

48 Murray Road

Approval (Discharge) of Condition 16

Prior to the construction of the access road details of the exact layout, dimensions and construction method shall be submitted to and approved in writing by the Local Planning Authority. Thereafter the access road shall be constructed in accordance with the approved details and maintained for the lifetime of the development.

REASON

To safeguard highway safety and to maintain the free flow of traffic in accordance with Policies DMT 1 and DMT 2 of the Hillingdon Local Plan: Part 2 Development Management Policies (January 2020).

Quality Assurance – Approval Status

Issue	Date	Prepared by	Checked by	Approved by
Issue 2	18 March 2021	Igors Smirnovs	Hillingdon Planning Authority	Hillingdon Planning Authority

Prepared by:

ECBC Group Ltd

129 Upton Road,

Bexleheath,

London,

DA6 8LS

Website:

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Client name:

Design & Build Limited

Site address:

48 Murrey Road

London, Harrow,

HA6 2YL

Project #

D233

Planning application #

9357/APP/2020/2502

Date of Application:

10.08.2019

Date of Decision:

20.10.2020

Project		Demolition of the existing bungalow & Erection of 4 x 2-storey detached dwellings		Status		
Client:		Design & Build Limited				
Address		48a Murray Road, Northwood, Middlesex, England, HA6 2YL				
Date	18 March 2021	Job. No	D233	Section	Sheet no.	Rev
By	IS				2 of 3	-
Checked	AS					
Rev	Date	Details: Application number: 9357/APP/2020/2502 Demolition of the existing bungalow and the erection of 4 x 2-storey detached dwellings with habitable roof space with parking, amenity, cycle provision, refuse and external landscaping and associated works				Phone +44(0) 7949250275 Email info@ecbcgroup.com Website www.ecbcgroup.com
Part						
Condition 16, The construction of the access road details						

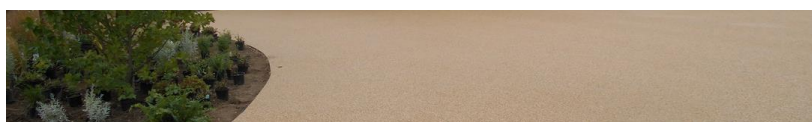
Details to Condition 16

Permeable resin bound gravel

Manufacturer: SureSet,

Product: Resin bound gravel paving (or similar approved)

Surfacing colours: Barley Beach, Size: 6mm natural aggregate



Construction Diagram, Driveway and pedestrians footpath (permeable base)

Permeable base (SuDS Compliant)



Permeable Paving

Bound with excellence since 1997

Fully permeable build up above membrane

SureSet

An aggregate size of 6 mm requires a standard depth of 30mm
Fine grit is lightly cast onto an uncured surface

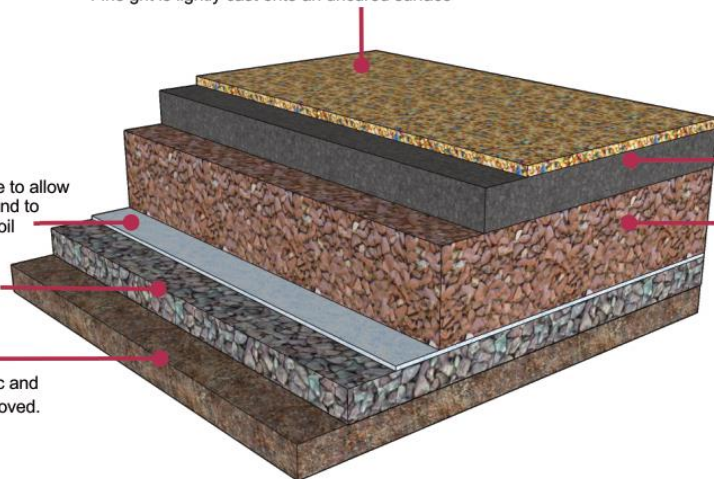
Membrane

A geo-textile separation membrane to allow infiltration directly into sub-grade and to prevent upward migration of fine soil particles may be required.

Capping/Improvement layer,
if required, in one or more layers.
(please see notes on reverse)

Sub-grade

Top soil stripped back until organic and vegetative material has been removed.



Asphalt Binder Course

Laid by in well compacted layers.
A 70mm minimum depth of maximum size AC 10 open graded asphalt.
Max 100/150 pen to BS EN13108-1:2006 (Bituminous Macadam) or (recommended BBA approved polymer modified binder).

Sub-base

Laid by in well compacted layers.
A 175mm minimum depth of well compacted Type 3 granular sub-base to SHW clause 805 or 4/40mm, 4/20mm graded crushed concrete aggregate to BS EN12620 or locally available secondary or recycled aggregates which comply with the above specification blinded with 2/6.3mm graded crushed concrete aggregate to BS EN12620.

The base to be cleaned to remove all loose and/or organic material, dust and detritus. Edging strips, usually aluminium, may be fixed to free edges to contain the surface layer and prevent edge crumbling.

