



LANDSCAPE MANAGEMENT PLAN
AT
48 Murray Road

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Corsican Associates

Landscape Architecture and Arboriculture services.
The Chestnuts, Mill Road, Buxhall, Suffolk, IP14 3DS
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Introction

Status of Landscape Management Plan

Either prior or at an agreed stage of the development process a landscape management plan covering the detailed short and long term management and maintenance for any areas to be adopted shall be submitted and approved by the LPA. The plan will include:

- Short and long term Aims and Objectives
- Description of the current landscape components
- Management outline
- Implementation Programme for approved proposed soft landscape
- Detailed description of landscape maintenance operations along with timings
- Details of the developer
- Details of the Local Planning Authority
- Detailed of the adopting Authority.

The report and plan will demonstrate the integration of the landscape into its surrounds and maintain for perpetuity.

This report will be approved in writing by the LPA and will therefore form part of the planning permission for the development. This report sets out the programme for implantation and the required maintenance to achieve an acceptable standard of maintenance to ensure safe, clean, attractive, sustainable landscape, which also increase the biodiversity of the areas for perpetuity.

Purpose of report

The report will outline where and how the landscape will be managed to a satisfactory standard.

The report will refer to any required reports or plans that are required to be read in conjunction with this report.

The report sets out overview aspirations of the landscape, both on a short and long term basis. Along with a manual for day to day maintenance of Hayes end lane.

The longer term management strategy will require reviewing on a regular basis, to ensure biodiversity is maintain and a high quality landscape.

The works are split into regular works and occasional works.

General Site information

The site is situated to the south west side of Northwood. The site is surrounded by existing residential houses and their gardens.

Site Description of proposed development

The site is proposed to be a residential development with an amenity areas spread through the development, parking, new landscaping, access road. The site boundaries are currently defined by existing hedge row and a number of existing trees. The proposed rear garden enclosures will strengthen the current boundaries to the site, along with perimeter planting to the south of the site in some of the proposed amenity space areas.

Site Location

The site is located at
48 Murray Road
Northwood
HA6 2YL

Map showing location of site:

