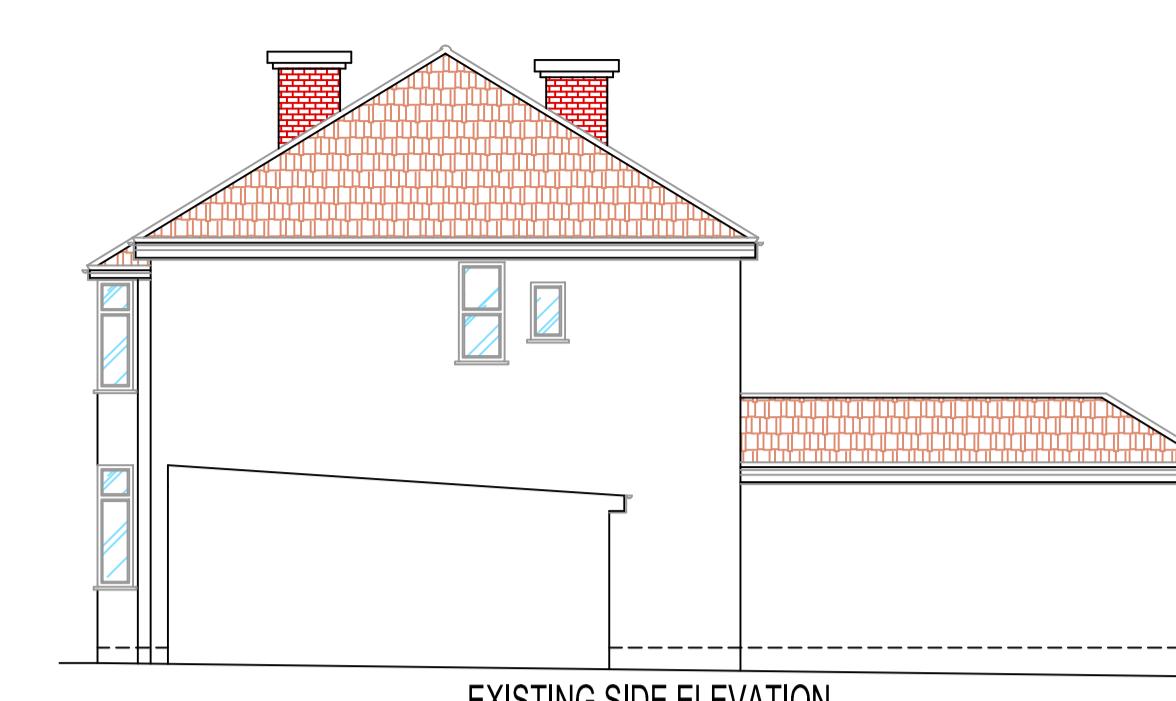


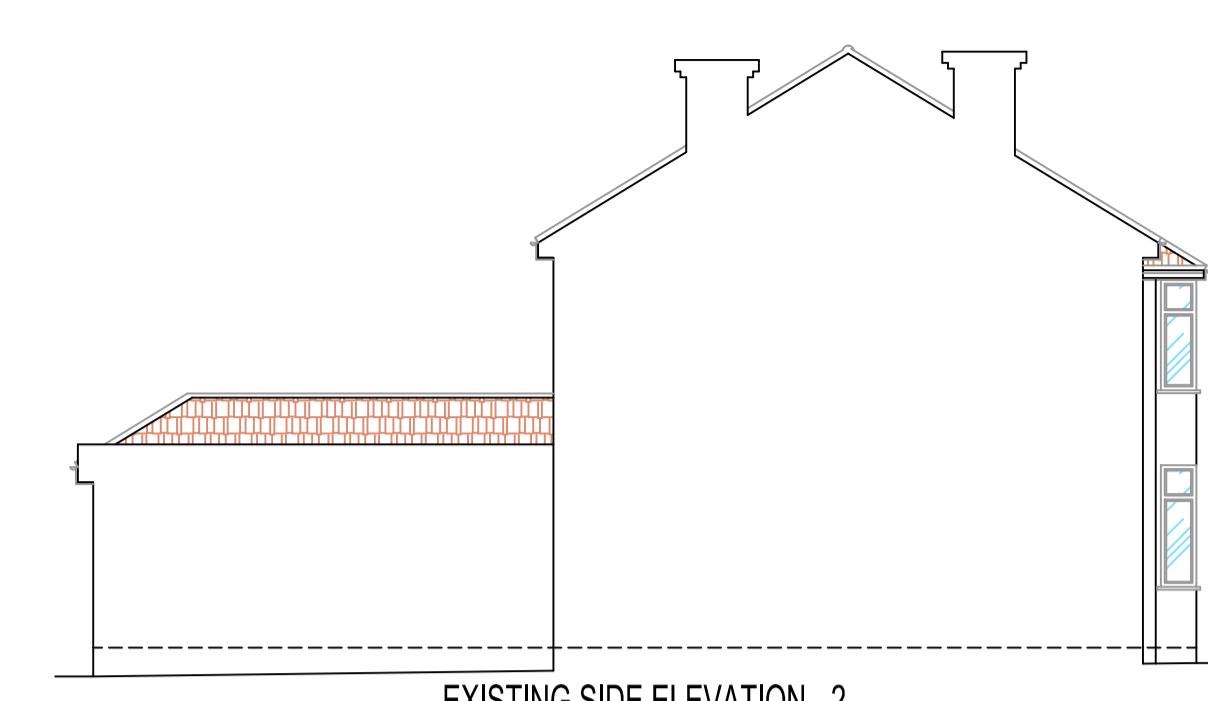
EXISTING FRONT ELEVATION



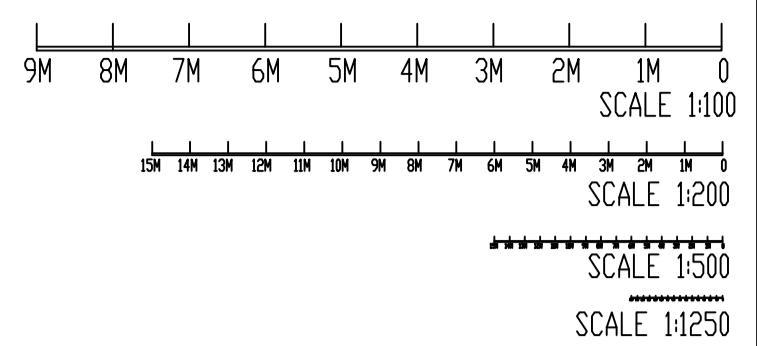
EXISTING SIDE ELEVATION



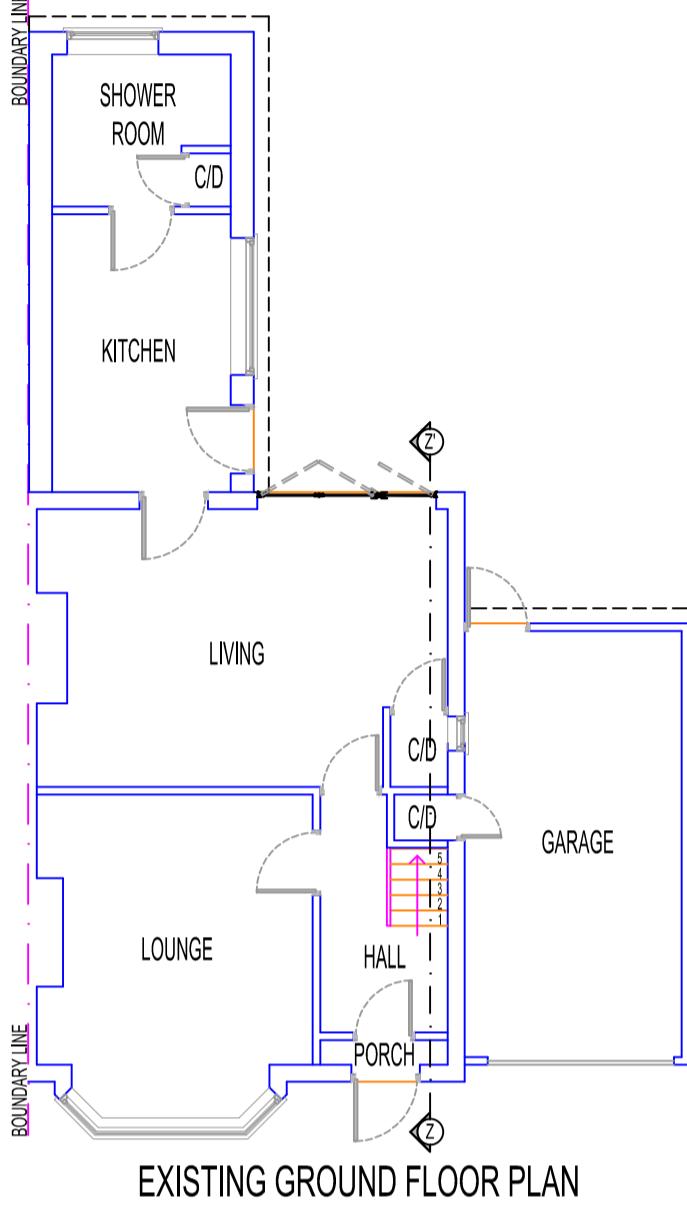
EXISTING REAR ELEVATION



