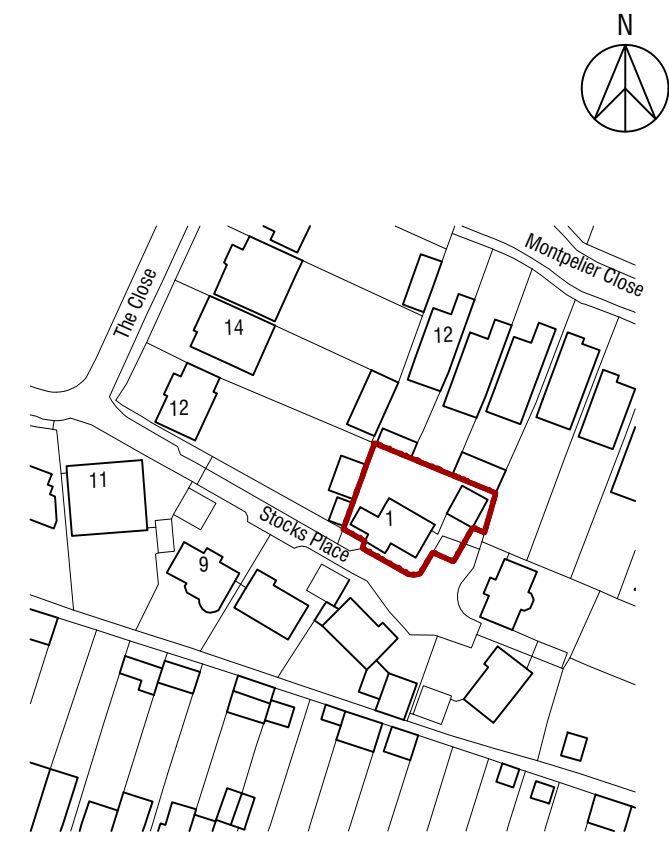
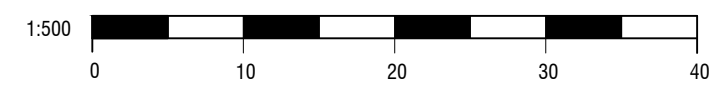
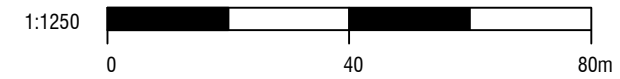