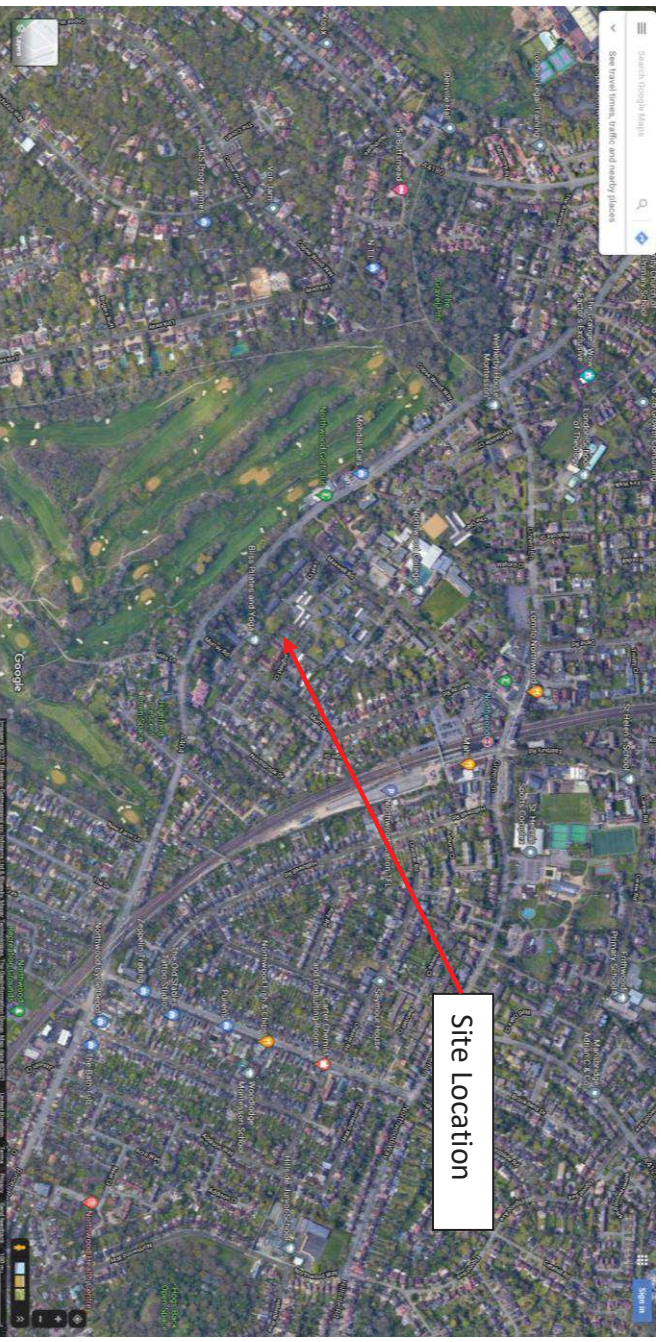


Image supplied by google maps 2021

Management Areas

The purpose of this report is to ensure the correct type of management is proposed to the retained and proposed landscape areas on site, once developments has been completed.

The areas covered by this management plan are shown on the Landscape Management Plan in appendix 3.

Area types to be managed

Type of landscape to be maintained:

- Amenity Grass areas
- Ornamental Plants
- Hedges
- Existing trees
- Recently planted trees
- Hard surfaces and Roads

Stakeholders

Summary of stake holders

Developer and Landowner is: Firmitas Ltd

Local Planning Authority: Hillingdon Council

Management will be undertaken by: Private Management Supportive Information:

The management plan is put forward with the detailed landscape proposals (DWG No. CA21/026-01-02, Landscape specification Specification) (Appendix 1), Management area plan (Appendix 2) and summary of maintenance table (Appendix 3).

Details of stake hold responsibilities

The developer

Will be responsible for the construction of this development and ensuring that and existing landscape is protected and maintained through the full demolition and development of this site.

Whilst construction the developments, the developer will implement all hard and soft landscape in line with the approved plans along with undertaking the initial establishment maintenance of both hard and soft landscape. Soft Landscape Plans (DWG No. CA21/026-01, 02 and Landscape Specification)

The Local Planning Authority

This term (will be abbreviated to LPA) refers to Hillingdon Council including its Planning and Landscape Officers were involved in the approval of the Landscape and other planning plans and documents for this site.

Adopting Company

They will be the owners and responsible for the management of the hard and soft landscape areas, as shown on landscape management plan in appendix 2.

Implementation of Landscape

Overview

This is to be carried out in accordance with the Approved plans and Specification in appendix 1.

Programme of works

The works are to be completed within the first planting season following the completion of the properties. This is currently planned to be completed before the end of the first planting season on completion of the development.

Inspection of works

Once works are completed implementation report will be completed and any defects will be picked up and rectified.

Adoption

This will take place once the works have been completed in line with the approved plans and the initial 12month defects liability has completed.

Working hours for Maintenance Works.

Any maintenance will not commence before 08:00 or continue after dusk or 19:30 whichever is earlier Monday to Friday, before 08:00 and after 12:30 on Saturday or before 09:00 and after 12:30 on Sunday.

Long Term Management operation:

Aims / Objectives

The longer term aim is to increase the amenity and wildlife value to the local community. Full establishment of all plants, trees and grass within the areas of management.

Objectives

Set up a strong management schedule and maintenance policies. To aid the successful establishment of the recently planted landscape.

Manage and retain any existing vegetation or trees.

Review of maintenance schedule

As the landscape evolves, the landscape will have to cope with these changes. A review every 5 years minimum should take place to review the long term and short term management, to ensure the landscape adapts to its uses and environment. Before the completion of the first five year period, a review shall take place to ensure all elements of the landscape are being maintain to a good standard.

Regular Maintenance Works

Aims:

Ensure these areas are safe for all visitor to the grounds with regards to the landscape.

Achieve a High Standard of Maintenance

Maintain the character of the landscape in line with the original design.

Objectives:

Amenity Grass Areas

Maintain a healthy grassed area, to include to be free from pest and diseases, drought, water logging. To ensure areas are maintain fit for purpose.

Ornamental Shrub Plants

Maintain a healthy shrub bed, which is to include: free from pest and diseases, drought, water logging. To ensure areas are maintain fit for purpose.

Ornamental Shrub Planting

These are designed to give long term visual amenity. They will need to be suitably managed to their locations. They will require to be pruned on a regular bases to ensure there is no excessive leggy growth. If litter gets caught in the plants this should be cleared out on the regular visits.