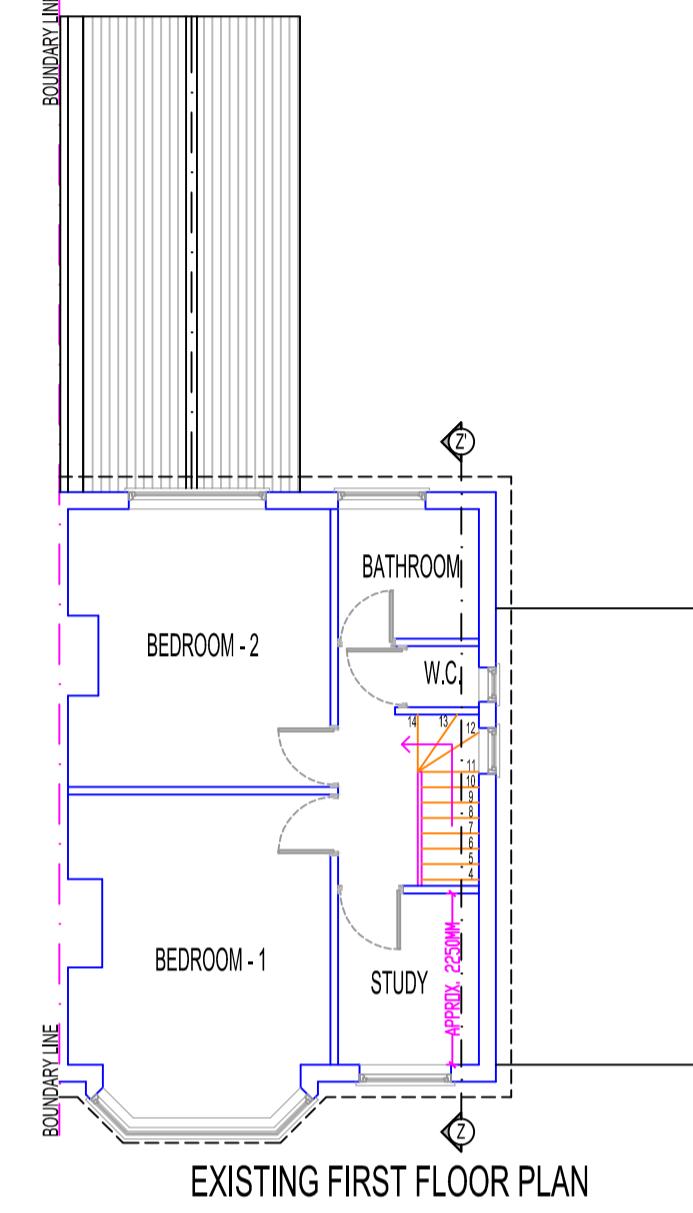
EXISTING SIDE ELEVATION - 2



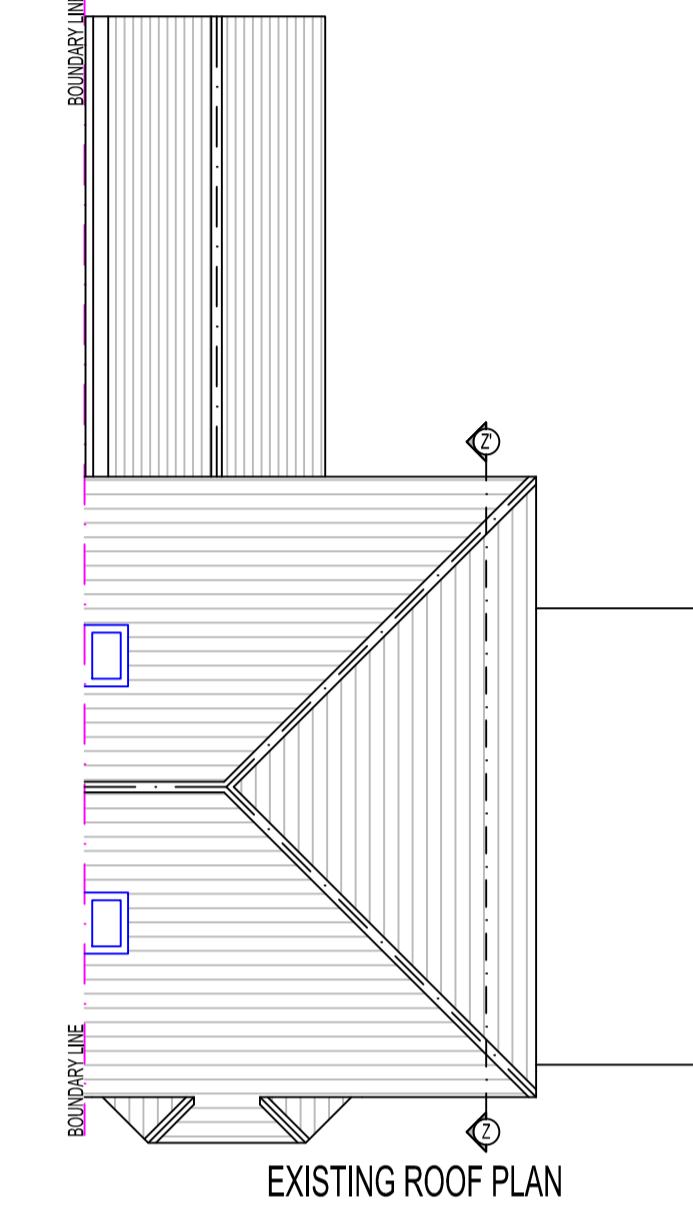
NOTES:
 1. THIS DRAWING IS NOT APPROVED FOR CONSTRUCTION.
 2. PRIOR TO COMMENCEMENT OF WORK, DRAWINGS TO BE SIGNED OFF BY BUILDING CONTROL INSPECTOR.
 3. PARTY WALL (ETC) ACT 1997 TO BE AGREED WITH ADJOINING NEIGHBORS PRIOR TO CONSTRUCTION.
 4. ALL MEASUREMENTS TO BE CHECKED ON SITE & NOT BE SCALED FROM THIS DRAWING.
 4. ALL WORKS TO MEET LOCAL AUTHORITY'S SET STANDARDS.



