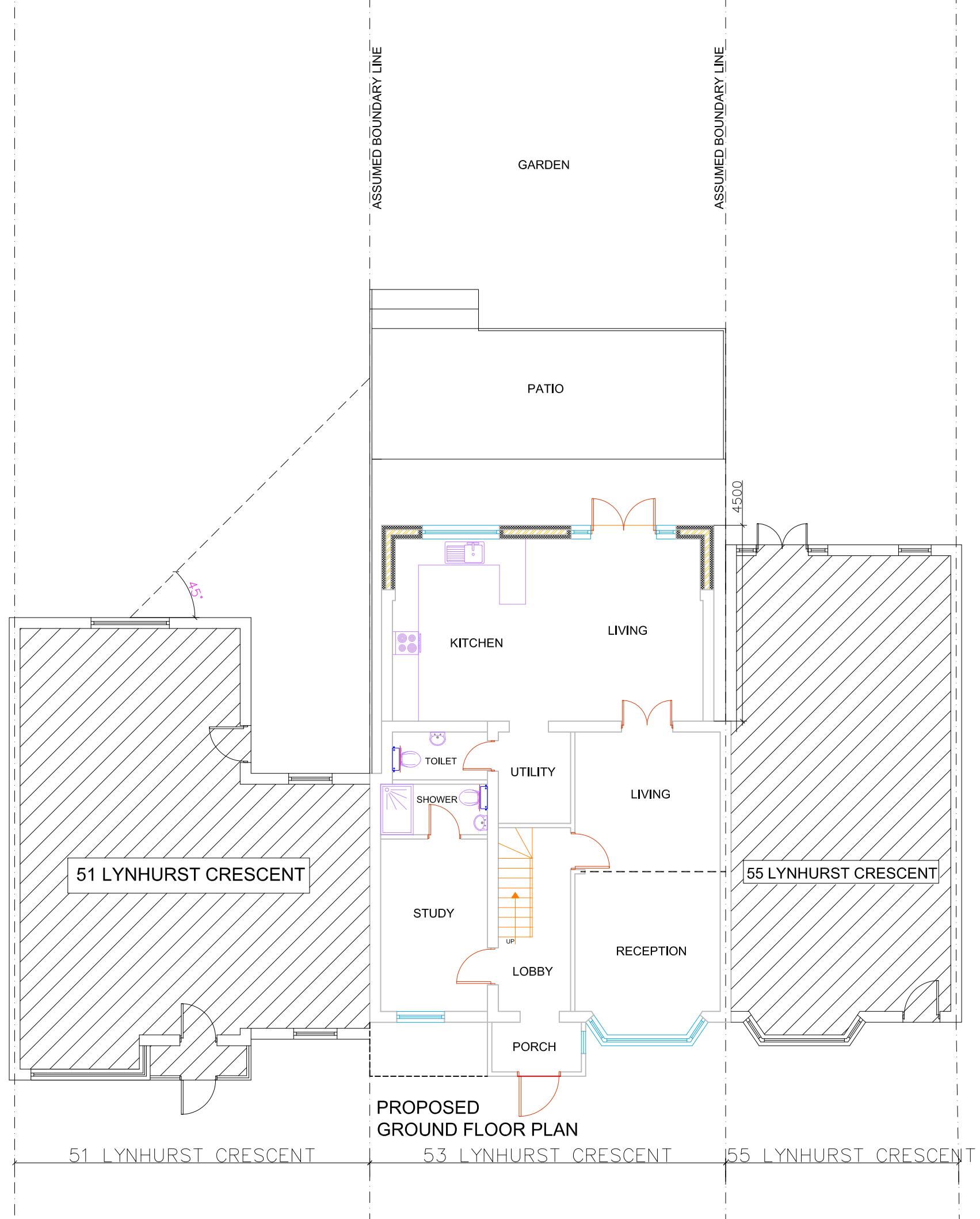
**DWG NO:**

TRICON/53LC/103

**ISSUE**

SCALE DATE DRAWN BY  
1:100@A3 05 MAY MR

B



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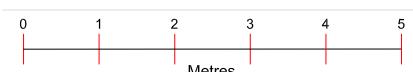
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B 150823 AT MR AMENDED DRAWING  
A 050523 MR FIRST ISSUE