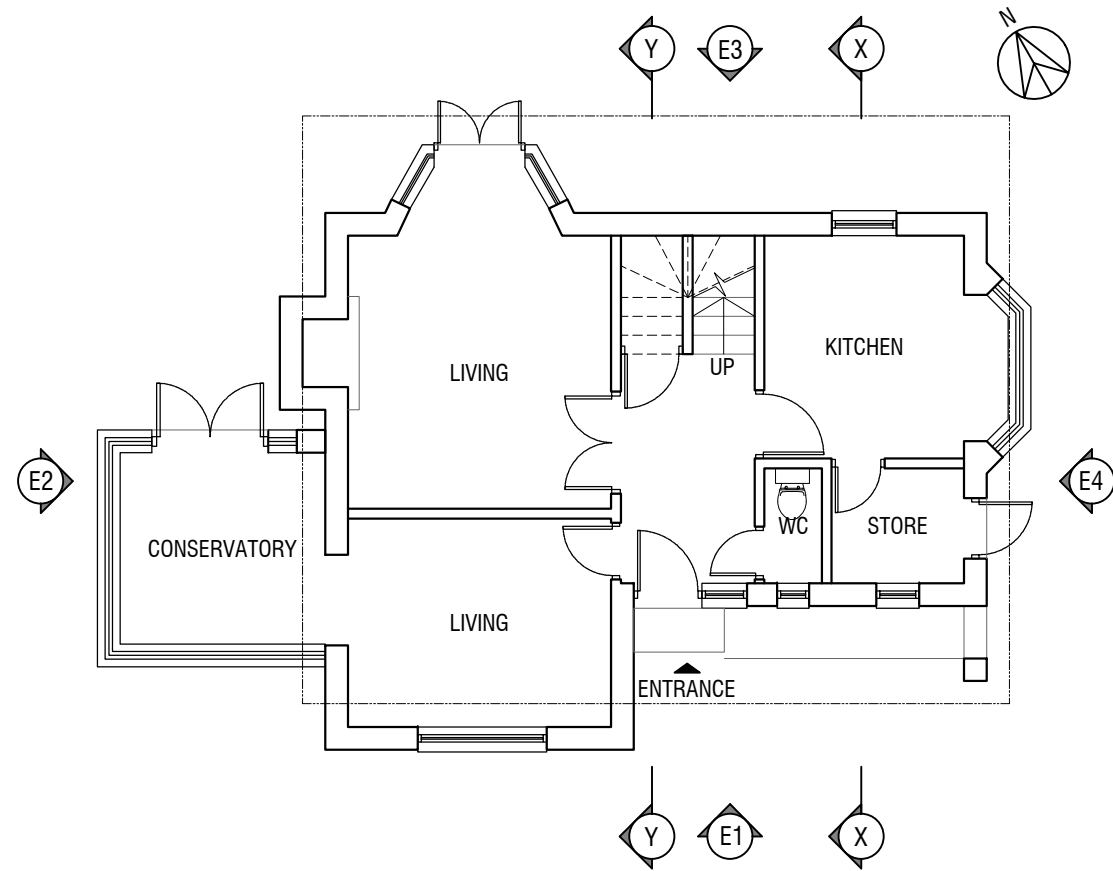
**SITE LAYOUT PLAN**  
Scale 1:500



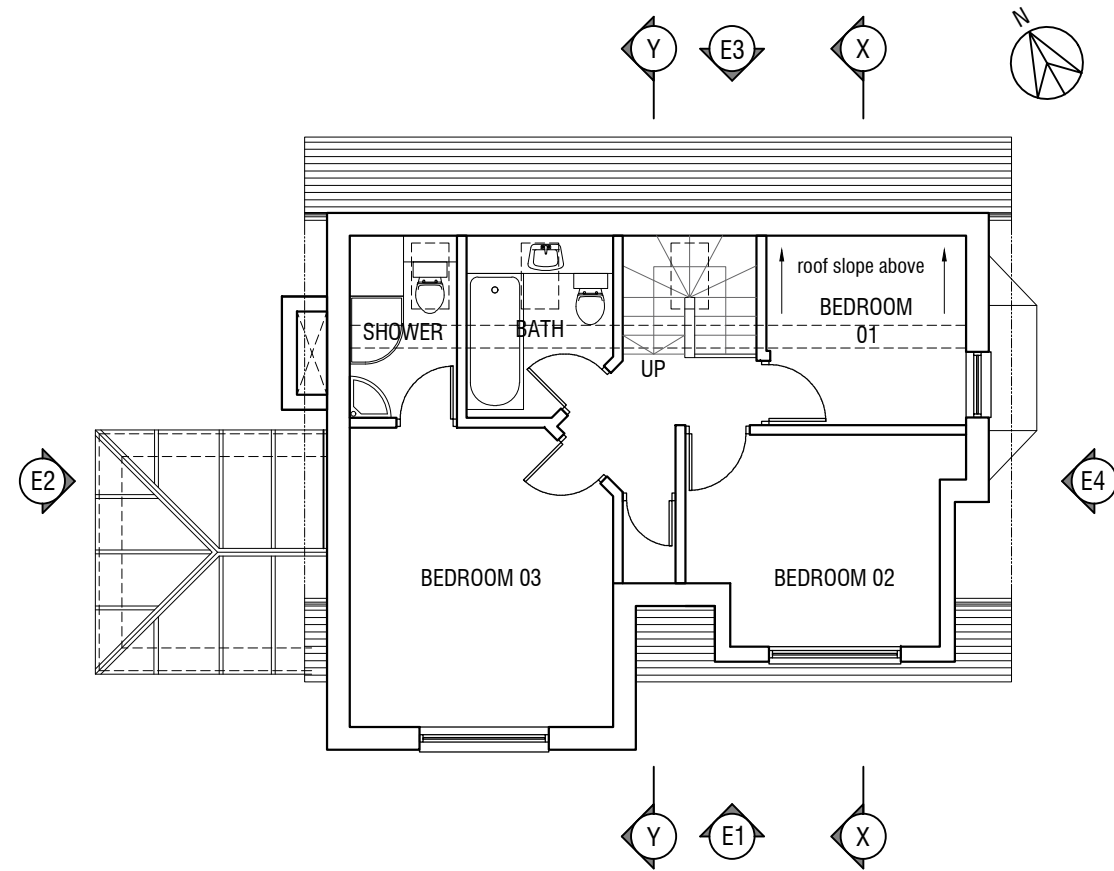
**LOCATION PLAN**  
Scale 1:1250



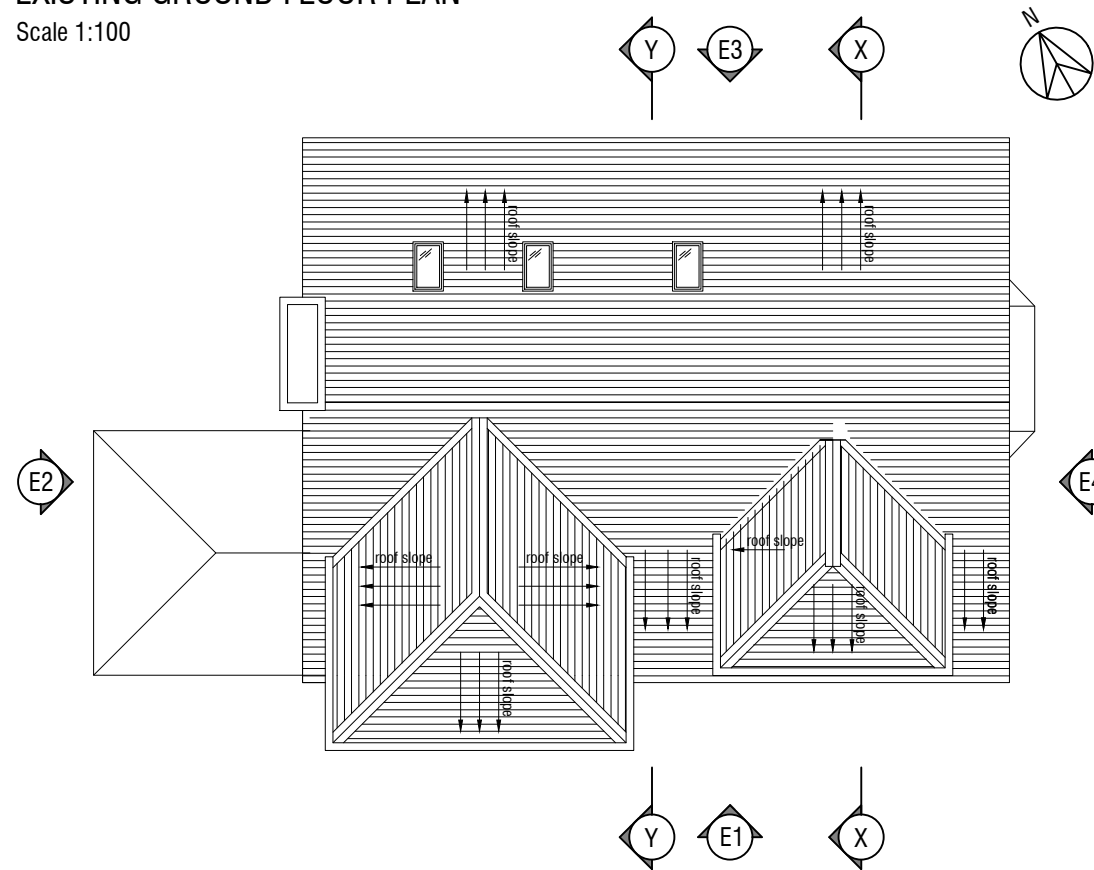
Produced on 16 March 2026 from the Ordnance Survey National Geographic Database and incorporating surveyed revision available at this date.  
