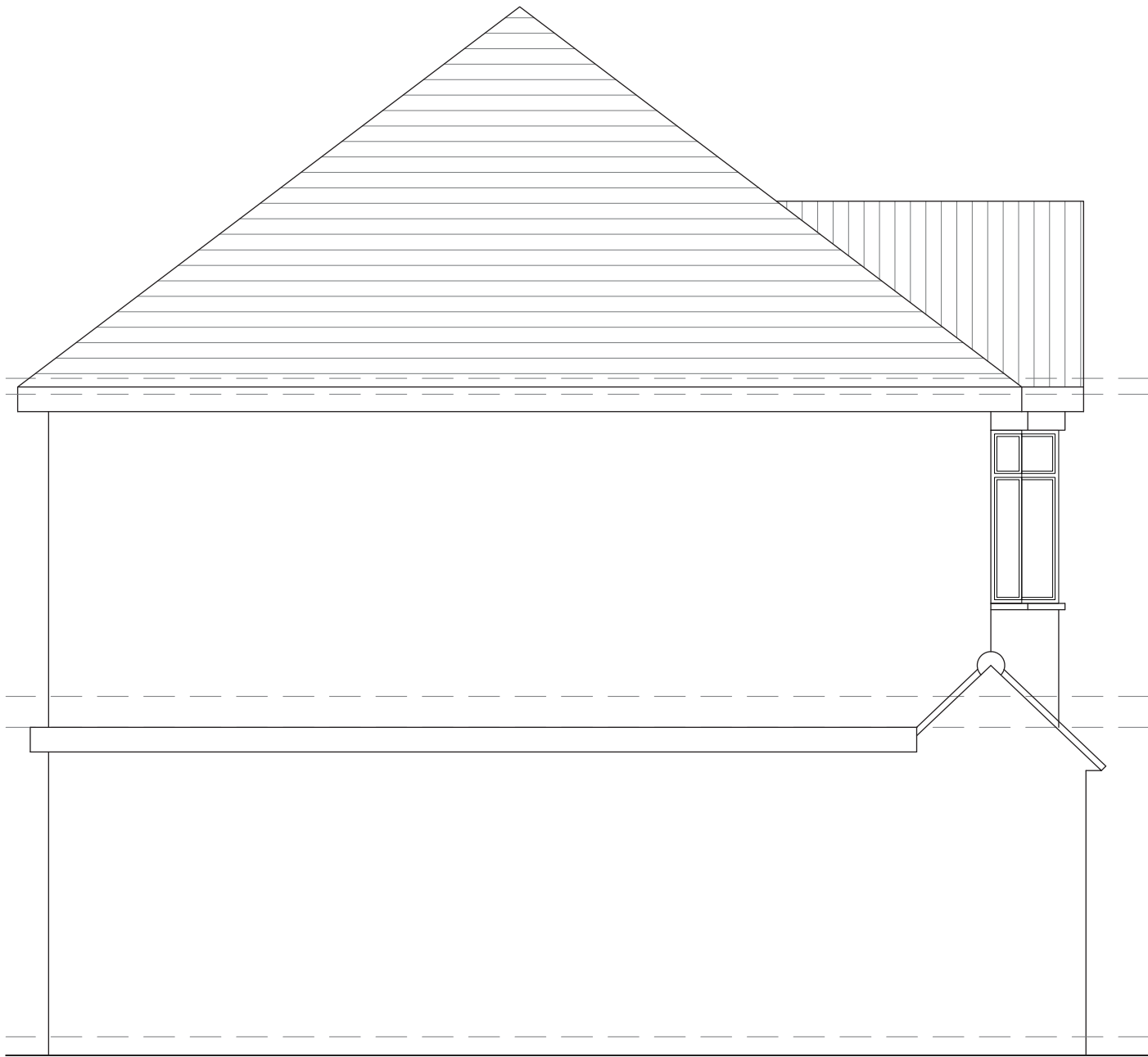




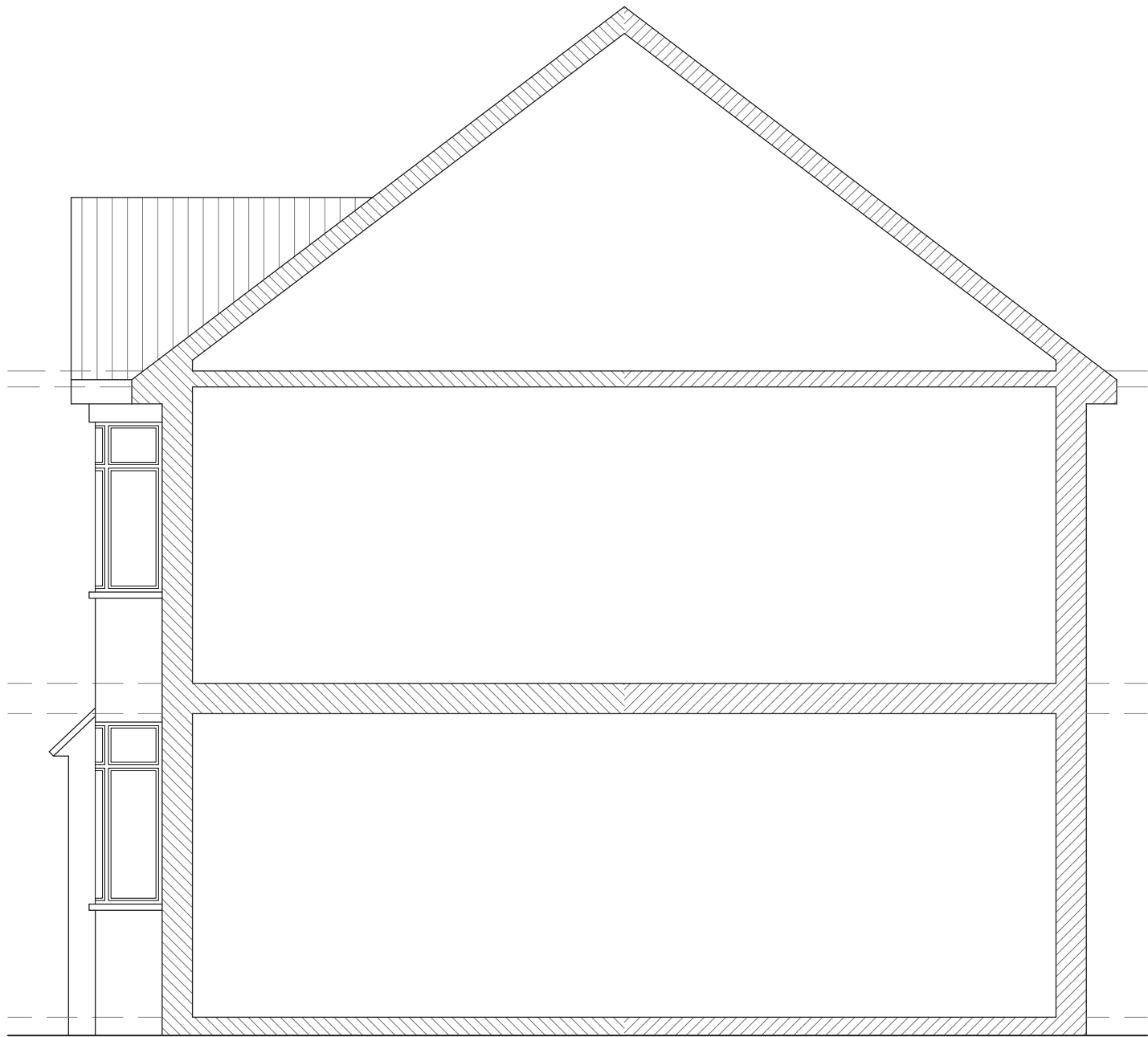
EXISTING