ISSUE DATE INITIALS GRID REF DESCRIPTION



497 SUNLEIGH ROAD HA0 4LY [020 8252 3233]

**PROJECT**

53 LYNHURST CRESCENT  
UXBRIDGE  
UB10 9EG

**DWG TITLE**

PLANS

**CLIENT**

MR. MUNISH KHARBANDA

**DWG NO:**

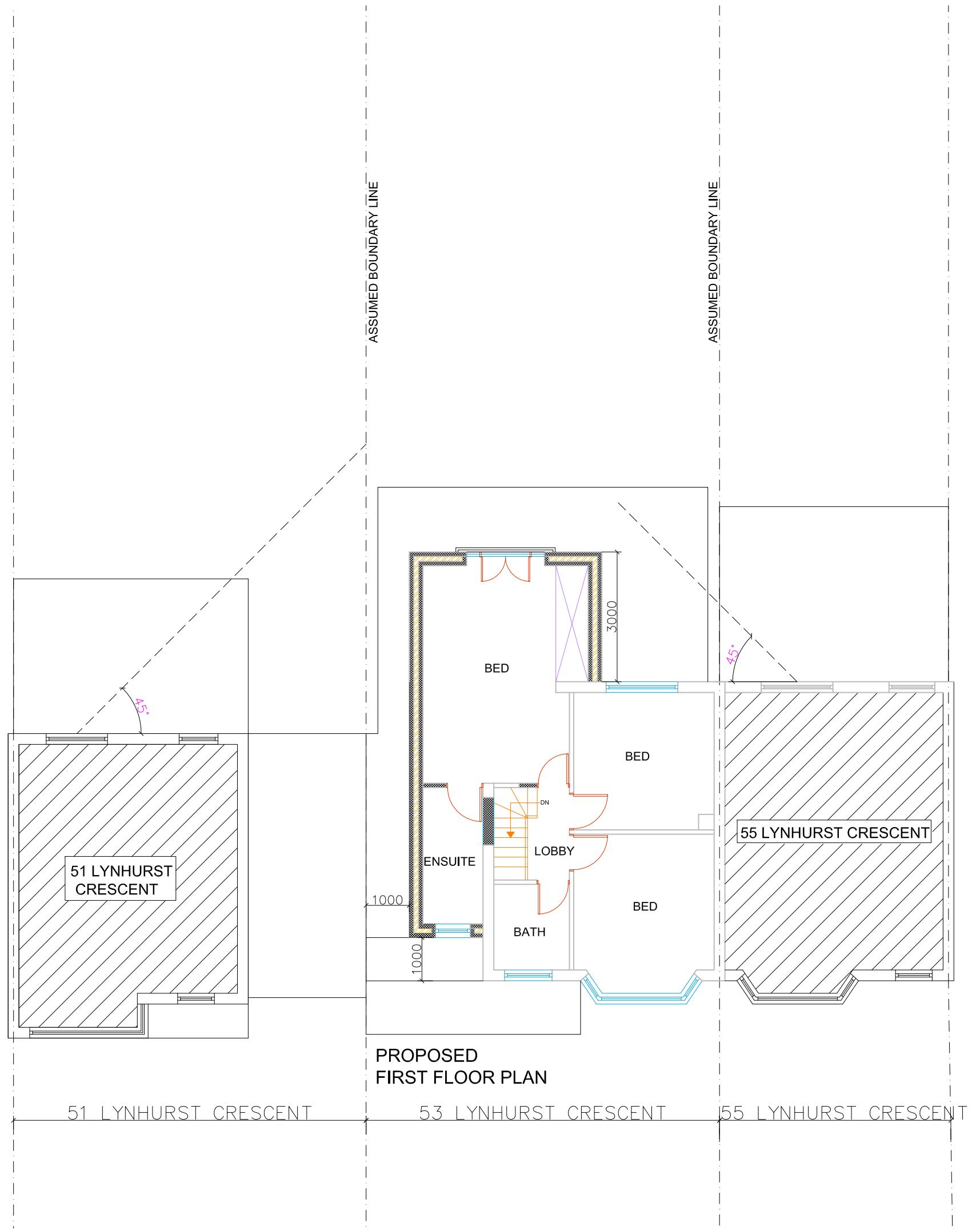
TRICON/53LC/104

**ISSUE**

SCALE DATE DRAWN BY

1:1000A3 05 MAY MR

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A	050523	MR	FIRST ISSUE
ISSUE	DATE	INITIALS	GRID REF



497 SUNLEIGH ROAD HA0 4LY [020 8252 3233]

**PROJECT**

53 LYNHURST CRESCENT  
UXBRIDGE  
UB10 9EG

**DWG TITLE**

ELEVATIONS

**CLIENT**

MR. MUNISH KHARBANDA

**DWG NO:**

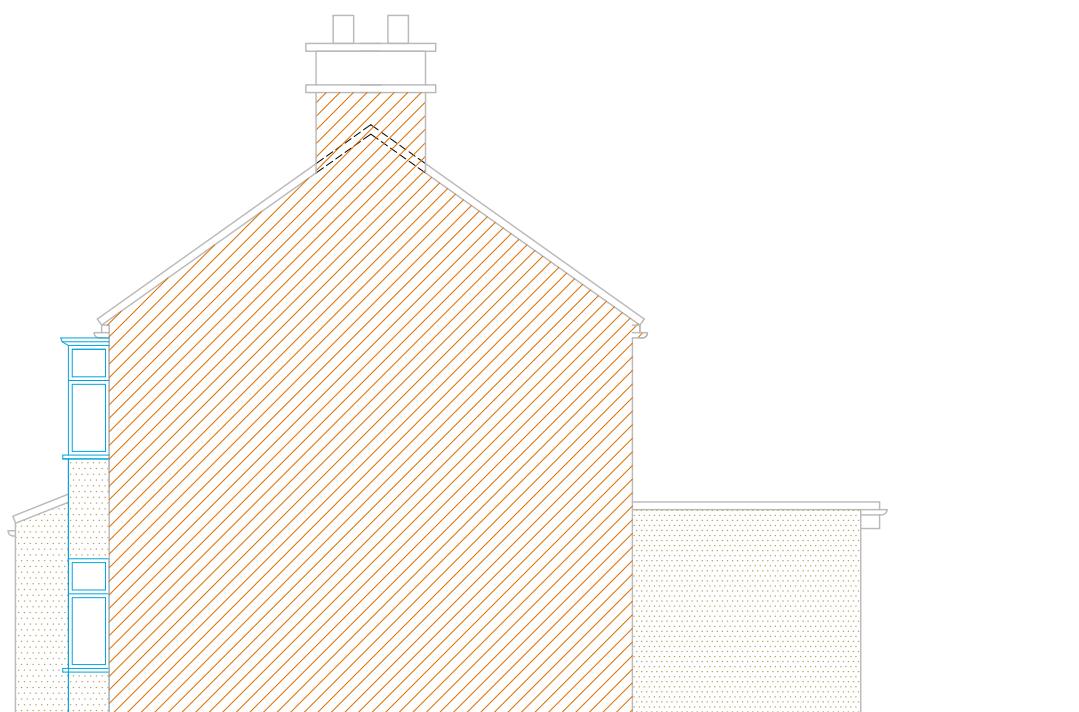
TRICON/53LC/105

A

SCALE DATE DRAWN BY  
1:100@A3 05 MAY MR



EXISTING  
FRONT ELEVATION



EXISTING  
SIDE ELEVATION-1



EXISTING  
REAR ELEVATION



EXISTING  
SIDE ELEVATION-2

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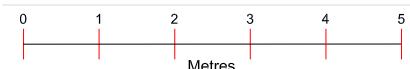
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ISSUE	DATE	INITIALS	GRID REF	DESCRIPTION



497 SUNLEIGH ROAD HA0 4LY [020 8252 3233]

**PROJECT**

53 LYNHURST CRESCENT  
UXBRIDGE  
UB10 9EG

**DWG TITLE**

ELEVATIONS

**CLIENT**

MR. MUNISH KHARBANDA

**DWG NO:**

TRICON/53LC/106

B

SCALE DATE DRAWN BY  
1:100@A3 05 MAY MR



PROPOSED  
FRONT ELEVATION



PROPOSED  
SIDE ELEVATION-1



PROPOSED  
REAR ELEVATION



PROPOSED  
SIDE ELEVATION-2

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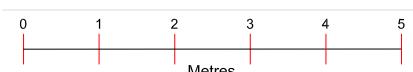
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ISSUE	DATE	INITIALS	GRID REF	DESCRIPTION
 497 SUNLEIGH ROAD HA0 4LY [020 8252 3233]				