Recently Planted Trees

These are designed to give long term visual amenity.

They will need to be suitably managed to their locations, this should be agreed the Councils tree officer if trees are in public highways. Formative pruning should be undertaken prior to completion of five year maintenance.

Hard surfaces

These are to be maintain in a good order, which is fit for purpose and has no health and safety issues. E.g. no trip hazards, pot holes.

The areas should be free from weeds, litter, debris, animal excrement, gum or slippery surface and not falling into dilapidation.

Street Furniture

These is to be maintain to a good standard and fit for purpose. This is to include safe to be used in public areas, clean, functional and not falling into dilapidation.

Existing trees

These should be checked on an annual bases by a suitable Arboriculturalist to advice on suitable management of the trees. This may require more or less regular visits depending on condition of existing trees.

Regular Maintenance Works Method

Trees

Recently planted trees

- Top up mulch to the 75mm depth as and when required.
- Check stakes and cross brace straps and tighten or loosen as required.
- Apply a suitable slow release fertilizer twice yearly, once mid to late April and again in early September, application rate to manufactures specification.
- Prune out any damaged or dead limbs as and when required.
- Remove all arising's from site to a legal recycling site
- Inspection by an Arboriculturalist should inspect the trees once they are established to ensure they are safe and pruned to extend their life.
- Water trees in periods of dry weather. This will need to be assessed by the management team to the required frequency and amount of water that is required. This should be around 18 times per year for the first 2 to 3 years of life. If no rain within 14 days, tree shall be watered to field capacity.
- Hand weed the tree pit areas seven times a year and ensure roots are removed. Once completed, re level bark mulch and remove all arising's from site to a legal recycling site. There should be an additional visit outside growing season that should be undertaken to check winter condition of areas.

Existing Trees

These should be checked on an annual bases by a suitable Arboriculturalist to advice on suitable management of the trees. This may require more or less regular visits depending on condition and age of existing trees. Prior to any works carried out, contact with the council tree officer to ensure there is no Tree Preservation Order is in place or any other restriction. An ecologist maybe required if cavities occur in the trees to ensure no protective species are harmed.

Hedges

- Maintain to maximum of 1.8m unless in public area, then maintain to 1.5m and width of 1m. They should be cut regularly and should not allow new growth to be more than 200mm.
- Top up mulch to the 75mm depth as and when required.
- Apply a suitable slow release fertilizer twice yearly, once mid to late April and again in early September, application rate to manufactures specification.
- Remove all arising's from site to a legal recycling site

- Watering maybe required in long periods of dry. This will need to be assessed by the management team to the required frequency and amount of water that is required. This should be around 18 times per year for the first 2 to 3 years of life. If no rain within 14 days, hedges shall be watered to field capacity.
- Hand weed these areas seven times a year and ensure roots are removed. Once completed, re level bark mulch and remove all arising's from site to a legal recycling site. There should be an additional visit outside growing season that should be undertaken to check winter condition of areas.

Ornamental Planting

- Top up mulch to the 75mm depth as and when required.
- Prune out any damaged or dead limbs as and when required.
- Replace dead plants to match original specification, unless a disease has cause the plant to die, then a suitable replacement plant shall be planted.
- Remove all arising's from site to a legal recycling site.
- Water plants in periods of dry weather. This will need to be assessed by the management team to the required frequency and amount of water that is required. This should be around 18 times per year for the first 2 to 3 years after implementation. If no rain within 14 days, plants shall be watered to field capacity.
- Hand weed areas seven times a year and ensure roots are removed. Once completed, re level re-mulch and remove all arising's from site to a legal recycling site. There should be an additional visit outside growing season that should be undertaken to check winter condition of areas.

Grassed areas

Amenity Grass

- These should be mown to 30mm and cut in growing season every 10 to 14days or when the grass get to a height of 50mm , this excludes any area with bulbs, once bulbs come through they should not be cut till late June. Cuts yearly will be around 28, depending of rate of growth. Increase mow height to 35mm in dry periods and trigger for cut height to 55-60mm.
- Strim edges on every visit.
- Fertilize grass as required, using suitable grass fertilizer with the correct chemical balance the grass requires at that point. Fertilize minimum of twice a year, late spring and early autumn. All too current legislation and by manufacturers specification.
- Aerate grass twice yearly, once late spring and early autumn. Using suitable machine and depth of aeration needed for the grass area.
- Selective weed killer to be applied as required to ensure a good grass sward.
- Landscape contractor is responsible for ensuring these areas are maintained to a high standard.
- Watering in periods of dry weather of more than 14 days, and will need to be assessed by the management team to the required frequency and amount of water that is required.
- No growth regulators should be used.

