

**DEMOLITION OF EXISTING DETACHED SINGLE DWELLING
AND THE ERECTION OF A BUILDING CONSISTING OF 9 NO.
FLATS WITH ASSOCIATED PARKING AND AMENITIES
(RESUBMISSION)
90 LONG LANE, ICKENHAM UB10 8SX**

DESIGN AND ACCESS STATEMENT, JUNE 2026

1. This Statement has been prepared in support of a full planning application for redevelopment comprising a building consisting of 9 no. flats following demolition of the existing dwelling at 90 Long Lane, Ickenham UB10 8SX.
2. The application follows a previous planning application 8905/APP/2024/2478 for a development of 9 no. flats which was refused by the Council on 8 May 2025.
3. The following assessment on design (including heritage) and access matters is included in the Planning Statement submitted with the application, which demonstrates how the previous reasons for refusal have been addressed. However, the Council has requested a separate Design and Access Statement and therefore this document has also been produced.

Design and character and appearance of the area (including Ickenham Village Conservation Area)

4. Local Plan policies seek to ensure that all new development complements and, where possible, improves the character and appearance of the area in which it is proposed. Policy DMHB11 requires all development to be designed to the highest standards and incorporate principles of good design and harmonise with the local context by taking into account the surrounding scale of development and considering the height, mass and bulk of adjacent structures, building lines and set backs and protecting features of positive value. Policy DMHB12 requires developments to improve legibility and ensure public realm design takes account of the established townscape character and quality of the surrounding area. London Plan Policies D1, D3 and D4 require proposals to respond positively to local context and to deliver high-quality, context-sensitive design.

5. Additionally, S72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 places a statutory duty on LPAs to pay special attention to the desirability of preserving or enhancing the character or appearance of conservation areas. This requirement is reflected in London Plan Policy HC1, which requires developments to conserve the significance of these assets and their settings, and HLP Policy DMHB4 (Conservation areas) which seeks states that new development within a Conservation Area or on its fringes, will be expected to preserve or enhance the character or appearance of the area.
6. The Committee Report to the previous refused application acknowledged that the flatted development at the adjoining site (No. 88 Long Lane) has recently been completed (Ref: 29164/APP/2016/4622). While elements of the previous proposals drew some inspiration from this neighbouring development, the proposed building would be significantly wider and bulkier than No. 88 such that the proposal would result in a building of substantial massing owing to its increased height, width, built form and bulk. The applicants sought to demonstrate that because the current application site is markedly larger than No. 88, in terms of percentage of built area proportionately the proposals were appropriate and acceptable. The report concluded that the development would continue to appear quite imposing due to its size, massing and scale which appears significantly greater than any of the existing buildings within the immediate area. Officers commented that the proposed bulk and massing should respond to the surrounding context, rather than plot size.
7. The Committee Report also noted that a key concern was the overall scale and bulk of the projecting Dutch-style rear return which would appear disproportionate within the building and would fail to appear as a subservient addition to the main building. Notably the rear projection would extend approximately 12 metres, which is larger than the depth of the main front building section. Combined with its substantial width, even with a modest set-in of 1.2m on each side, this exacerbates the overall scale and bulk, causing harm to the building's overall design and to the wider Conservation Area. Visually the combination of both the main frontage building and the rear projecting element would be imposing. Whilst, the projecting element would be more visible from flank, and rear viewpoints, given its overall height and width in proximity to the main roof, there would be some visibility also from public vantage points. The resultant form would appear cramped and overdeveloped compared to the

prevailing looser urban grain and development pattern along Long Lane. Although the staggered building line reflects some aspects of the street's character, this would not mitigate the excessive massing, which would be readily visible from both public and private viewpoints. The proposed development would therefore represent a cramped and overly intensive form of development, and a more significant reduction in the size and scale of the building would be necessary to achieve an acceptable form.

