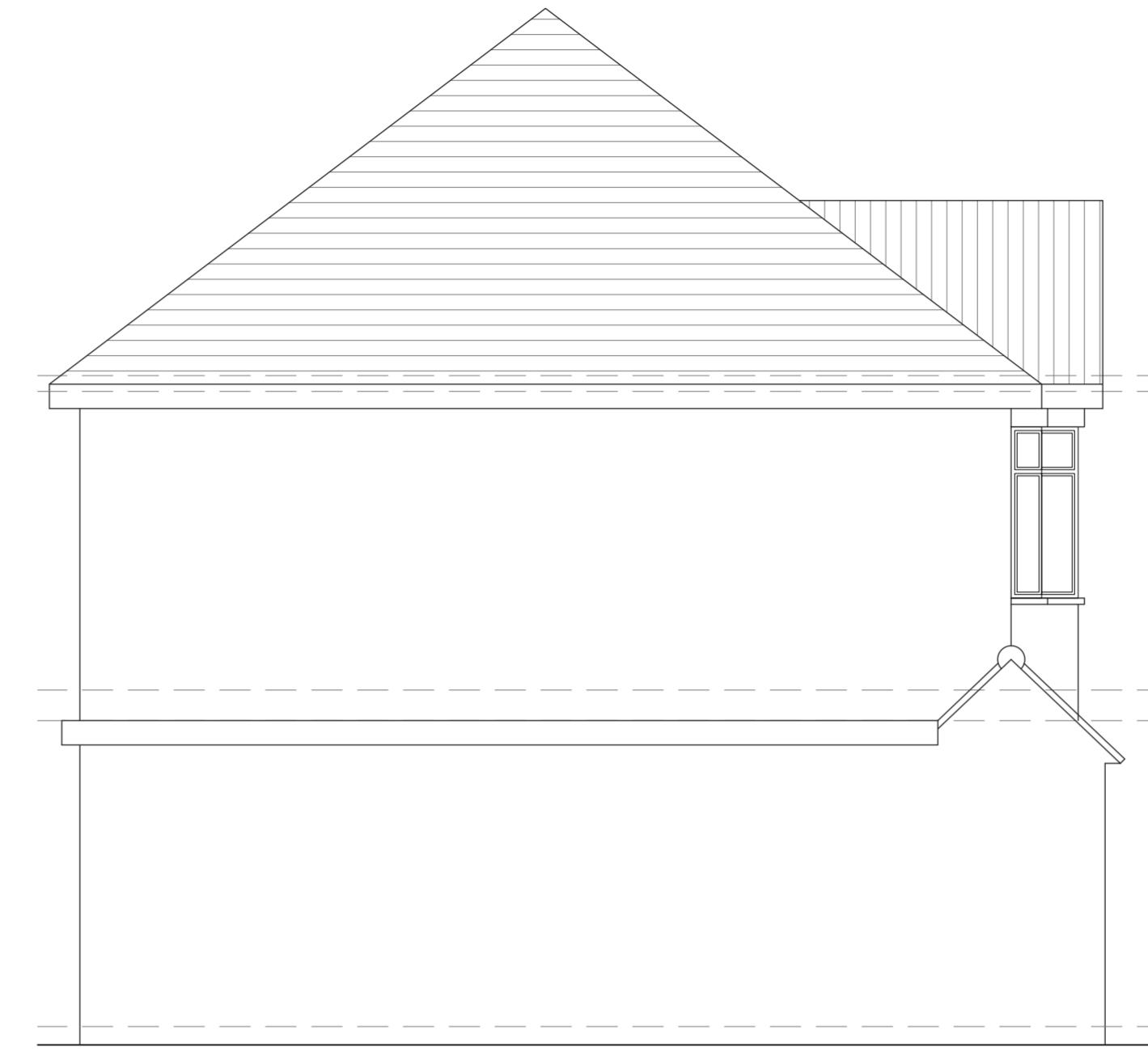




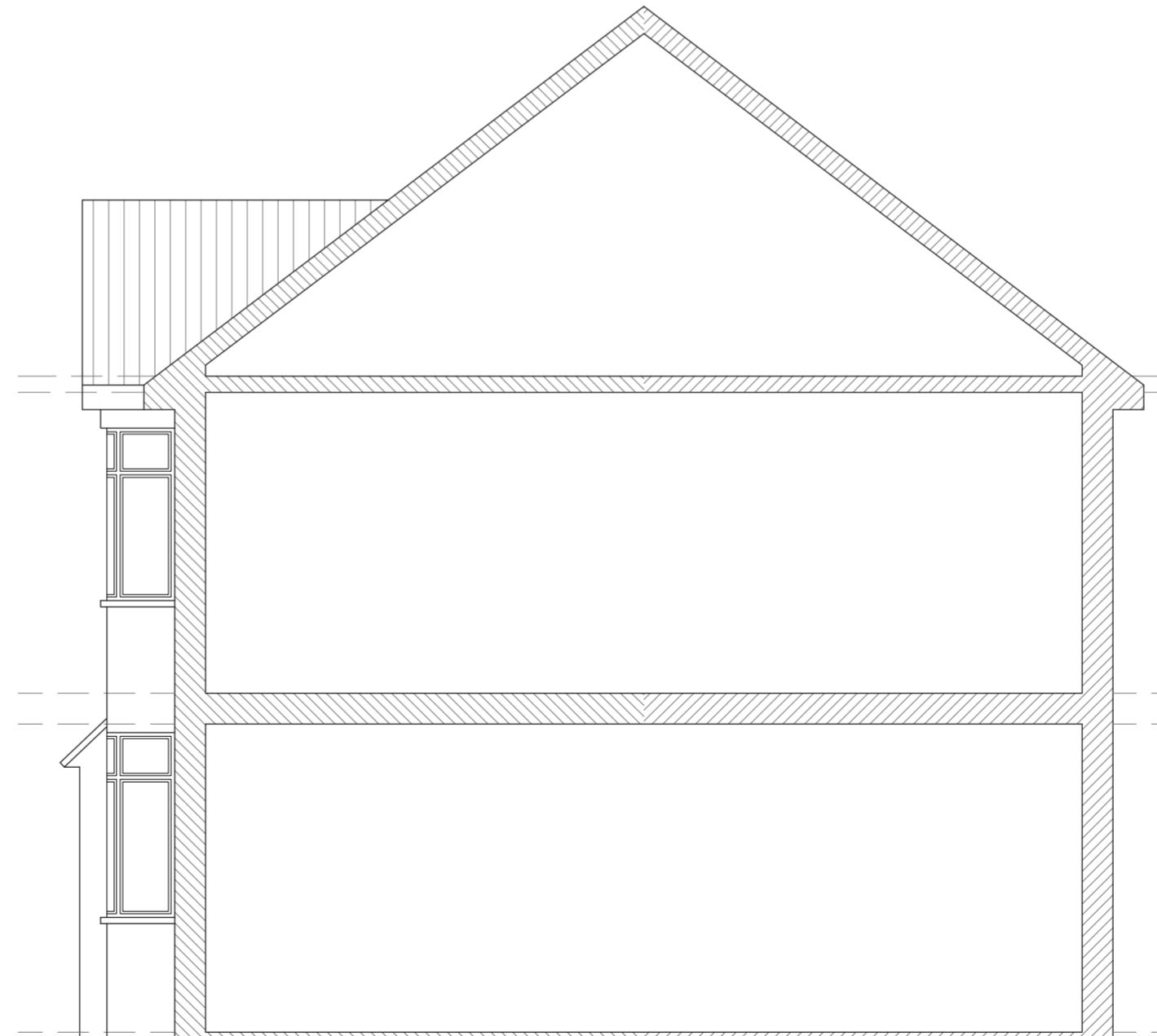
EXISTING