FRONT ELEVATION



EXISTING
SIDE ELEVATION



EXISTING
REAR ELEVATION



EXISTING
SIDE SECTION ELEVATION

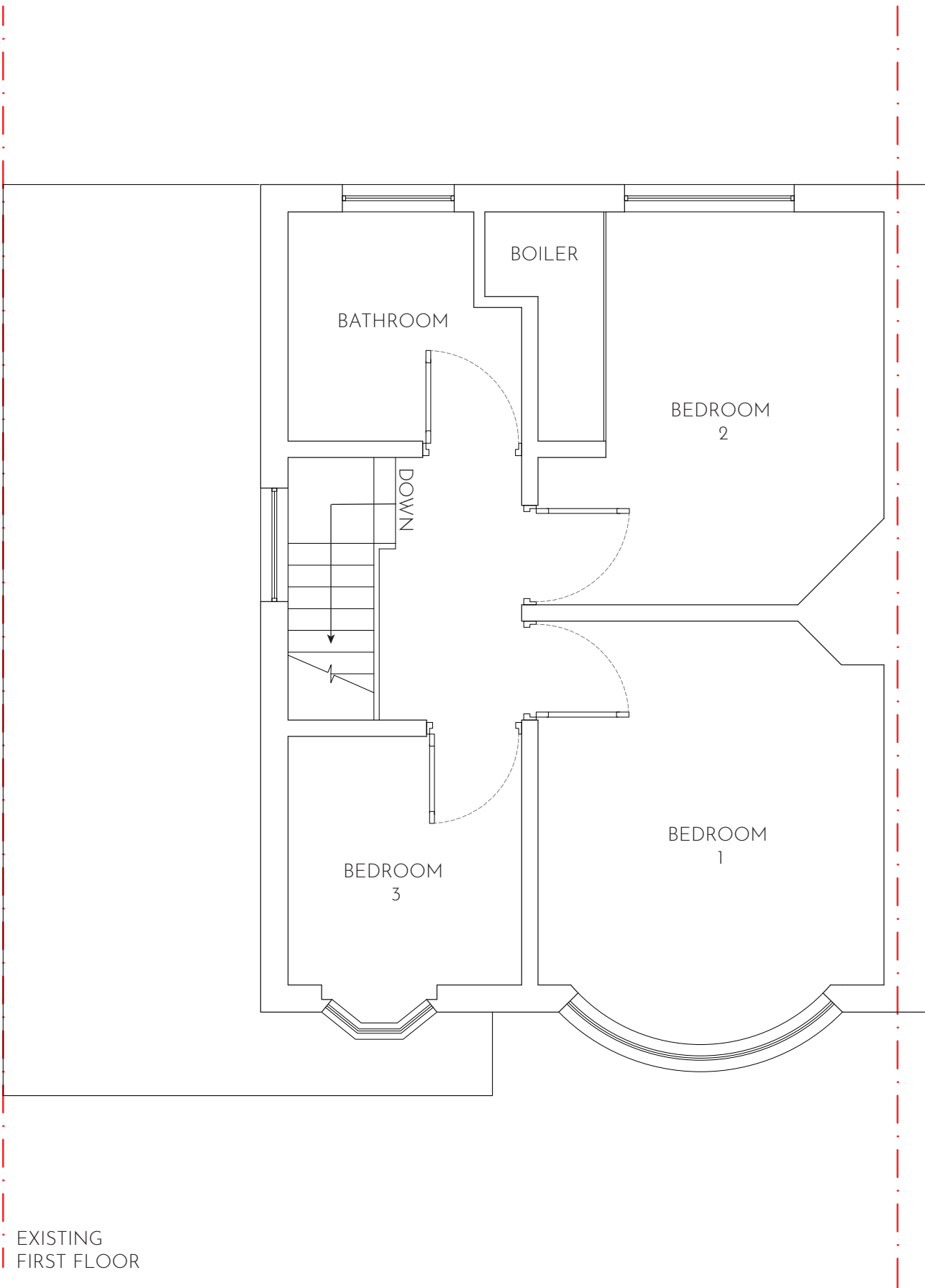
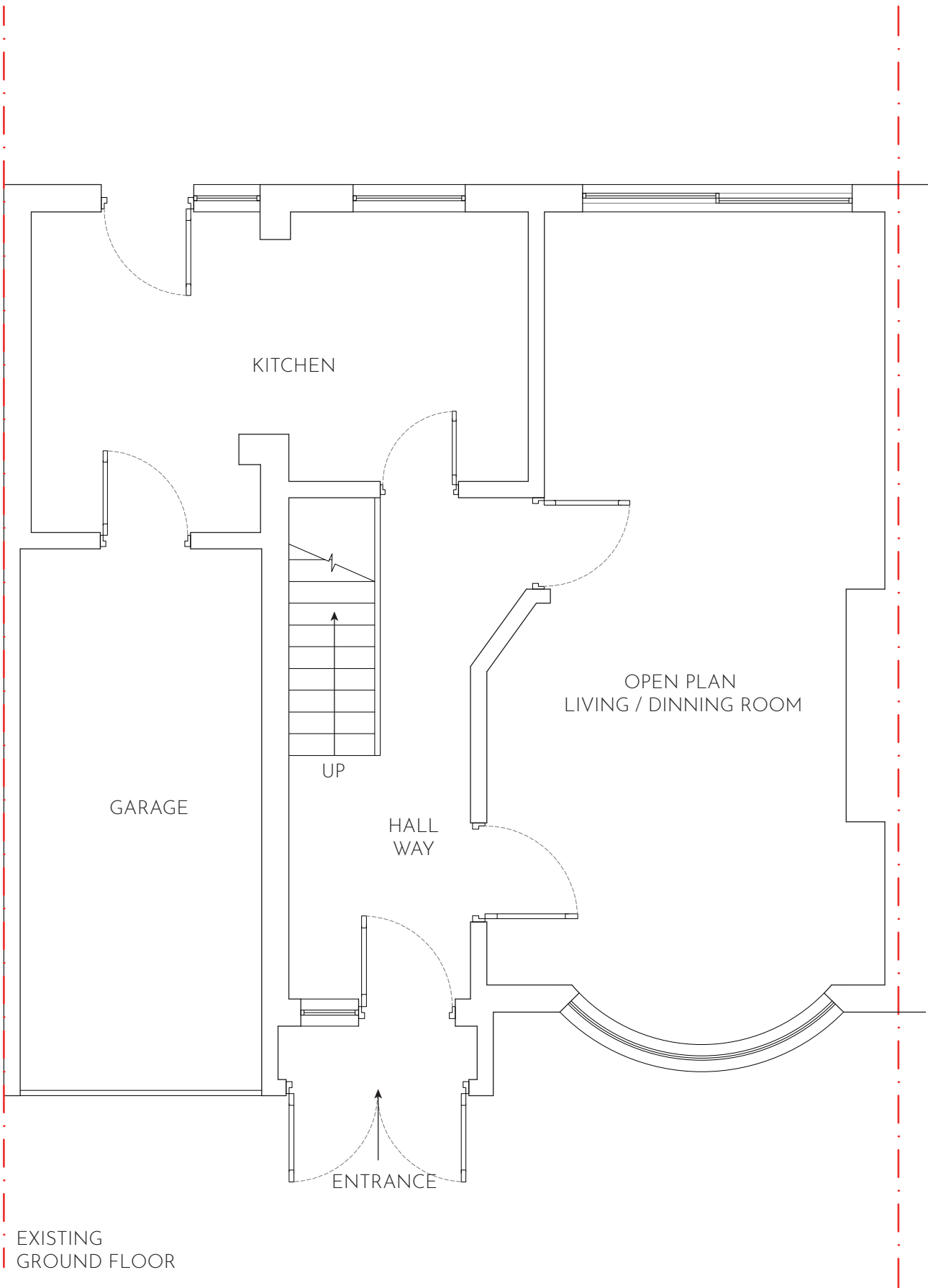
SCALE 1:50