- If areas become bare, these shall be reseeded and fenced off to allow establishment. All to be done to current best practice and BS standards.

Hard Landscape

Hard Surfacing's

- Areas to be inspected monthly and checked for trip hazards, mechanical damage, settlement, staining, litter, excrement, chewing gum, vandalism or any other defect.
- Any remedial works shall be carried out quickly and to a high standard.
- Sweep paths/ road monthly to give high standard finish or as required.
- Strim grass edges where they abut hard surfaces.
- Weed removal: The use of suitable herbicide to kill weeds off can be used, if undertaken to all relevant health and safety regulations, control regulations, COSHH and any legal regulations and the areas are closed off to public access whilst being sprayed and until it dries. Weather must be in line with spraying guidance and not be applied on windy days. Undertaken as and when is required. Minimum of twice yearly.

Fencing, Gates

Inspect fencing and gates monthly taking great care to inspect posts, latches, footings, hinges, braces, self-closing devices, fixings, rails, styles, bolts, and paint work etc; making good, adjusting, tightening these as required, minimum of twice yearly checks.

Long Term Maintenance

AIMS

- Ensure that the landscape elements: trees, shrubs grass areas, and all hard landscape structures, features and facilities are sustainable for use and are maintain to increase their life span.
- Encourage, protect and maintain sustainable wild life resources.
- To continue the high standard of maintenance as set out in the annual works

OBJECTIVES

Surveys

Walk over survey by ecologist and arboriculturalist every two to three years, unless an environmental factor arises and requires more regular inspection.

Specialist Works

Specialist works shall be defined as any works that require input from specialist contractors with particular expertise in the relevant field. According to the nature of the works, there may be an additional requirement for monitoring or a watching brief by a specialist consultant.

Occasional Maintenance Method

Replacement or Enhancement Generally

- Any landscape element that comes to the end of its life shall be replaced to the original specification e.g. trees, shrubs, hedge plants, fence panels, slabs etc.
- Any landscape elements that die in first five years shall be replaced with the size and quality of the original stock.
- Once annually the strategic planting shall be reviewed and over time some replaced to increase the age biodiversity of the site.

Existing Trees

- All existing trees retained, must be surveyed by a suitable Arboriculturalist to assess the trees health and general condition.
- Trees put into a management will have an extended life and increased biodiversity value.
- If works are required to be carried out, approval may be required from the tree officer if the tree is covered by a Tree Preservation Order.
- When works are carried out, some of the cut wood should remain if suitable.

New Tree Planting

- Formatively pruned when the tree becomes a suitable age.
- If trees are damaged then all pruning works are to confirm to BS3998:2010 or latest version available.
- If trees die or need replacement then they should be installed to original specification, and replaced for like for like, unless 'Same Tree Disease' could be present. Replacements that differ from original shall be agreed with LPA tree officer.
- Long term fertilizer program should be in place to continue plants life.
- Damaged shrubs, shall be replaced.

Grassed areas

- These should be mown to 30mm and cut in growing season every 10 to 14days or when the grass get to a height of 50mm +, this excludes any area with bulbs, once bulbs come through they should not be cut till late June. Cuts yearly will be around 28, depending of rate of growth. Increase mow height to 35mm in dry periods and trigger for cut height to 55mm.
- Strim edges on every visit.
- Fertilize grass as required, using suitable grass fertilizer with the correct chemical balance the grass requires at that point. Fertilize minimum of twice a year, late spring and early autumn. All to current legislation and by manufacturers specification.
- Aerate grass twice yearly, once late spring and early autumn. Using suitable machine and depth of aeration needed for the grass area.
- Landscape contractor is responsible for ensuring these areas are maintained to a high standard.

Hard Landscaping

- Continue monthly inspections of hard landscaping to ensure fit for purpose and free from any defects that include and health and safety issues.
- Repair or replace hard landscape as required.
- Clean all hard surfacing once a year or more regularly depending on site conditions requirements. Should be reassessed on a yearly bases.

Appendix 1: Landscape Proposals and Specification