FRONT ELEVATION



EXISTING
REAR ELEVATION



EXISTING
SIDE ELEVATION



EXISTING
SIDE SECTION ELEVATION



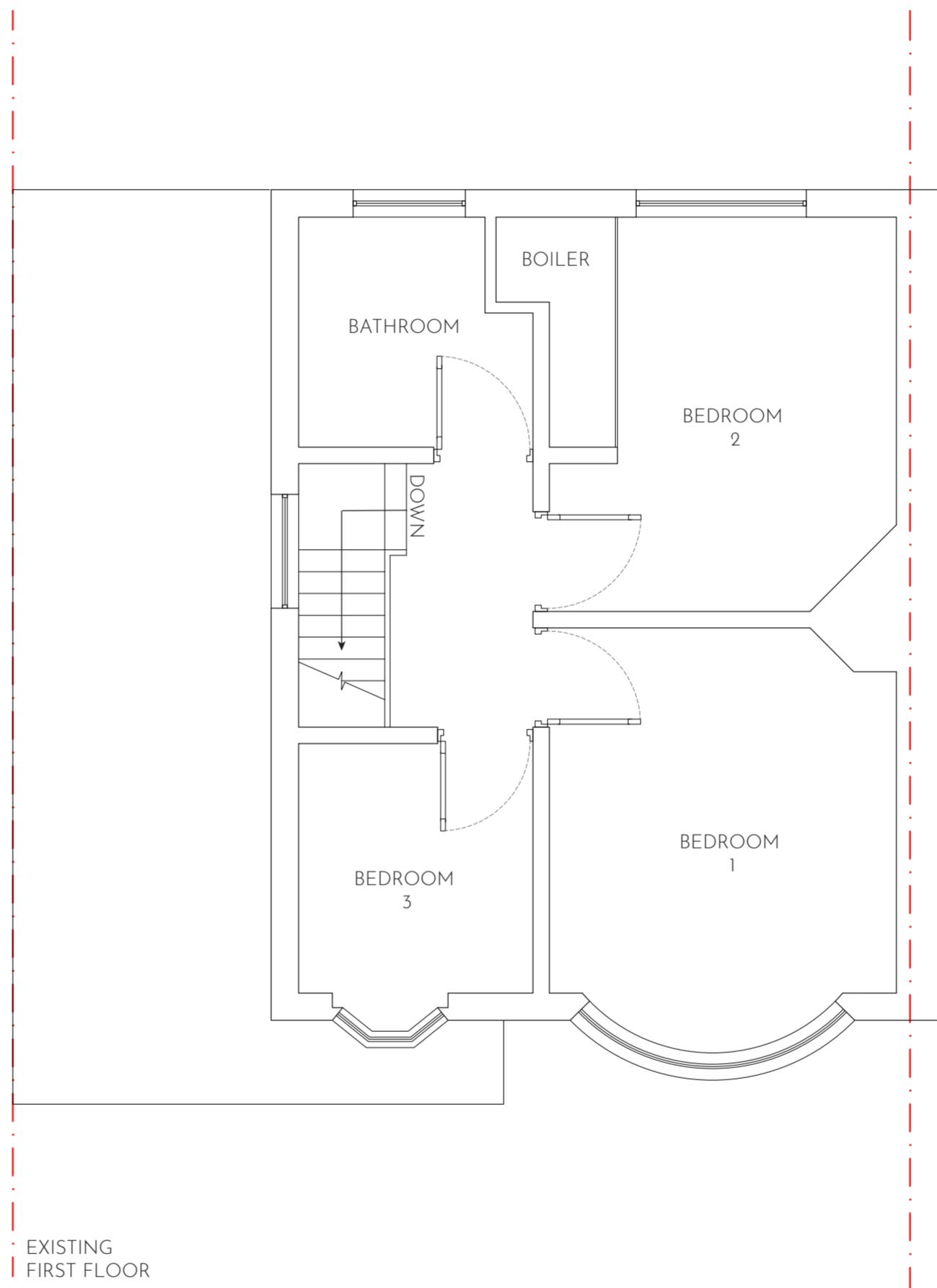
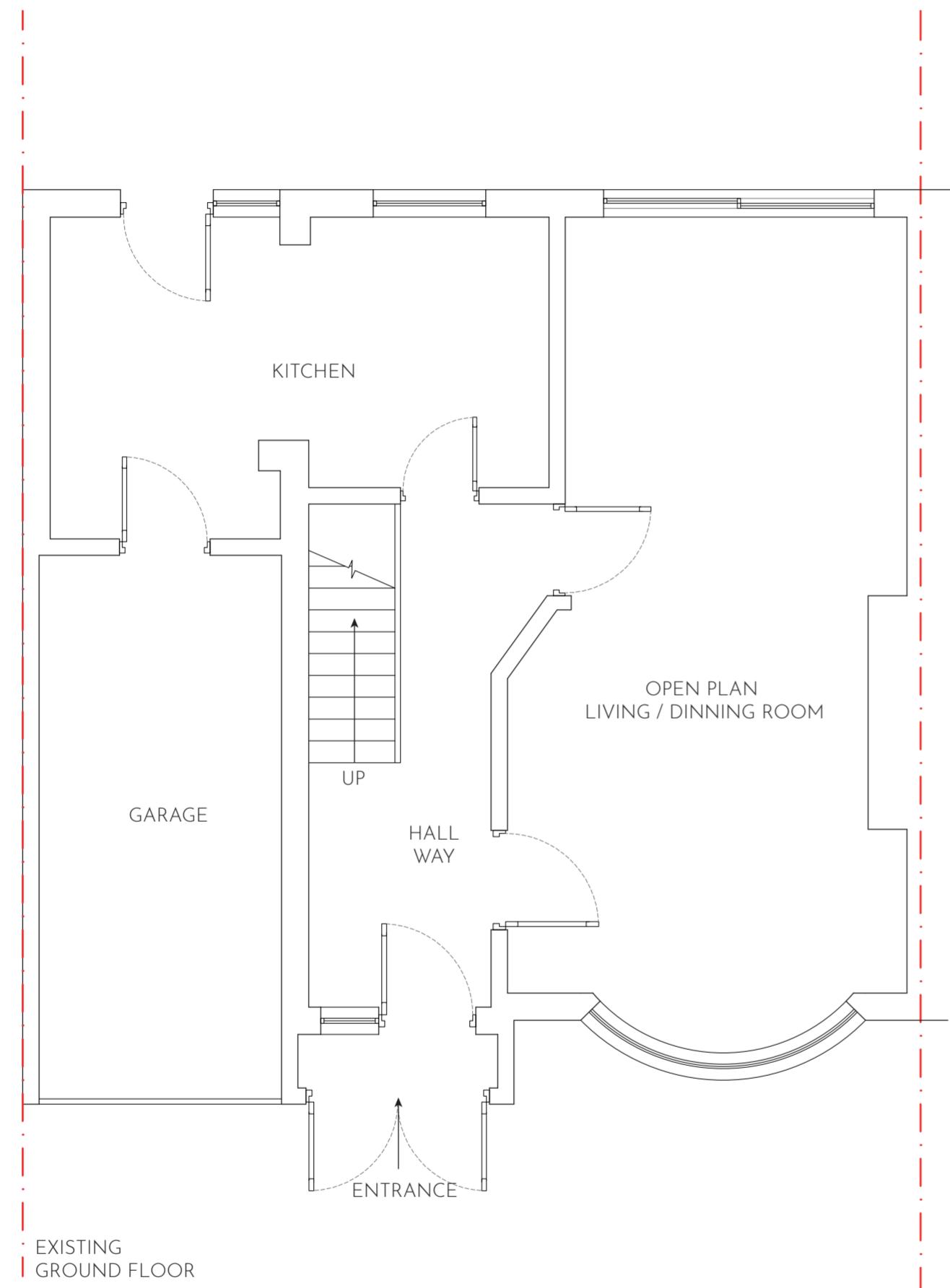
NOTES:

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STAGE:	PLANNING	
CLIENT:	MR NISARG GOSAI 18 THE FAIRWAY RUISLIP HA4 0RY	
PROJECT:	PROPOSED LOFT CONVERSION WITH REAR DORMER, WITH HIPPED TO GABLE END ROOF AND 2 VELUX FRONT ROOF	
FILE:	EXISTING ELEVATIONS	
DRAWN:	V.P	REVISION: A
DRAWING NO.	18TF/HA4ORY/202	
SCALE:	1:50/A2	DATE: 03/05/2025
SHEET:		

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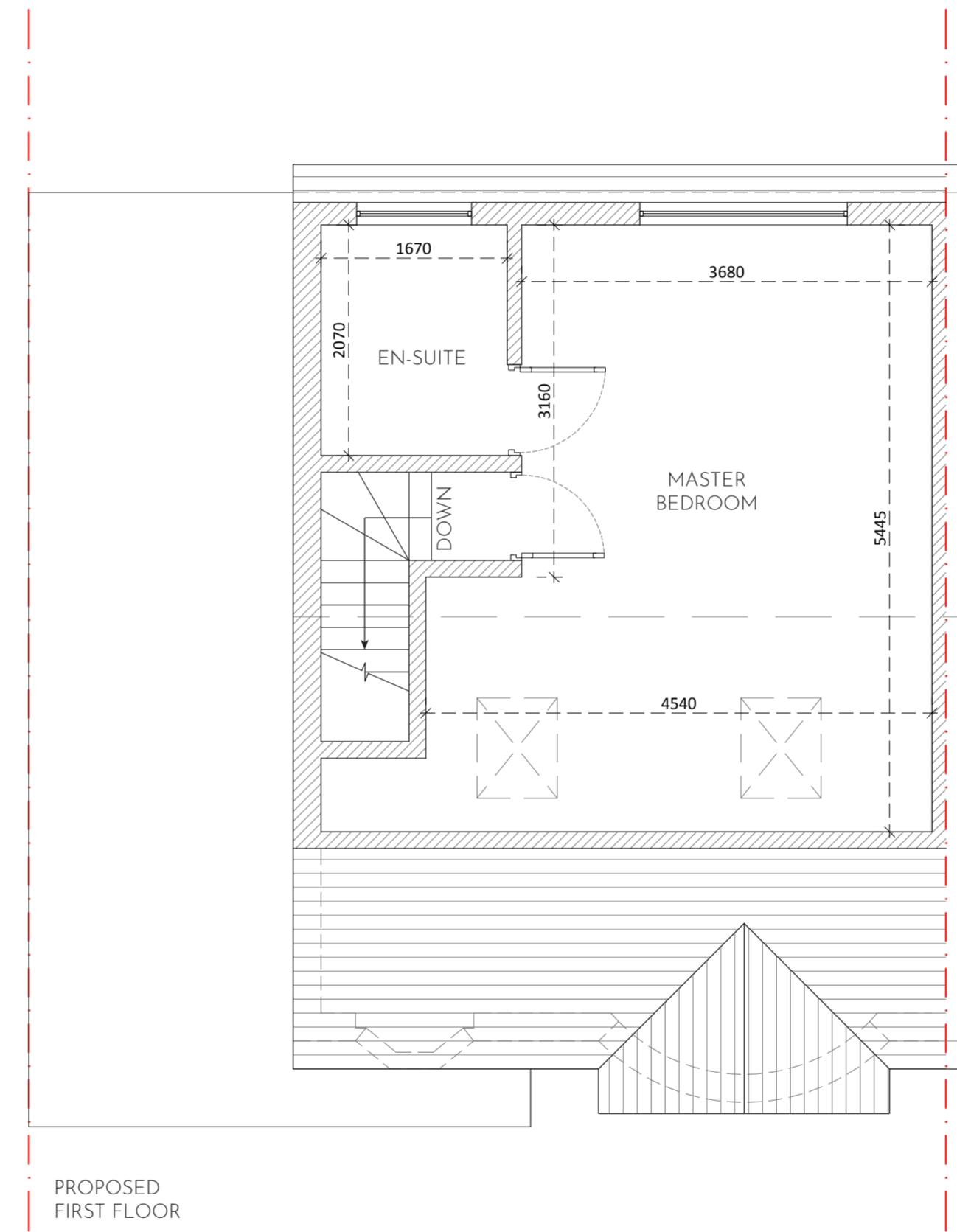
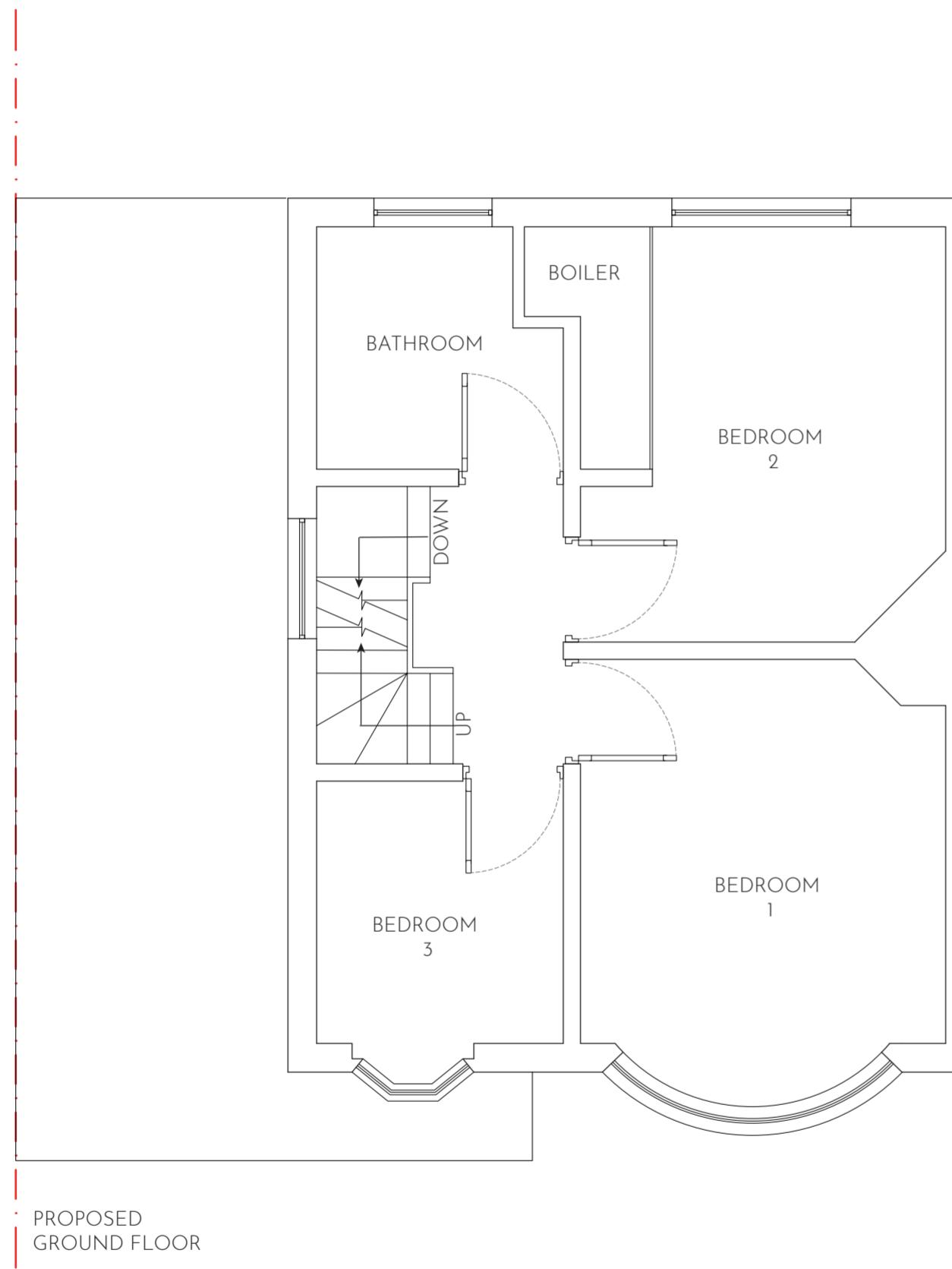
SCALE 1:50