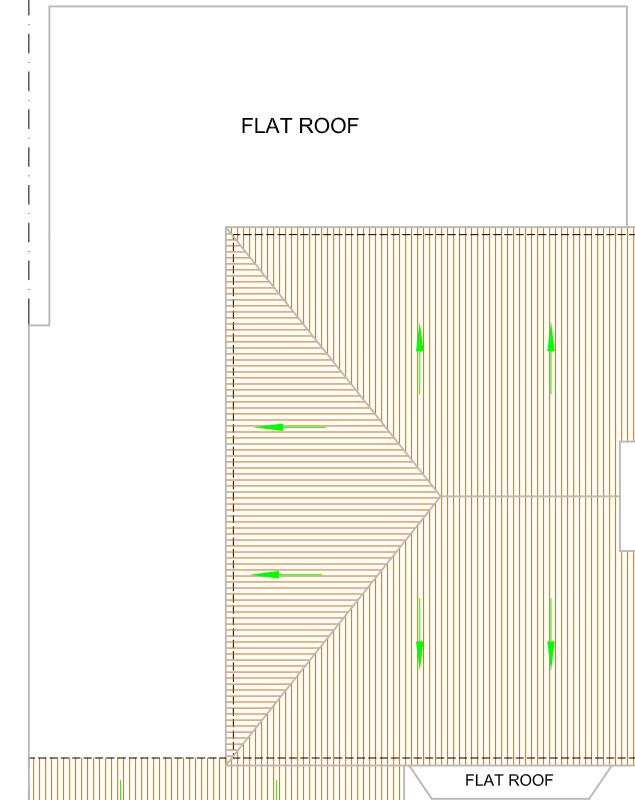
PROJECT  
53 LYNHURST CRESCENT  
UXBRIDGE  
UB10 9EG

DWG TITLE  
ROOF PLANS

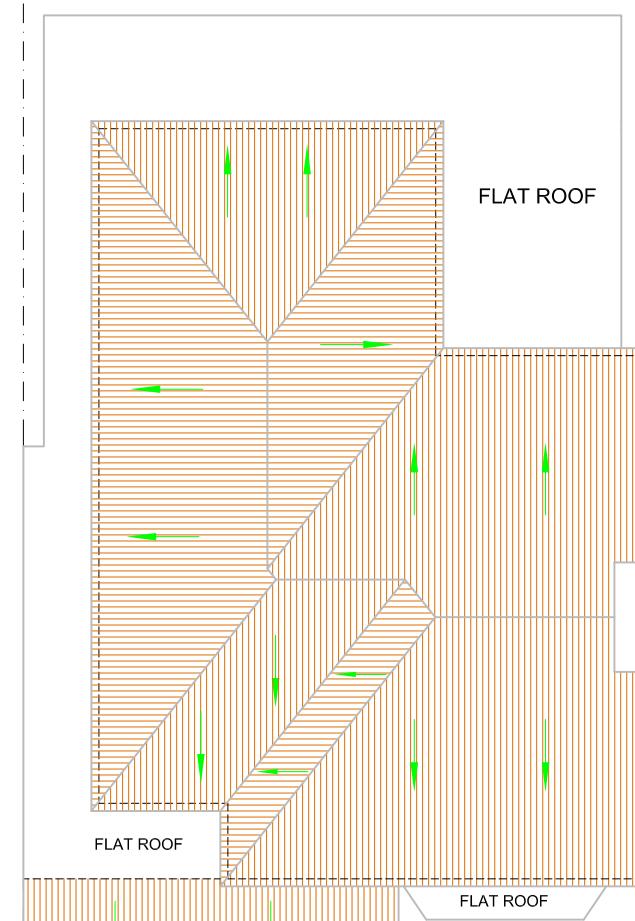
CLIENT  
MR. MUNISH KHARBANDA

DWG NO:	ISSUE	
TRICON/53LC/107		
SCALE	DATE	DRAWN BY
1:100@A3	05 MAY	MR

ASSUMED BOUNDARY LINE



ASSUMED BOUNDARY LINE



ASSUMED BOUNDARY LINE

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A	050523	MR	FIRST ISSUE
ISSUE	DATE	INITIALS	GRID REF
PROJECT			
53 LYNHURST CRESCENT UXBRIDGE UB10 9EG			
DWG TITLE			
EXISTING SITE PLAN			
CLIENT			
MR. MUNISH KHARBANDA			
DWG NO:		ISSUE	
TRICON/53LC/108		A	
SCALE	DATE	DRAWN BY	
1:5000A3	05 MAY	MR	



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B	150823	AT	MR	AMENDED DRAWING FIRST ISSUE
ISSUE	DATE	INITIALS	GRID REF	DESCRIPTION
 <b>TRICON</b> STUDIO 21 497 SUNLEIGH ROAD HA0 4LY [020 8252 3233]				

**PROJECT**  
 53 LYNHURST CRESCENT  
 UXBRIDGE  
 UB10 9EG

**DWG TITLE**  
 PROPOSED SITE PLAN

**CLIENT**  
 MR. MUNISH KHARBANDA

DWG NO:	ISSUE	
TRICON/53LC/109		
SCALE	DATE	DRAWN BY
1:500@A3	05 MAY	MR

