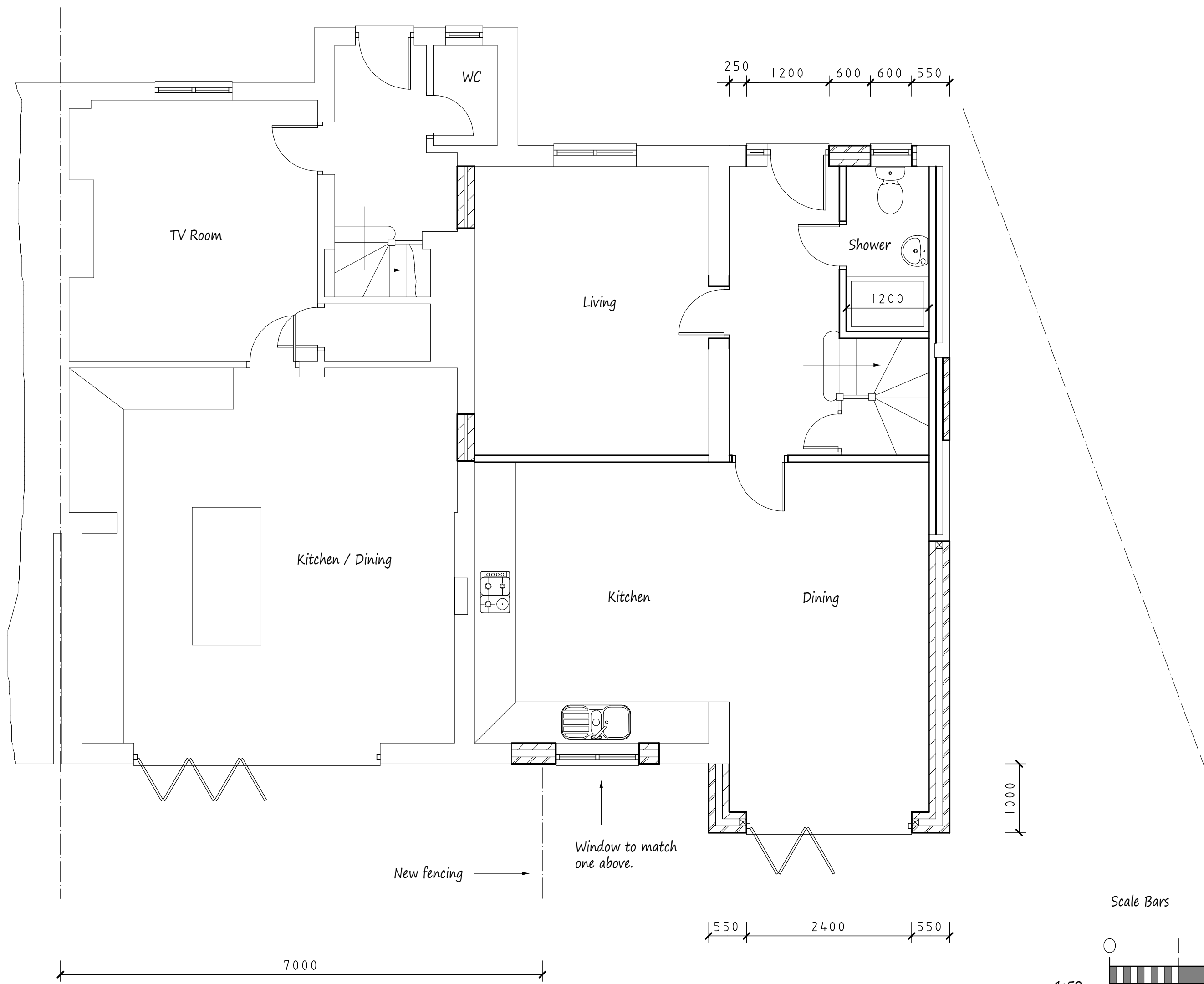
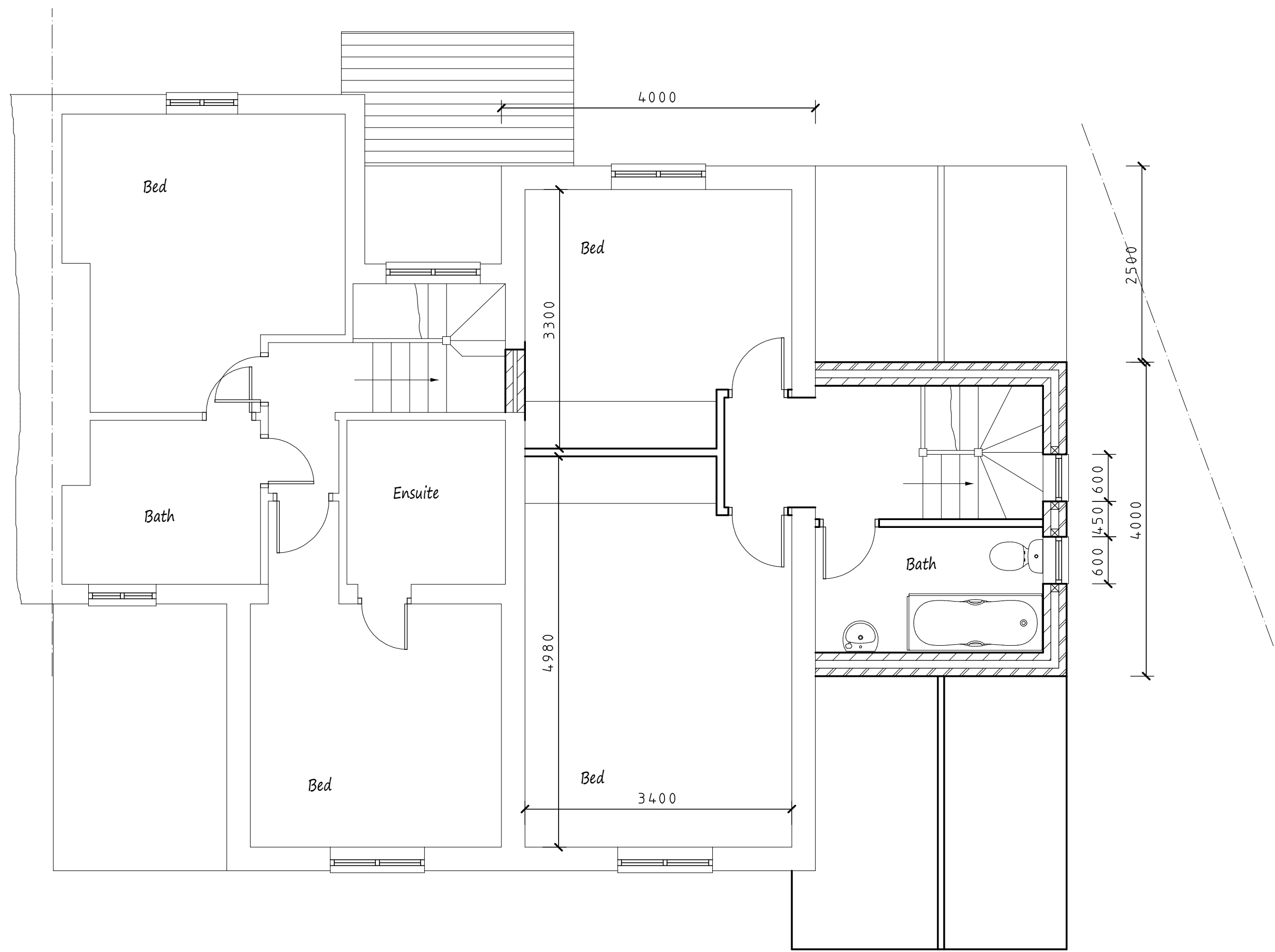
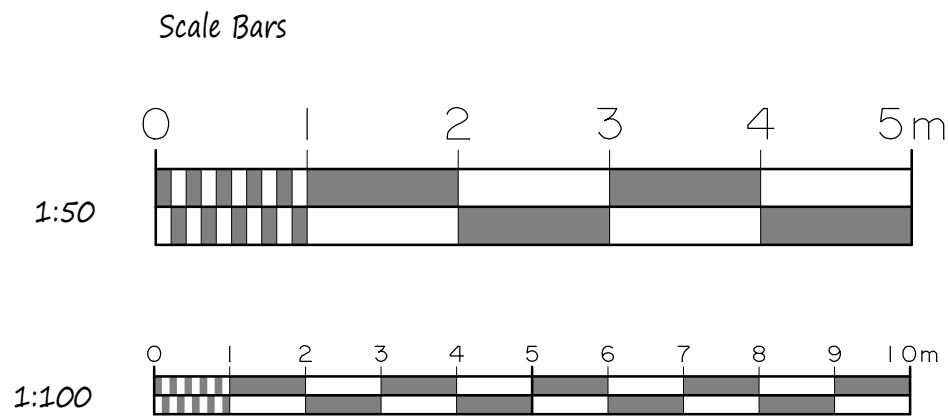