0m 1m 2m 3m 4m 5m

STAGE:	PLANNING		
CLIENT:	MR NISARG GOSAI 18 THE FAIRWAY RUISLIP HA4 0RY		
PROJECT:	PROPOSED LOFT CONVERSION WITH REAR DORMER, WITH HIPPED TO GABEL END ROOF AND 2 VELUX FRONT ROOF		
FILE:	EXISTING FLOOR PLANS		
DRAWN:	V.P	REVISION:	A
DRAWING NO.	18TF/HA40RY/202		
SCALE:	1:50/A2	DATE: 03/05/2025	
SHEET:	203		

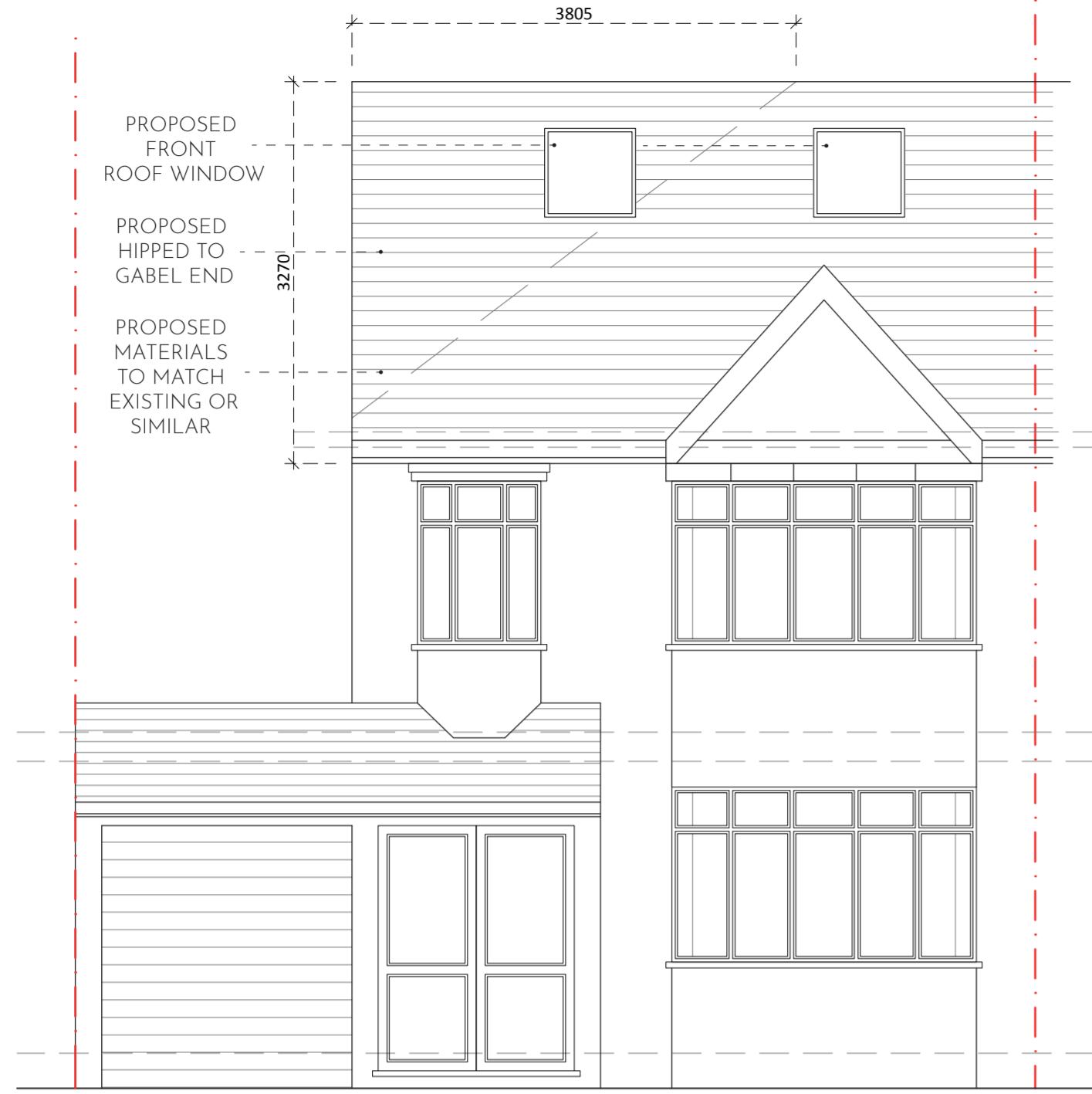
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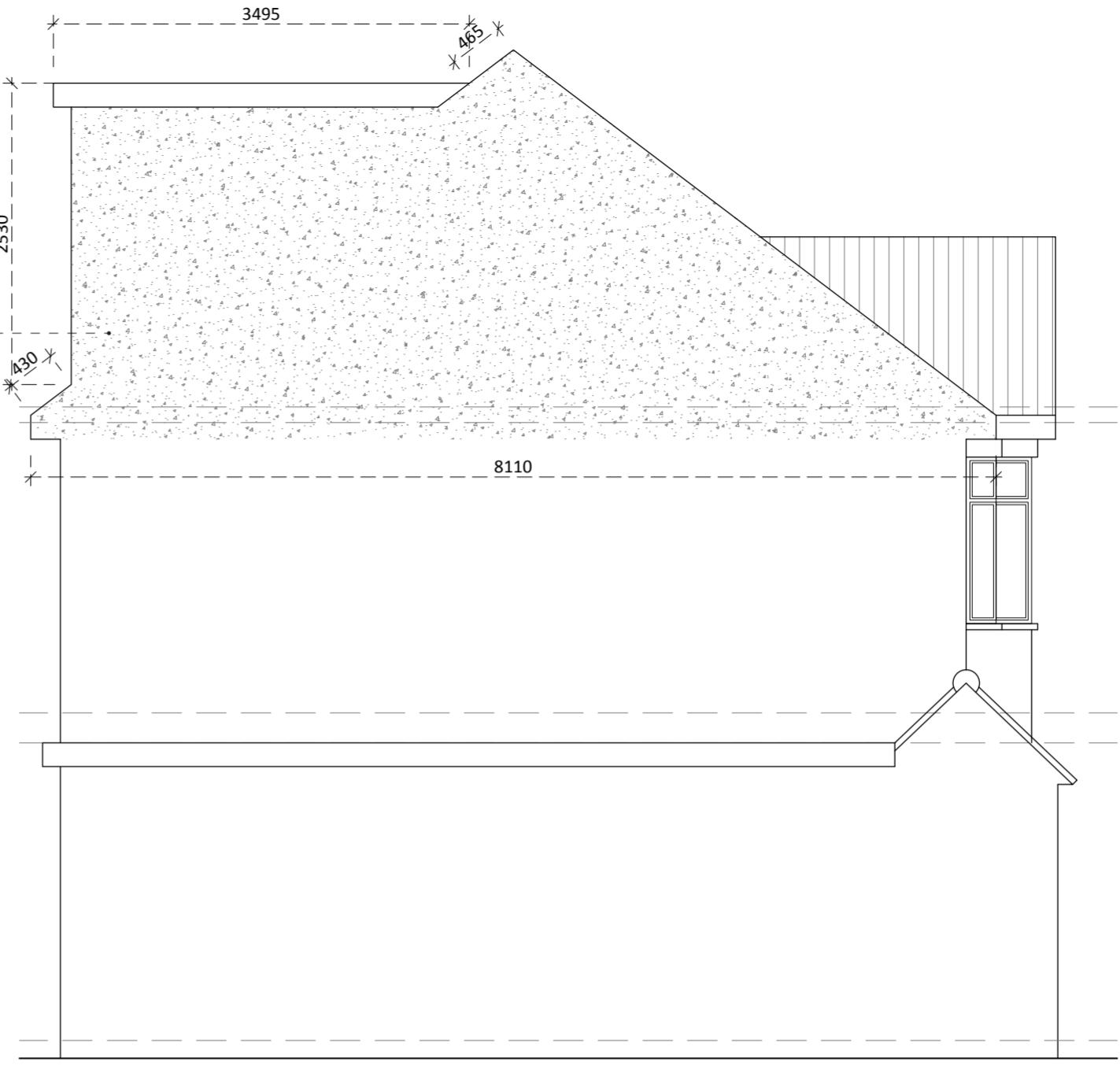
SCALE 1:50
0m 1m 2m 3m 4m 5m

STAGE:	PLANNING		
CLIENT:	MR NISARG GOSAI 18 THE FAIRWAY RUISLIP HA4 0RY		
PROJECT:	PROPOSED LOFT CONVERSION WITH REAR DORMER, WITH HIPPED TO GABLE END ROOF AND 2 VELUX FRONT ROOF		
FILE:	PROPOSED FLOOR AND LOFT PLANS		
DRAWN:	V.P	REVISION:	A
DRAWING NO.	18TF/HA4ORY/204		
SCALE:	1:50/A2	DATE: 03/05/2025	
SHEET:	204		



PROPOSED ROOF LIGHTS WOULD NOT PROTRUDE MORE THAN 0.15 METERS BEYOND THE PLANE OF THE SLOPE OF THE ORIGINAL ROOF WHEN MEASURED FROM THE PERPENDICULAR WITH THE EXTERNAL SURFACE OF THE ORIGINAL ROOF