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STAGE:	PLANNING		
CLIENT:	MR NISARG GOSAI 18 THE FAIRWAY RUISLIP HA4 0RY		
PROJECT:	PROPOSED LOFT CONVERSION WITH REAR DORMER, WITH HIPPED TO GABEL END ROOF AND 2 VELUX FRONT ROOF		
FILE:	EXISTING ELEVATIONS		
DRAWN:	VP	REVISION:	A
DRAWING NO.	18TF/HA40RY/202		
SCALE:	1:50/A2	DATE: 03/05/2025	
SHEET:			

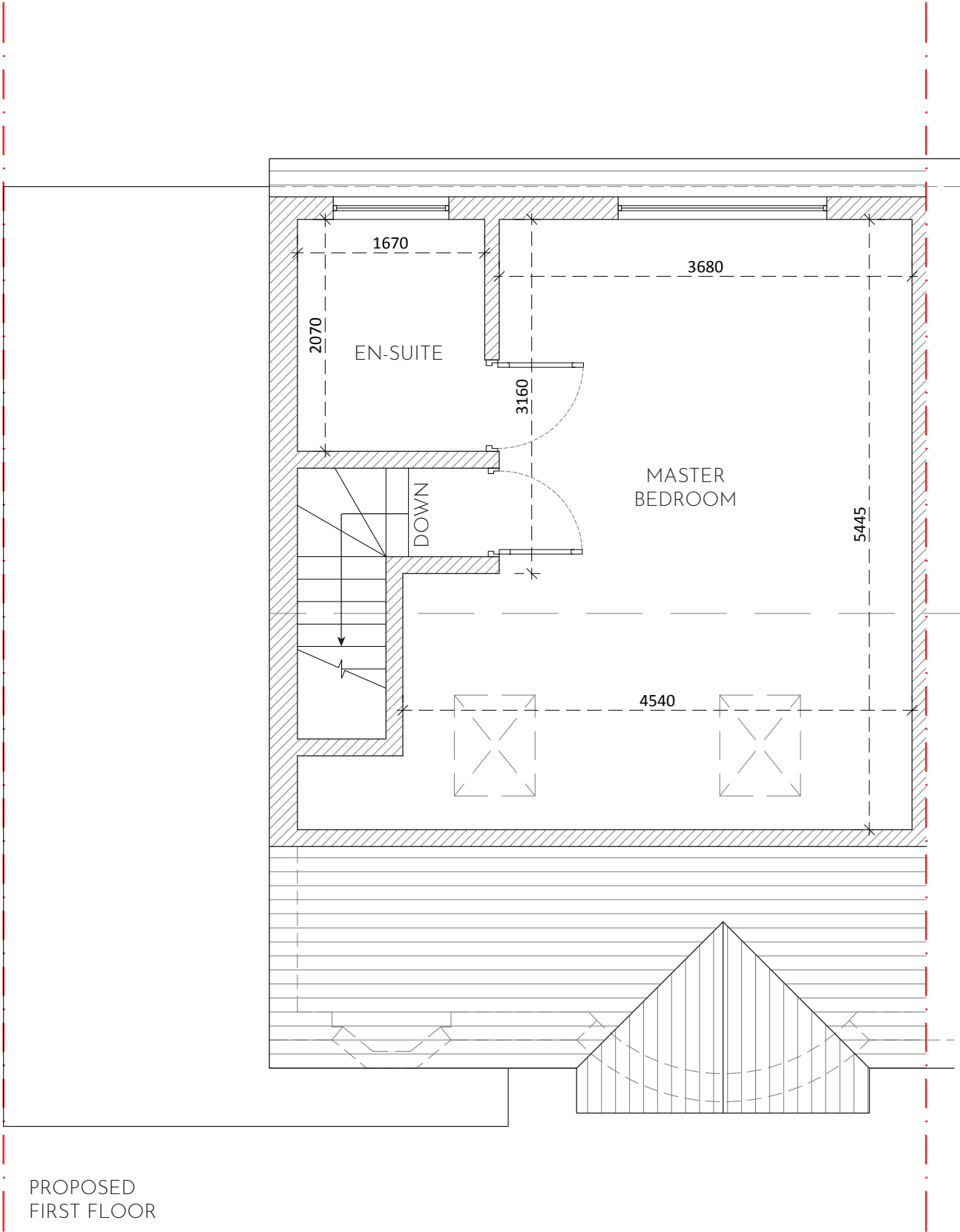
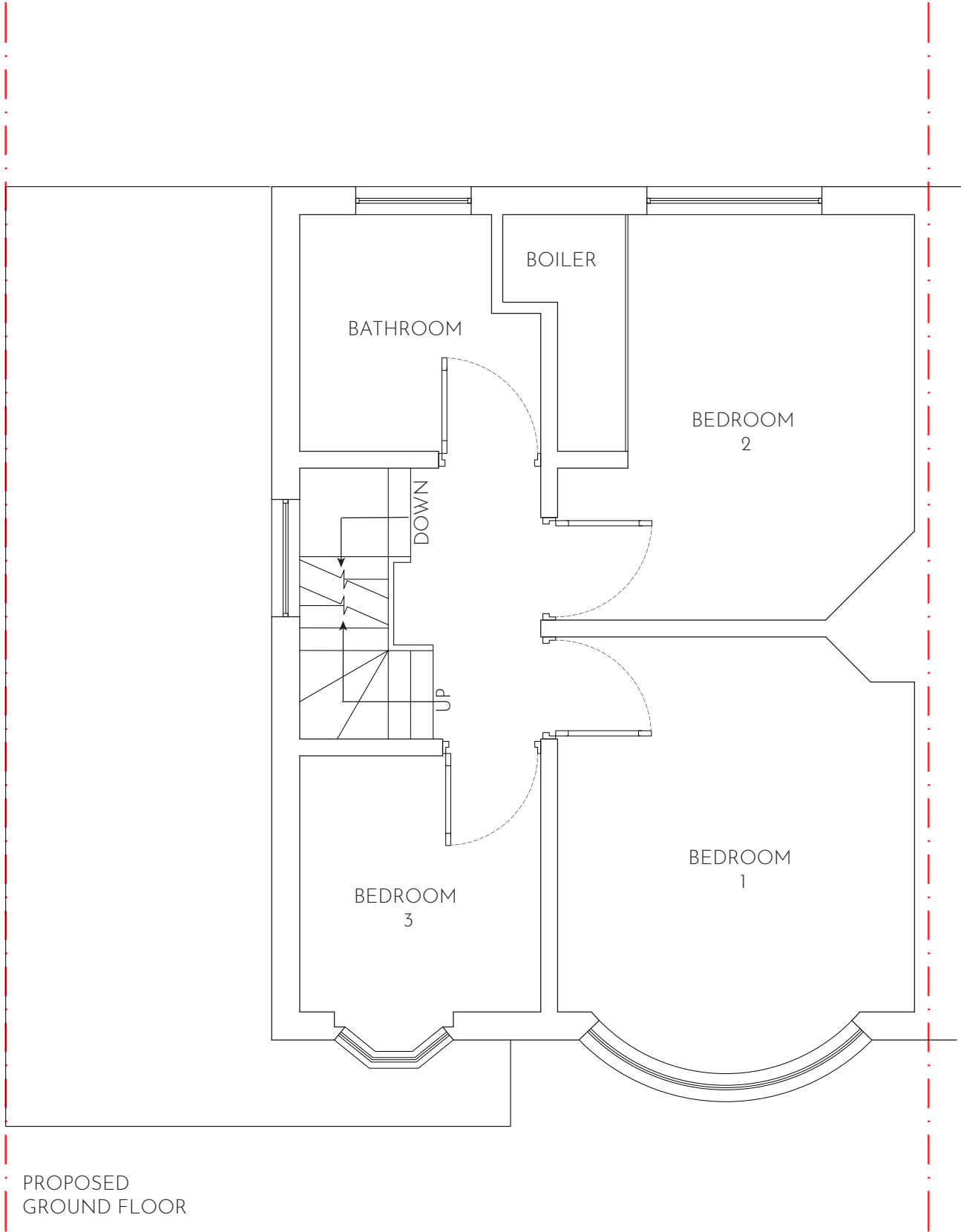