8. The current proposals have been substantially revised by the project team, with advice from myself, to address the previous objections:

- (1) The form and pattern of the proposals are inspired by the approved flatted development at No. 88 which is considered an appropriate design approach for the current site.
- (2) The main element of the proposed building is two storey and faces Long Lane broadly following the established building line (whilst noting that this is staggered because plots/buildings are not perpendicular to the street). It incorporates a steeply pitched roof with a projecting central which follows a similar form to No. 88 (although the current proposal is hipped).
- (3) There is a smaller projecting rear wing which has a similar Dutch barn shape to No. 88. This arrangement ensures the bulk and massing of the building is reduced particularly when viewed from neighbouring properties.
- (4) The Committee Report to the previous refused scheme set out some key dimensions. For comparison purposes:
 - The proposed building would measure approximately 19m wide along the front elevation. *Current proposal: 18.8m wide across a plot width of 28.1m or a building/plot width ratio of 67%. By comparison the building/plot width ratio at No. 88 is 86% (15.4 building width but plot width of only 18m).*
 - Height of approximately 10m. *Current proposal: 9.8m height. Same height as flats at No. 88. The front gable and rear wing*

have a lower height of 9.5m. to provide subservience (in combination with set in width and shape, see below)

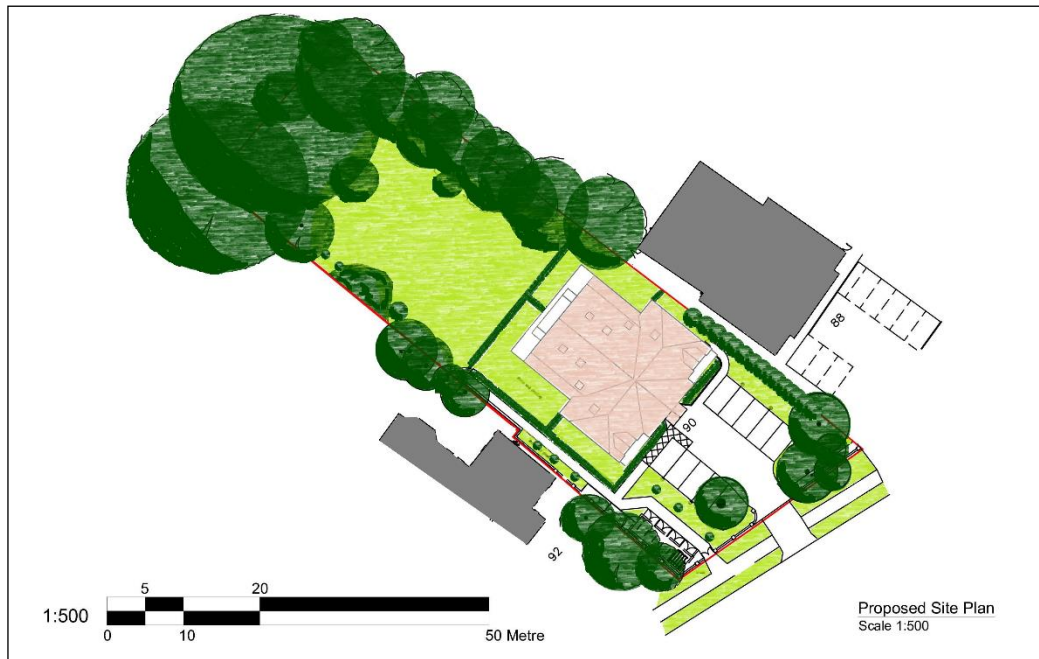
- Building depth of 23.5m at ground floor. Current proposal: *Building depth of 21.3m building depth at ground floor, reducing to 19m for upper floors. Building depth for No. 88 flats is 23.5m.*
- Rear wing steps in by 1.2m on each side. Current proposal: *Rear wing steps in by 2.4m on each side. The increased set-in distance and reduced ridge height helps ensure a subservient rear wing and also reduces views of the rear wing from the street (which in any event is largely screened by mature trees and shrubs).*

(5) The following are additional relevant comparisons (not used in the previous Committee report):

- The site area for this proposal (0.22ha) is 29% larger than the site area for No. 88 (0.17ha) yet the building footprint is only 3% larger (or smaller than No. 88 footprint if the single storey rear element is discounted).
- The overall building/plot ratio is 16% (building footprint of 352m² and site area of 2198m²) compared to 19% building/plot ratio for the No. 88 flats (building footprint of 327m² and site area of 1730m²).
- The rear wing in the current proposal is proportionally much smaller than the rear wing to No. 88 flats. The volume of the rear wing is about 780m³ compared to about 1005m³ for the rear wing to No. 88 (22%). The proposed rear wing is only 8m deep above ground floor compared to 10.2m depth for the rear wing at No. 88.
- The bulk and mass of the rear wing on the current proposal is also significantly less (and materially reduced compared to the previous refused scheme). The rear wing has a Dutch barn shape (or Gambrel form) with a low eaves height (about 2.7m) and two sloping roofs to the side, a low and shallow upper slope (about 30°) and a steeper lower slope (about 65°). This reduces the bulk