PROPOSED HIPPED TO GABLE END MATERIALS TO BE RENDERED TO MATCH EXISTING



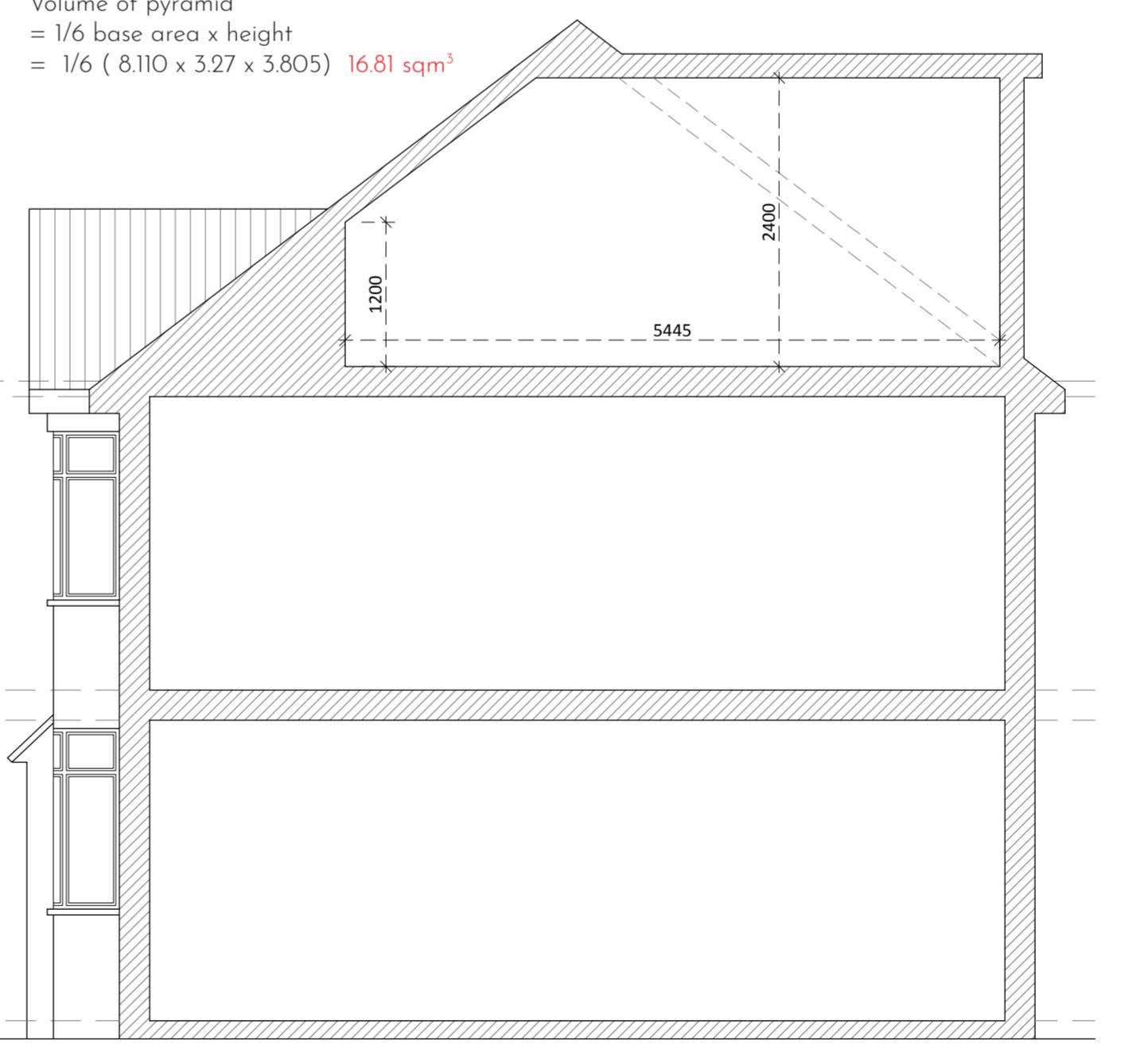
Note:

Total Cubic Volume of the proposed Loft conversion is:

$$W = 5.55m \quad H = 2.53m \quad D = 3.495m$$

$$W \times H \times D \times 0.5 = (5.55m \times 2.53m \times 3.495m) \times 0.5 = 24.53 \text{ sqm}^3$$

Therefore the total volume for the roof development is $24.53 + 16.81 = 41.34 \text{ sqm}^3$. The loft conversion falls within permitted development as it is under 50 cubic meters for semi-detached properties.



PROPOSED REAR ELEVATION

SCALE 1:50
0m 1m 2m 3m 4m 5m

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