SCALE 1:50



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CLIENT:	MR NISARG GOSAI 18 THE FAIRWAY RUISLIP HA4 0RY		
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FILE:	EXISTING FLOOR PLANS		
DRAWN:	VP	REVISION:	A
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SHEET:			

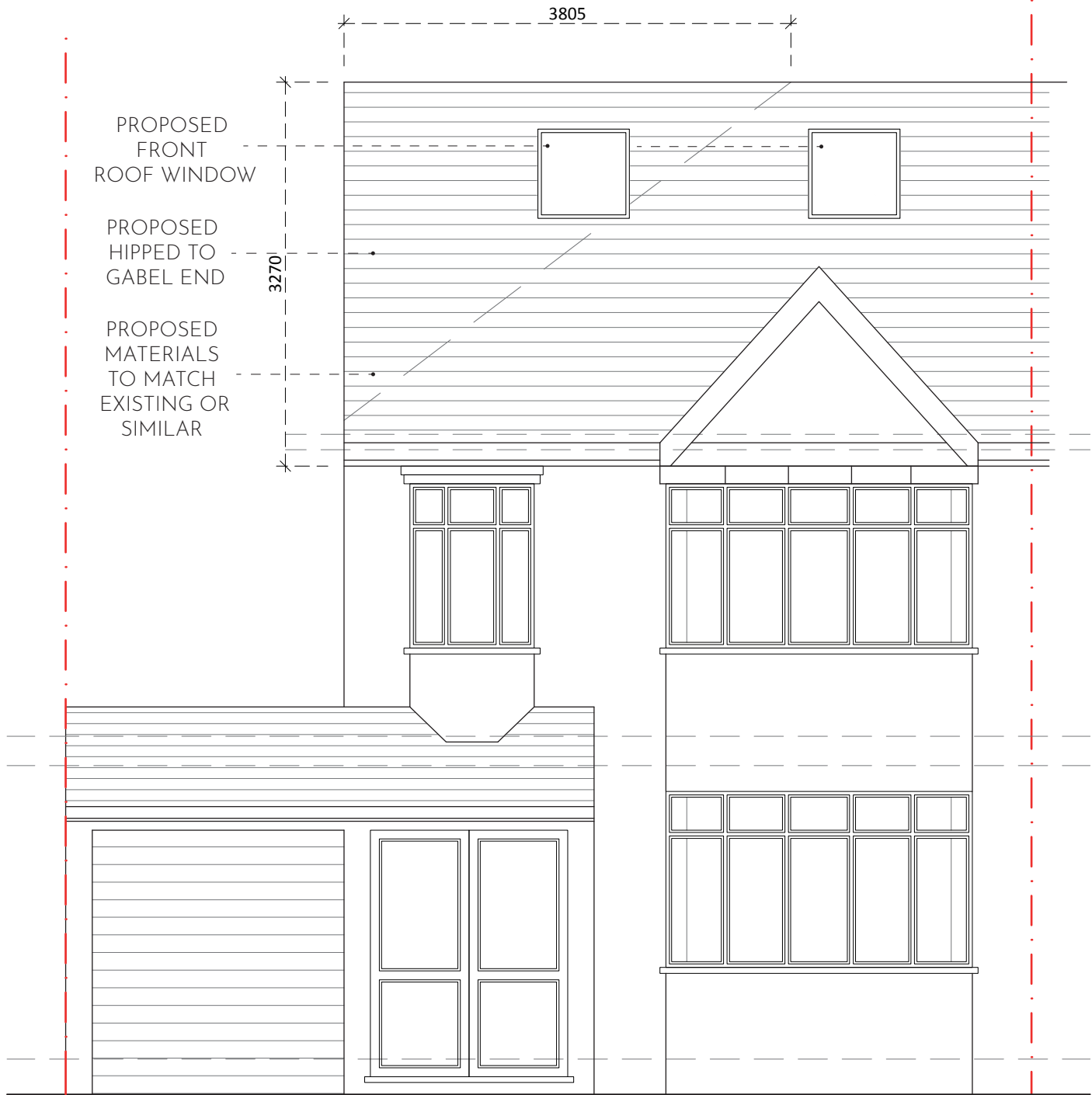


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FILE:	PROPOSED FLOOR AND LOFT PLANS		
DRAWN:	VP	REVISION:	A
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SCALE 1:50