NOTES:
All dimensions must be checked on site and not scaled from this drawing.



Proposed Ground Floor Plan



Proposed First Floor Plan

Dwelling sizes:

Dwelling 1 (within existing building):
2 bedroom, 2 bathroom property, dwelling size 94m² over two storeys with over 60m² rear amenity space and allowance for 2No off street parking. Cycle store can also be provided at front of dwelling.

Dwelling 2 (incorporating proposed extension):
2 bedroom, 2 bathroom property, dwelling size 98m² over two storeys with over 110m² rear / side amenity space and allowance for 2No off street parking. Cycle store can also be provided at front of dwelling.

This drawing to be read in conjunction with Drg No 4508/01

Proposed Elevations - All Materials to Match Existing



Brick up existing opening from garage door with new front door and window as shown.

Front Elevation



Roof design to rear extension to match existing garage roof.

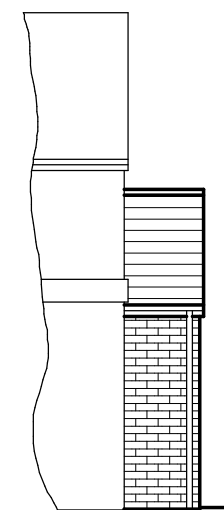
Side Elevation

Brick up existing window and make good.



Rear Elevation

Maintain low eaves to 1st floor extension to keep low lying with curvatures in ceilings internally to match existing dwelling.



Side Elevation

A	Date	Revisions
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Tel: 01895 622800 www.pottle.uk.com		
Client Mr Odell		
Job Title 54 Field End Road Eastcote Middlesex		
Drawing Title Proposed Part Two Storey, Part Single Storey Side / Rear Extension and Garage Conversion to create additional dwelling.		
Scale 1:50, 100		
Date January 2021		Drawn by MDP
Drg No. 4508/02		