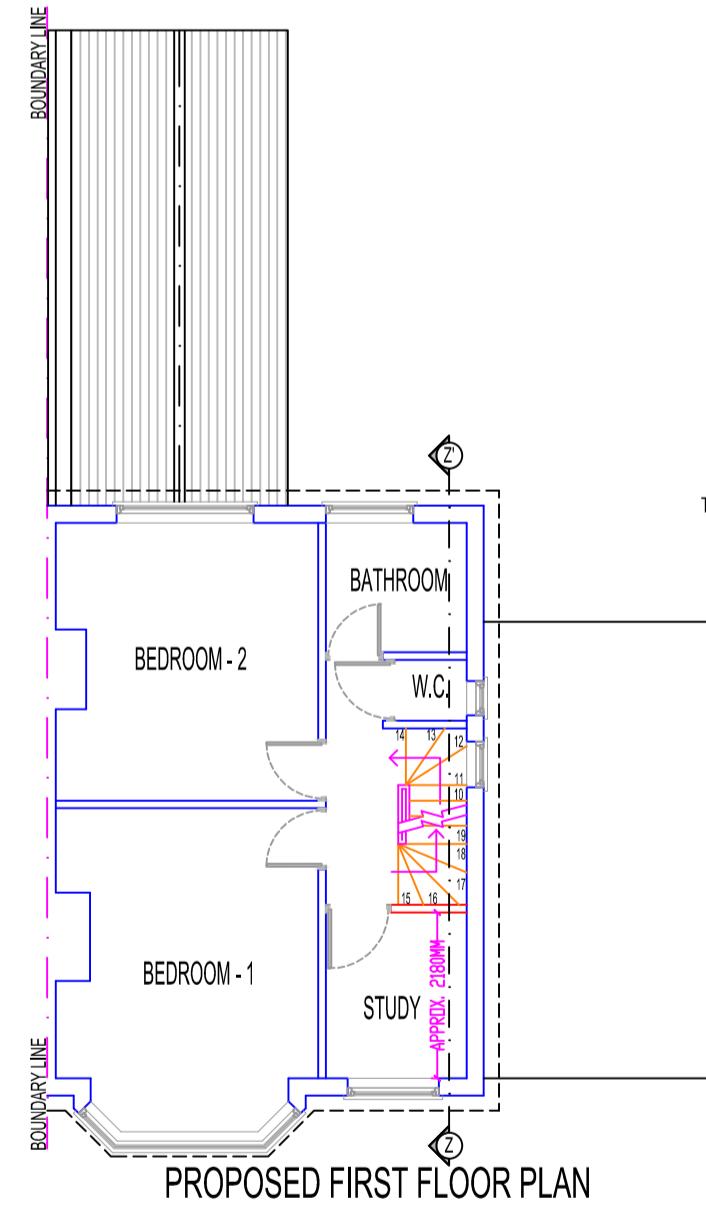
EXISTING GROUND FLOOR PLAN



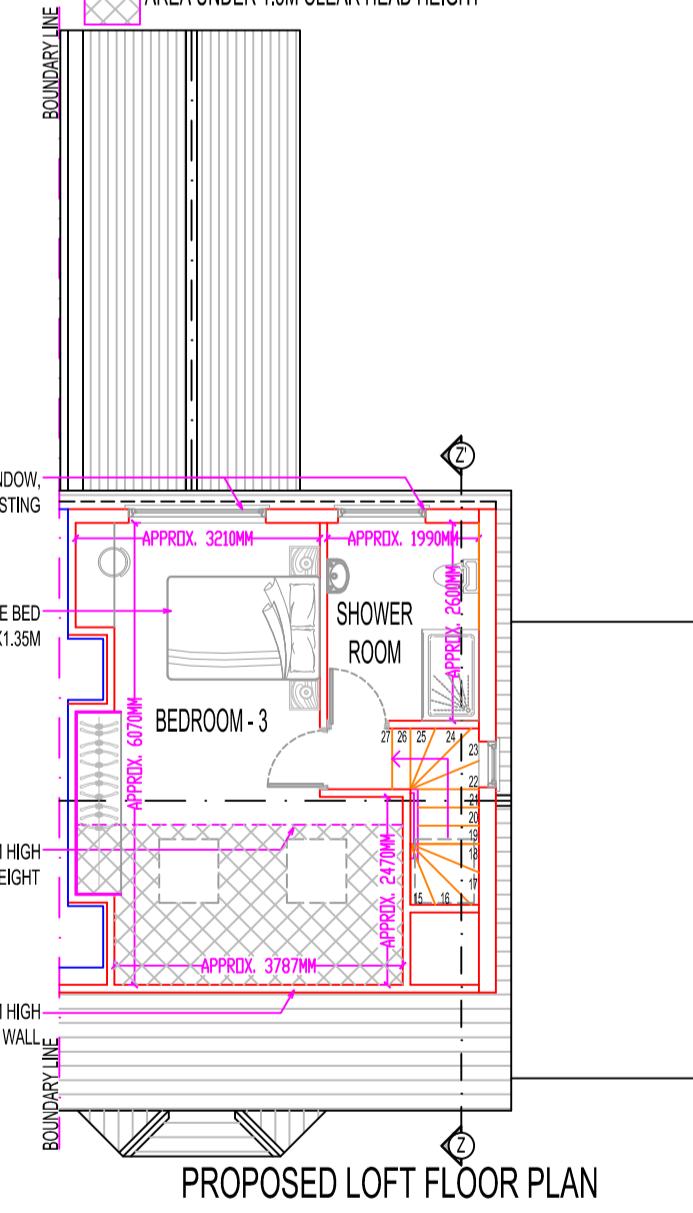
EXISTING FIRST FLOOR PLAN



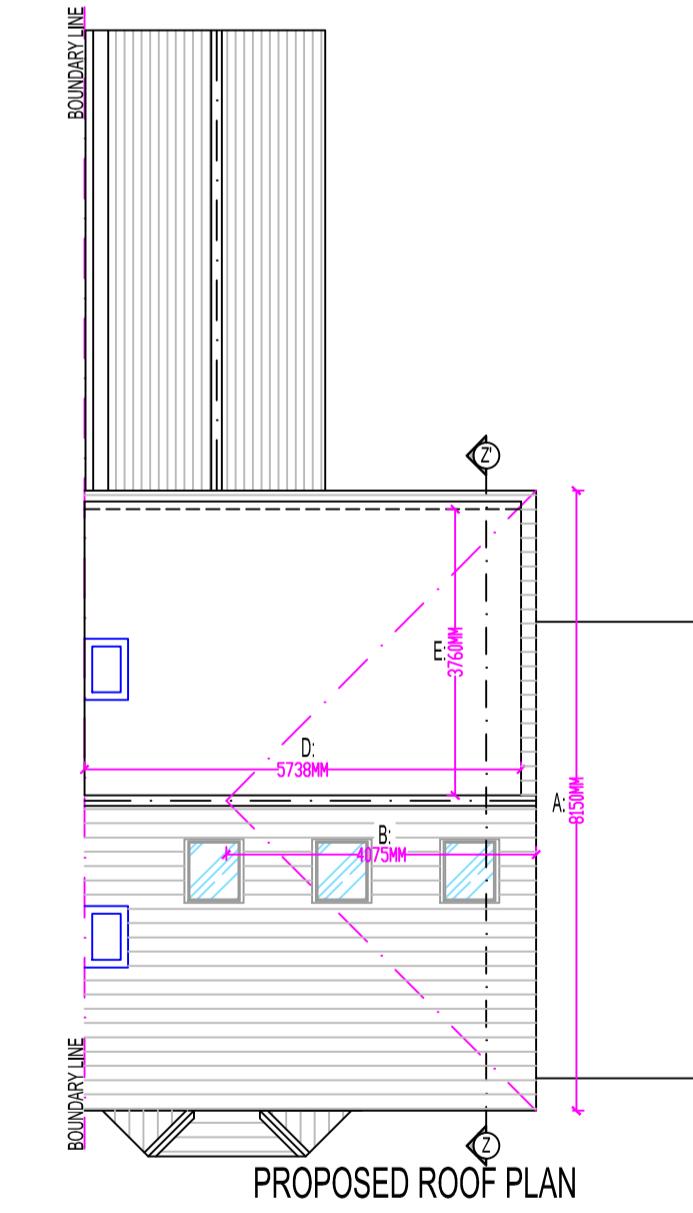
EXISTING ROOF PLAN



PROPOSED FIRST FLOOR PLAN



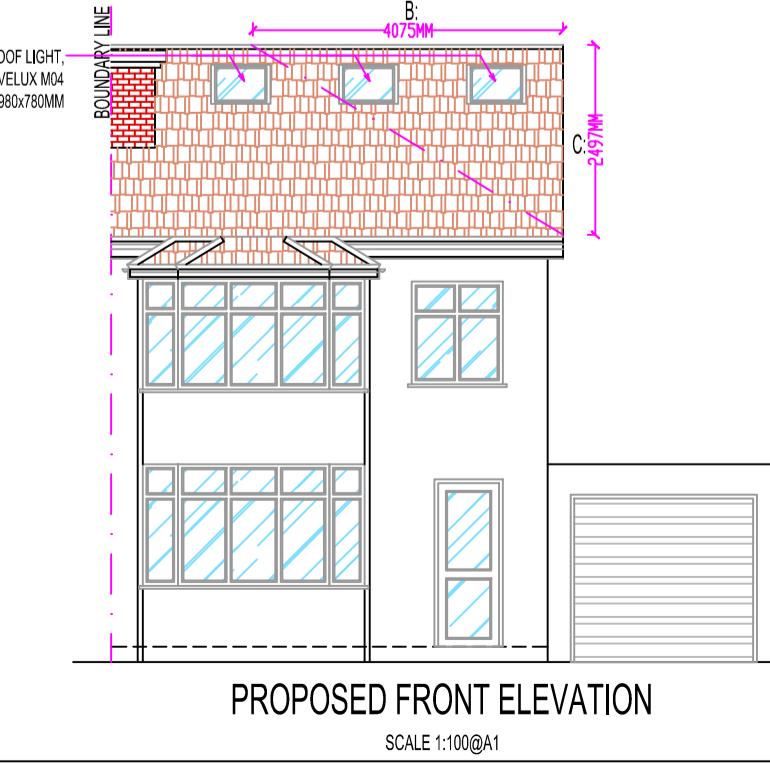
PROPOSED LOFT FLOOR PLAN



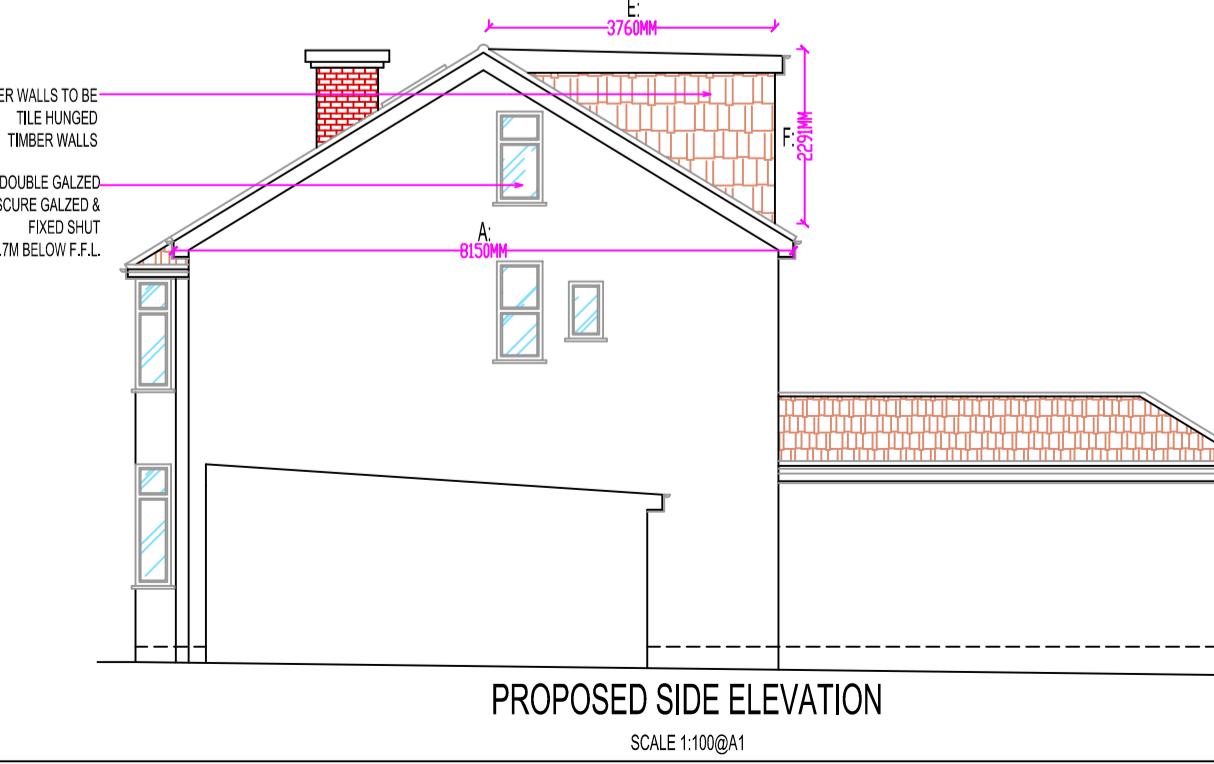
PROPOSED ROOF PLAN



LOCATION PLAN



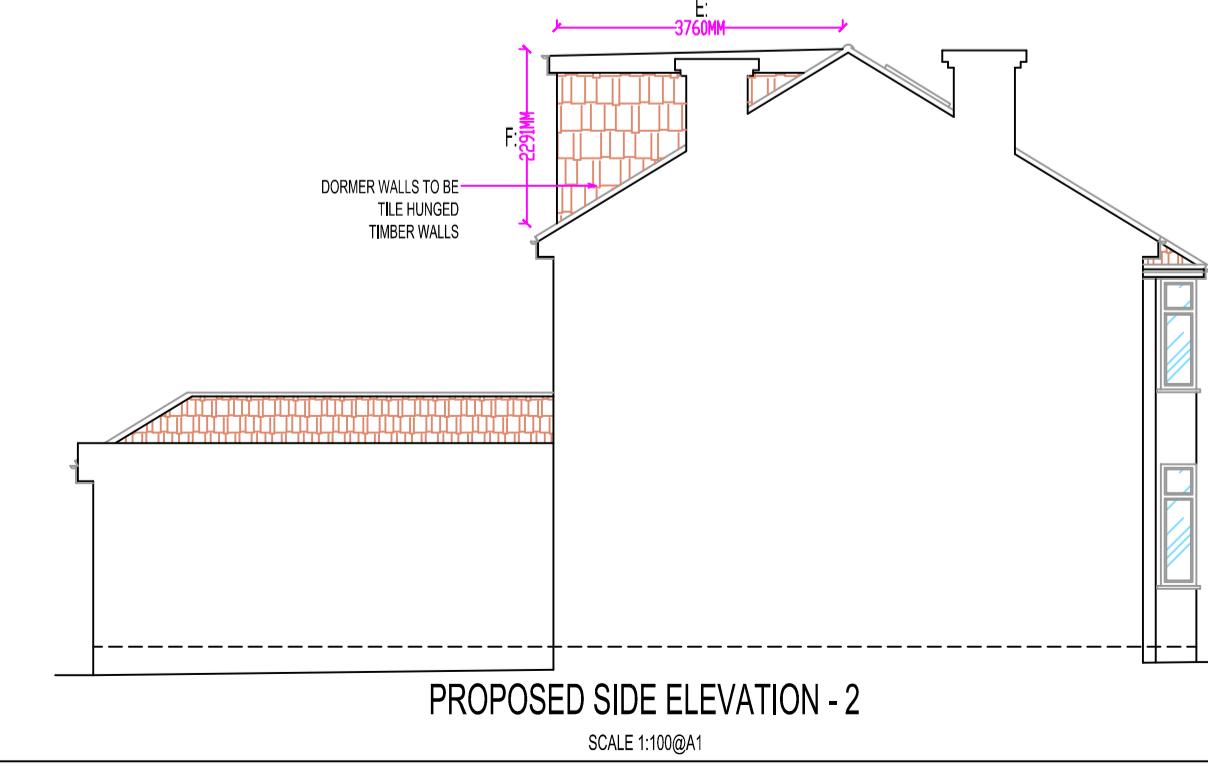
PROPOSED FRONT ELEVATION



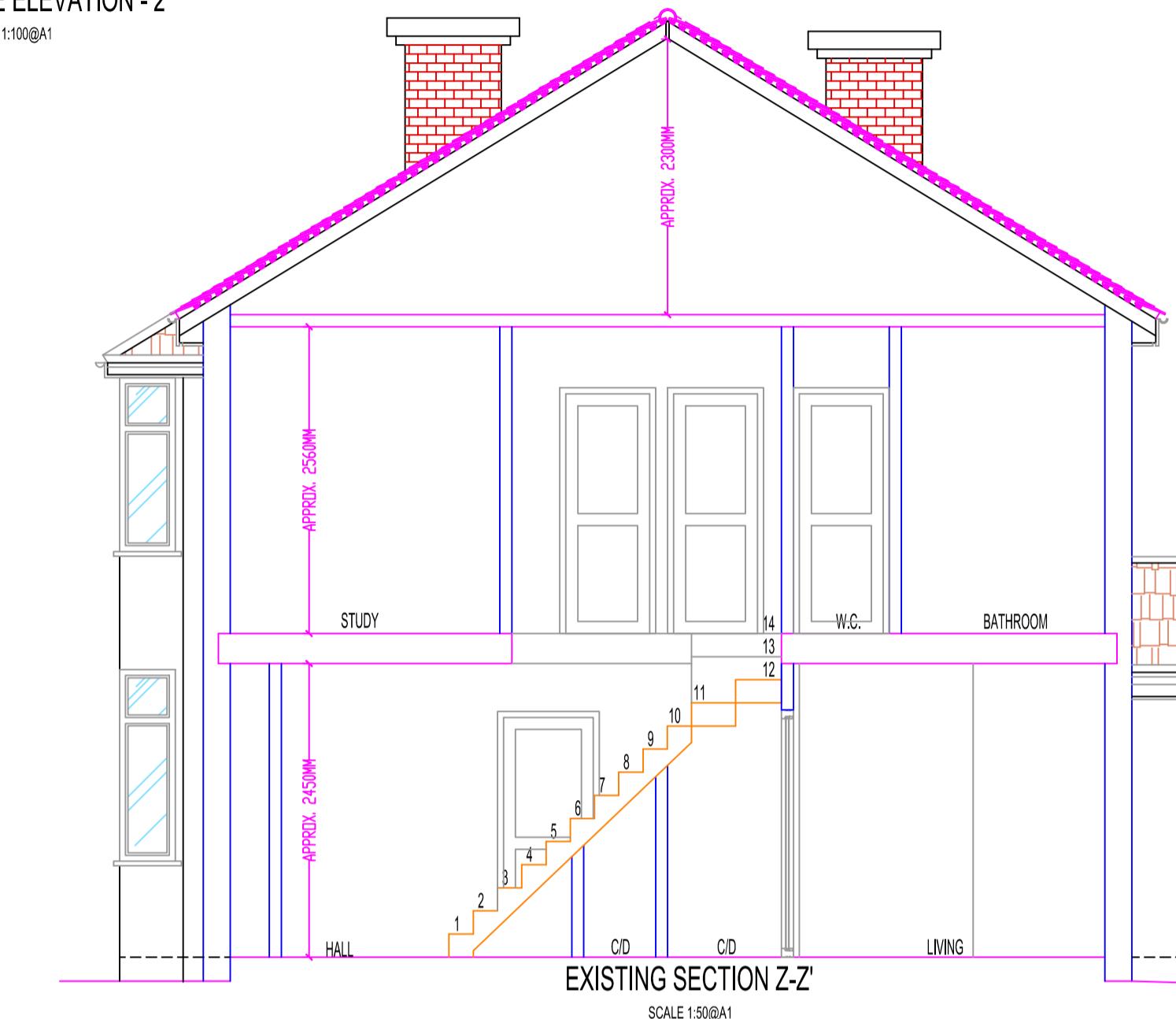
PROPOSED SIDE ELEVATION



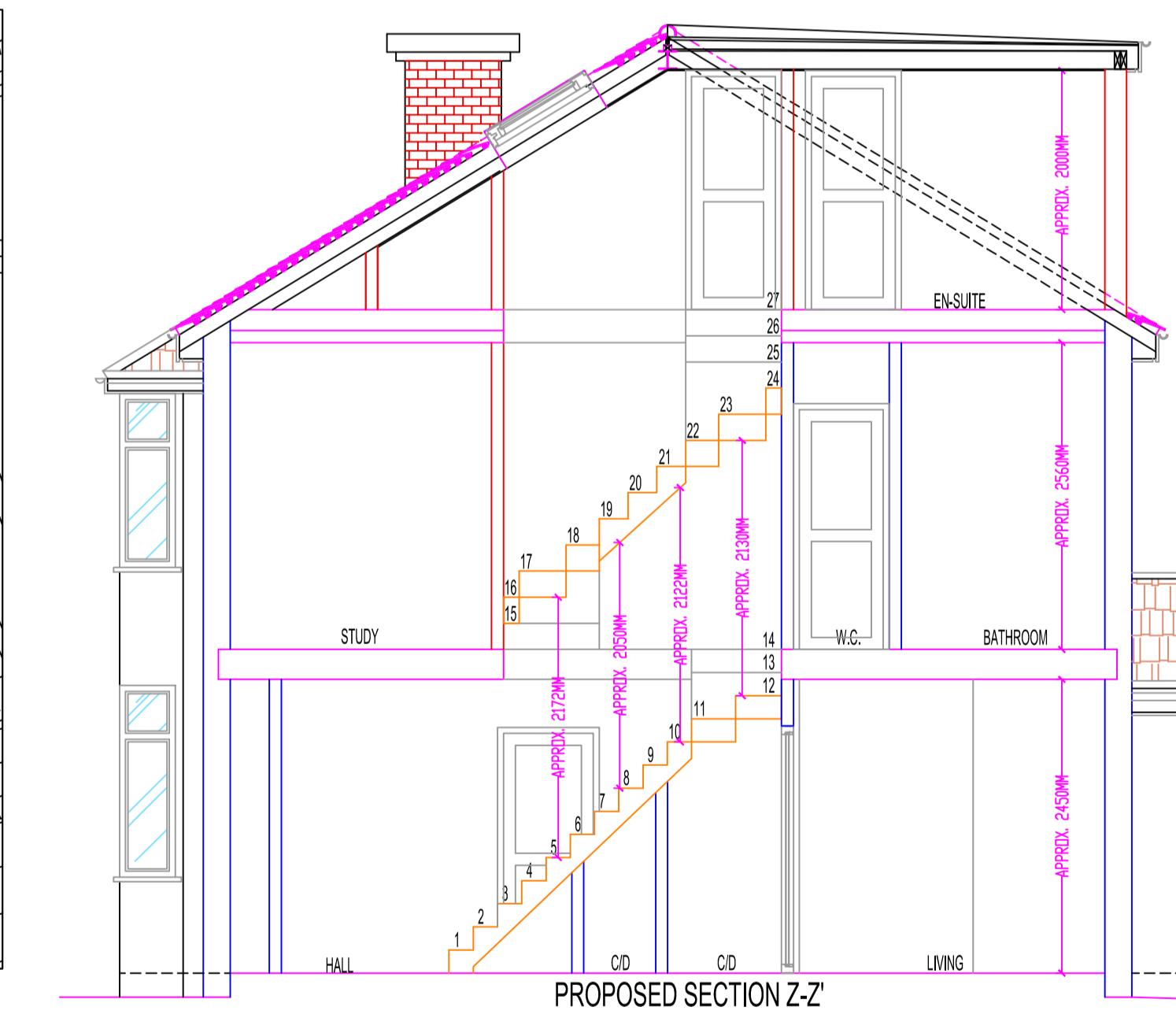