PROPOSED
FRONT ELEVATION



PROPOSED
REAR ELEVATION

PROPOSED ROOF LIGHTS WOULD NOT PROTRUDE MORE THAN 0.15 METERS BEYOND THE PLANE OF THE SLOPE OF THE ORIGNIAL ROOF WHEN MEASURED FROM THE PERPENDICULAR WITH THE EXTERNAL SURFACE OF THE ORIGINAL ROOF

PROPOSED HIPPED TO GABEL END MATERIALS TO BE RENDERED TO MATCH EXISTING

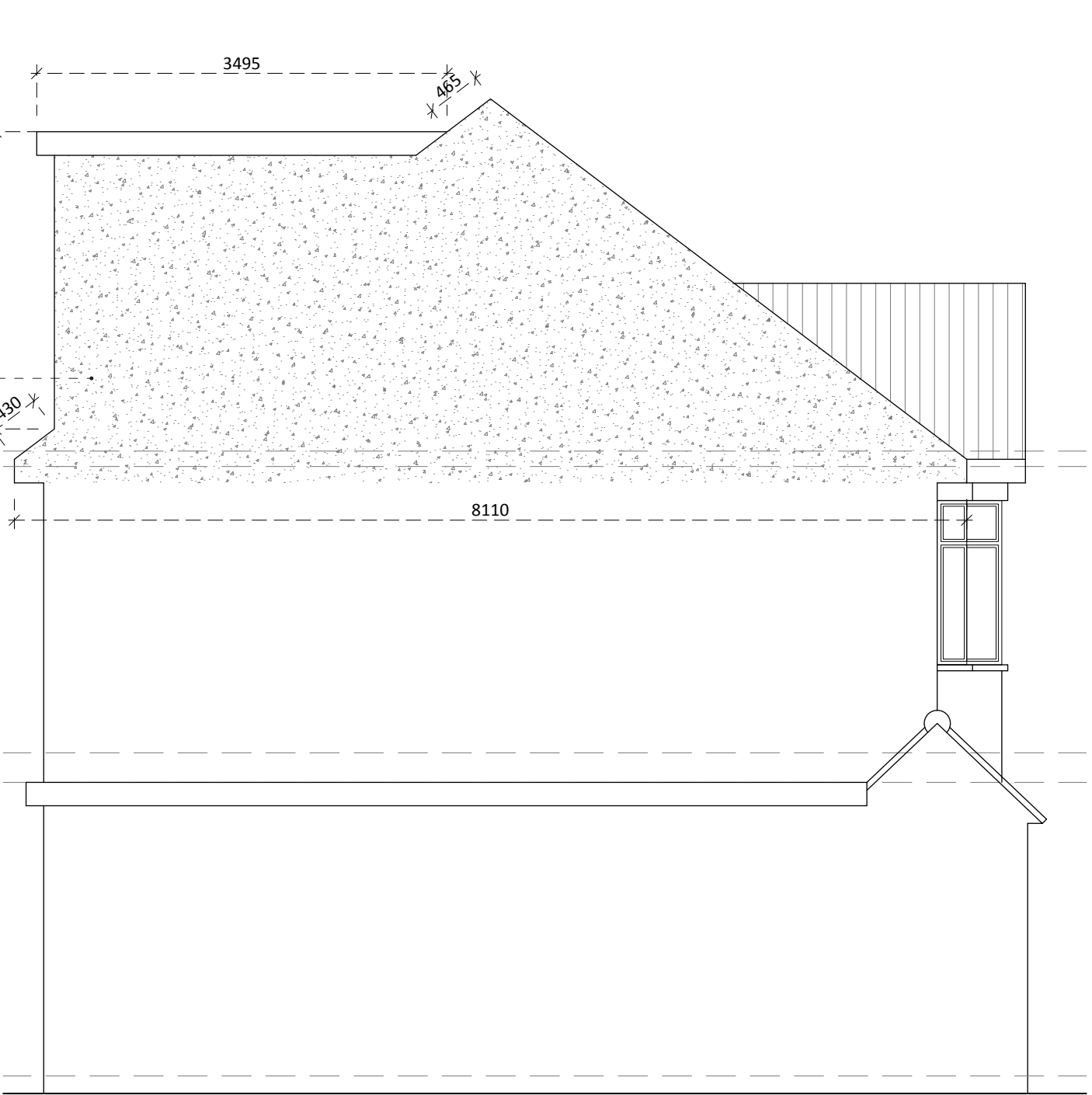
Note:

Total Cubic Volume of the proposed Loft conversion is:

$W = 5.55m \quad H = 2.53m \quad D = 3.495m$

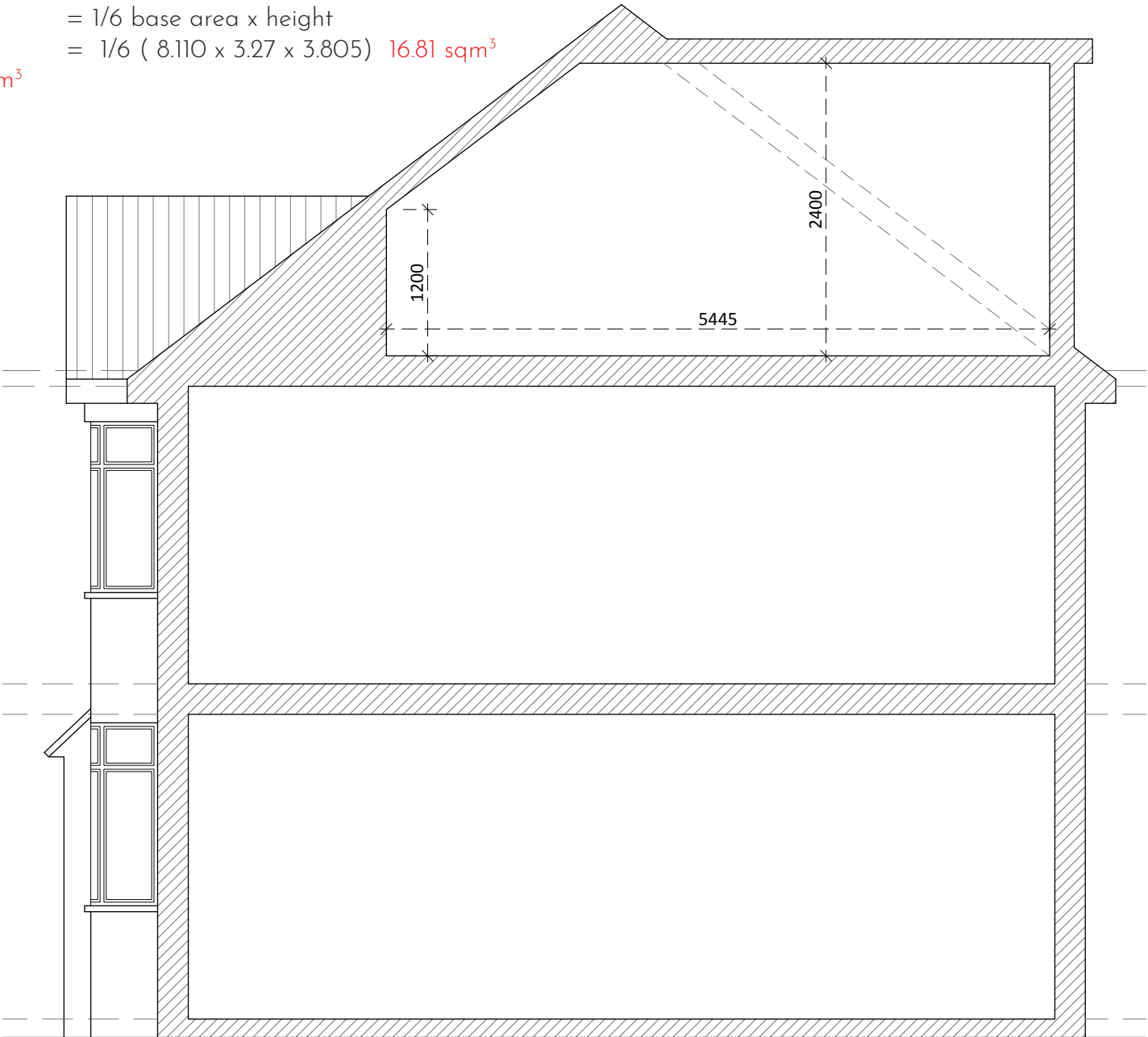
$W \times H \times D \times 0.5 = (5.55m \times 2.53m \times 3.495m) \times 0.5 = 24.53 \text{ sqm}^3$

Therefore the total volume for the roof developemt is $24.53 + 16.81 = 41.34 \text{ sqm}^3$ the loft conversion falls within permitted development as it is under 50 cubic meters for semi-detched properties



Hipped Roof to Gable End Volume
 $H = 3.27m, W = 8.110m, D = 3.805m$

Volume of pyramid
 $= \frac{1}{6} \text{ base area} \times \text{height}$
 $= \frac{1}{6} (8.110 \times 3.27 \times 3.805) = 16.81 \text{ sqm}^3$



SCALE 1:50



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