 This map shows the area bounded by 507324 183499,507424 183499,507424 183599,507324 183599,507324 183499  
 Crown copyright and database rights 2026 OS 100054135. Supplied by copla ltd trading as UKPlanningMaps.com a licensed Ordnance Survey partner (OS 100054135).  
 Data licence expires 16 March 2027. Unique plan reference: v1f/1391886/1864695



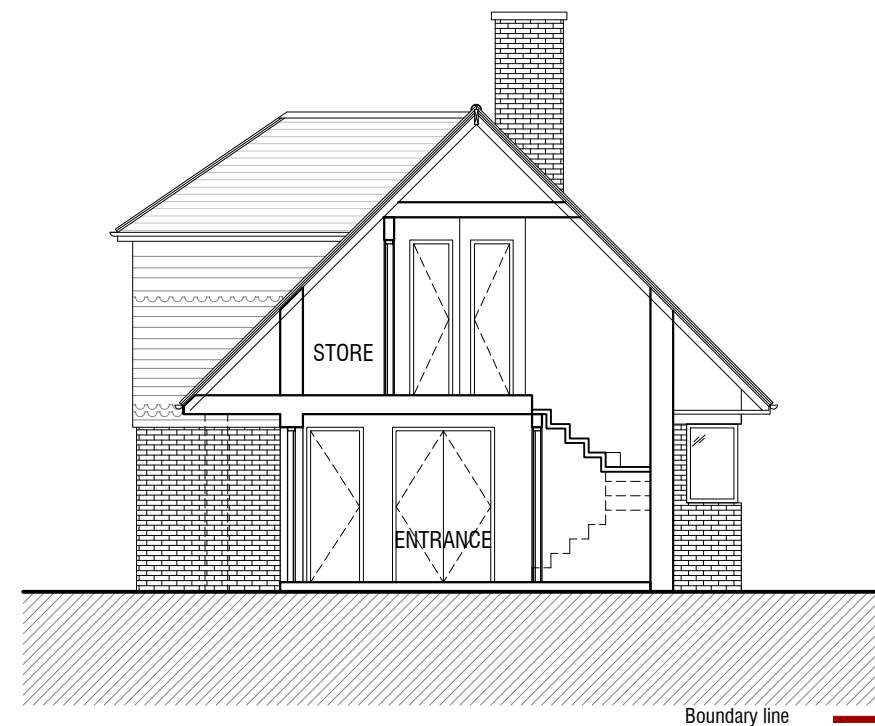
EXISTING GROUND FLOOR PLAN  
Scale 1:100