and mass when viewed from neighbouring properties. For example, the roof at the point where the lower slope meets the upper slope (top of the first floor) is 5.8m above ground level and set in more than 12m from the boundary with No. 92 and 8m from the boundary with No. 88. The rear wing to No. 88 is bulkier so both the first and second floor accommodation is set within the steeper lower slope, hence the equivalent point at the top of the lower slope is 8.5m above ground level and only 6.4m and 5.5m from the side boundaries respectively. For comparison, the ratio of the outline to the rear wing to the overall rear elevation is 58% for the current proposal and 70% for the flats at No. 88.

9. All of these quantitative comparisons demonstrate that the current proposal has incorporated significant reductions compared to the previous refused scheme. It now provides a suitably scaled development which is proportionate to its site and in keeping with its surroundings, and particularly when compared to the flatted development approved for No. 88.
10. The Committee Report to the previous application notes that the wider Ickenham Village Conservation Area is characterised by spacious, maturely landscaped residential plots and properties occupying large plots with extensive rear gardens.
11. The proposal is set back in the site about 19m from the front boundary (26m from Long Lane carriageway) in line with the staggered building line created by its neighbours. The forecourt layout retains important trees at the front of the site T2, T3, T4 and T5 and T38 (the latter was required to be retained by the Council's Tree Officer in the previous application; the layout has been amended so it is situated within a soft landscape area rather than within the parking area). Boundary trees are also retained on both sides as with the previous scheme. Thus, the proposal retains a large front and rear garden and continues to be well-landscaped with mature trees and shrubs. In particular, the development will continue to be well-screened from views from the road and provide a soft, natural screen from the street scene, as acknowledged in the previous Committee Report. The proposal therefore would maintain the sylvan character of the local street scene within this part of the Conservation Area.



12. In terms of design detailing, the Council raised concerns that whilst the previous proposal attempted to draw on the neighbouring development by incorporating mock Tudor features to the front elevation, this has been poorly executed. The detailing was basic and lacked the high-quality design expected within the Conservation Area. The excessive amount of fenestration and inconsistent window proportions resulted in an unduly prominent and visually discordant appearance, failing to respect the local character and therefore resulting in harm to the character and appearance of the Conservation Area.
13. The current proposals have been substantially redesigned. They incorporate mock Tudor features to reflect the existing dwelling and the neighbouring flats at No. 88. This also reflects the majority of other dwellings in the area including two-storey detached houses on the opposite side of Long Lane.
14. The proposed materials are brick to the ground floor, timber with render to the first floor and horizontal timber banding to the front gable and dormers with red plain clay tiles to match neighbouring buildings. Other design details have been introduced including contrasting lintels and cills, brick plinth and horizontal timber boarding to the first-floor gable and dormer faces.



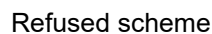
No 88 Long Lane – 9 flats



Established residential development opposite the application site

15. Windows are all triple casement except the 2 no. full length doors serving balconies. The fenestration on the rear elevation has been simplified with a handful of triple casement windows and full-length doors to the balcony and garden terrace areas. (windows could be leaded on the front elevation as shown below if required). As described above, the number of openings in the

16. The revised scale and design of the development will ensure that it would not have an unacceptable detrimental impact on the character, appearance and visual amenity of the area. The development would preserve the setting of the Ickenham Village Conservation Area. On this basis the proposal would accord with HLP Policies BE1, HE1, DMHB 1, DMHB 4, DMHB 11 and DMHB 12 and London Plan Policies HC1, D3 and D4, the National Planning Policy Framework (2024). The development would also meet the statutory duty in S72 to the LB&CCA 1990.





Current scheme



Proposed front elevation

Accessibility

17. London Plan (2021) Policy D7 requires at least 10 per cent of dwellings in new residential developments to meet Building Regulation requirement M4(3) 'wheelchair user dwellings' and all other dwellings to meet Building Regulation requirement M4(2) 'accessible and adaptable dwellings'.
18. The submitted floor plans confirm that ground floor flats 1 and 2 comply with the M4(3) requirement. All other units comply with the M4(2) requirements. Full details to ensure step-free access and verification that the ground floor units meet M4(2) standards can be required by a condition. On this basis, the proposal is considered to accord with the inclusive design objectives of London Plan Policy D7.