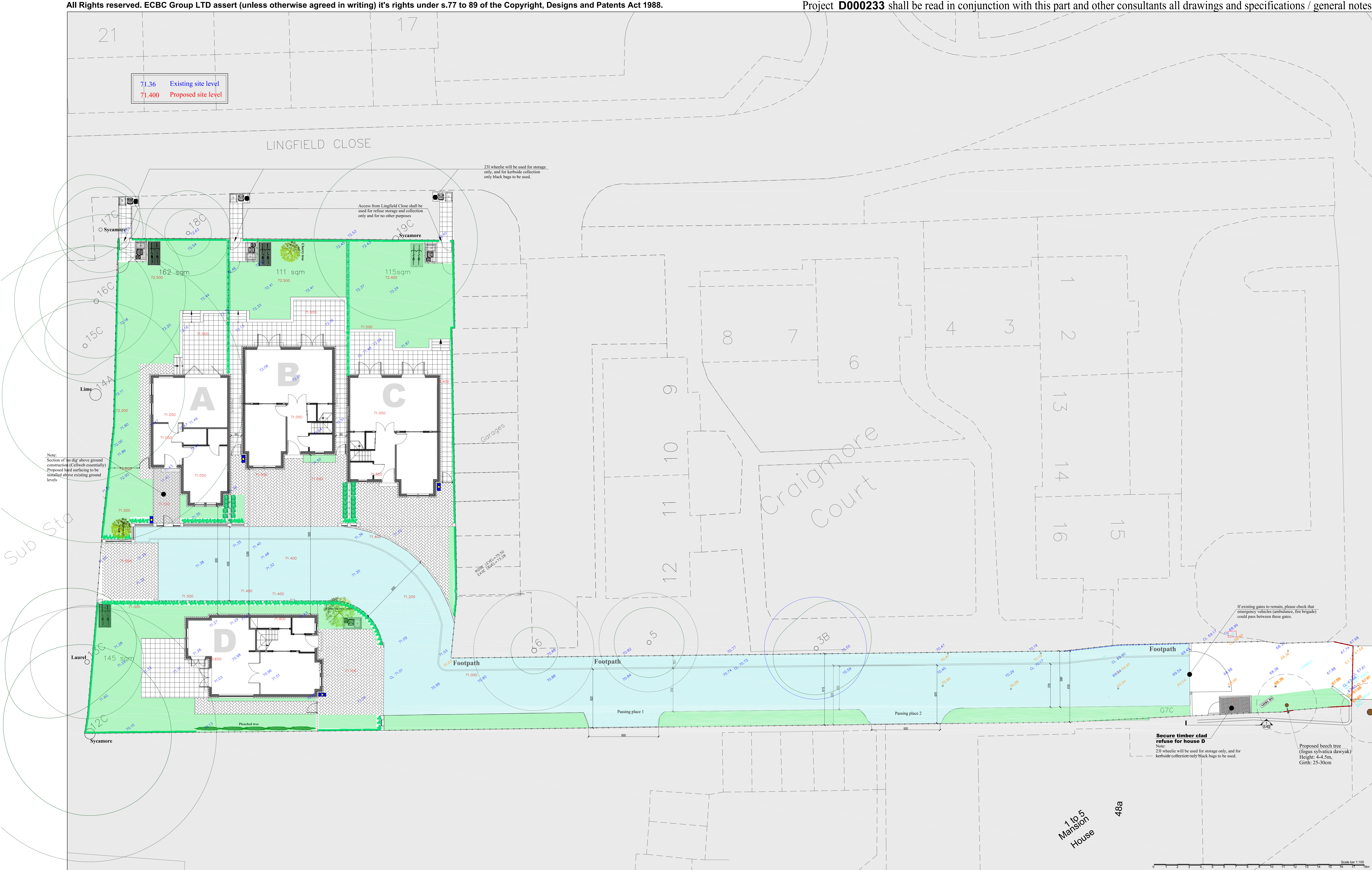
Note:

As per arboricultural method statement Surfacing near trees will need to be a 'no dig' construction

Final surfacing details has been coordinated with the arboricultural consultant, to ensure that adjacent trees and other retained vegetation are not adversely affected by the surfacing proposals.

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Part Condition 16, The construction of the access road details						

Attachments to support condition



Rev	Date	Description	Client	Design & Build Limited	Scale @ A0	1:100	Job No.	Drawing No.	Rev
-	-	-	Project	Four x 2-storey detached dwellings	A3	N/A	D000233	A-7	00
-	-	-	Address	48 MURRAY ROAD, HARROW, HA6 2YL	Drawn by	IS	Status of drawing	Design Stage	
-	-	-	Drwg. title	Site plan, Houses A, B, C, and D	Checked by	AS	Construction		
-	-	-		Read in conjunction with Arboricultural report	Date	11/03/21	Building control	3	