PROPOSED REAR ELEVATION



PROPOSED SIDE ELEVATION - 2



EXISTING SECTION Z-Z'



PROPOSED SECTION Z-Z'

Comments
 The General contractor is responsible for the verification of all dimensions on site and shall inform the contract administrator of any discrepancies.

Do not scale from this drawing. Use figure dimension only.

All furniture shown in drawings is for illustration purposes only.

Existing foundations, lintels and wall to be exposed if required by Building Control for assessment and upgrading if found inadequate. Fire Precautions:

All doors marked with FD30 to be current British Standards. All new fire doors to be fitted with 3x4" steel butt hinges or 3x30min fire rated hinges, with appropriate CE and BS EN stamps on each hinge if using brass or chrome.

Self contained mains operated interlinked smoke alarms (BS 5446) and fitted with battery backup to be provided to all landings and hall ceiling shown as (SD).

Staircases:
 Actual size of riser & tread for the proposed staircase, to be confirmed on site prior to installation by staircase specialist to avoid any issues with headroom/pitch.

PRELIMINARY DESIGN
 PLEASE PRINT, SIGN AND DATE TO APPROVE DRAWINGS FOR CLIENT/S.

SIGNATURE.....
 PRINT NAME.....
 DATE

REVISIONS:

DATE	DESCRIPTION
07-01-22	AMENDMENTS
11-01-22	ADDITION OF LOCATION PLAN

30 High Street
 Harefield
 UB9 8SU
 Phone : 01895 811051
 info@assetlofts.com

PROJECT DESCRIPTION:
 PROPOSAL FOR LOFT CONVERSION WITH REAR DORMER

NOTE:

- All new proposed materials to match existing.
- Velux windows not to protrude more than 50mm from the plane of the roof.
- Proposed dormer flat roof not to exceed existing ridge at any point.
- New uPVC windows to match existing.
- Existing Lintel / beam over existing openings to be confirmed, prior to commencement of any work.

VOLUME CALCULATIONS:
 VOLUME OF PROPOSED HIP TO GABLE : $16 \times 8.150(A) \times 4.075(B) \times 2.497(C) = 13.82\text{m}^3$
 VOLUME OF PROPOSED REAR DORMER : $1.2 \times 5.730(D) \times 3.760(E) \times 2.291(F) = 24.71\text{m}^3$
 TOTAL PROPOSED VOLUME : $13.82\text{m}^3 + 24.71\text{m}^3 = 38.53\text{m}^3$

DRAWING NO.: 340C/15122021/REV-B
DATE: 15 DECEMBER 2021
SCALE: 1:50, 1:100 & 1:1250 @A1
DRAWN BY: ts **CHECKED BY:**