EXISTING FIRST FLOOR PLAN  
Scale 1:100



EXISTING ROOF PLAN  
Scale 1:100

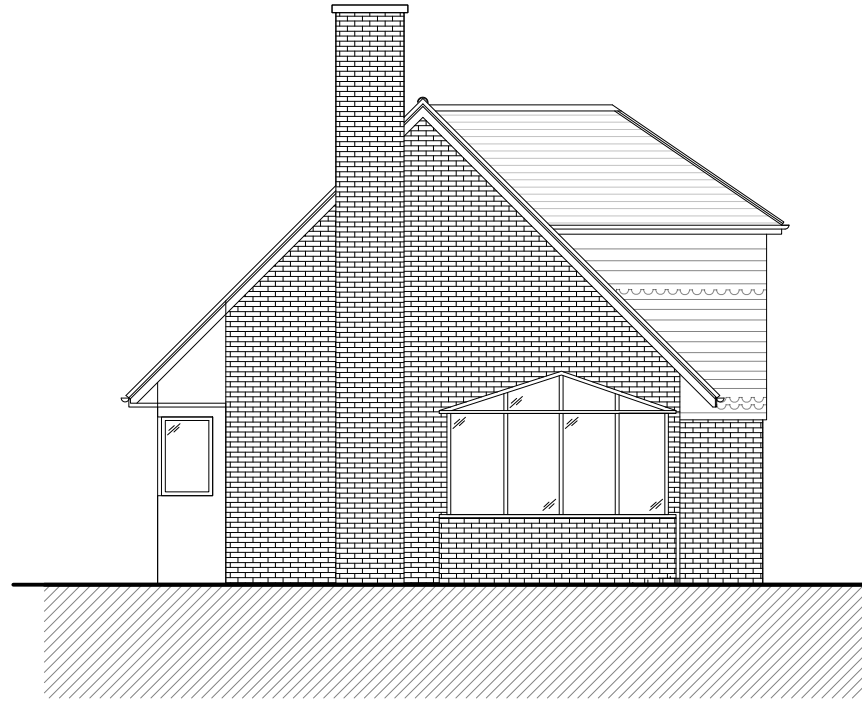


EXISTING SECTION Y-Y  
Scale 1:100





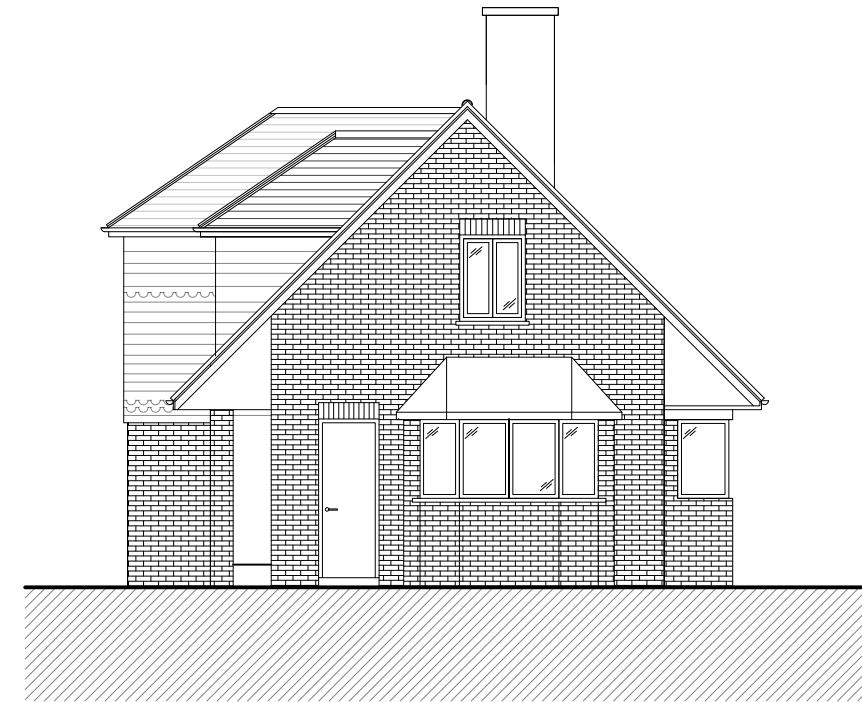
EXISTING FRONT ELEVATION E1  
Scale 1:100



EXISTING SIDE ELEVATION E2  
Scale 1:100



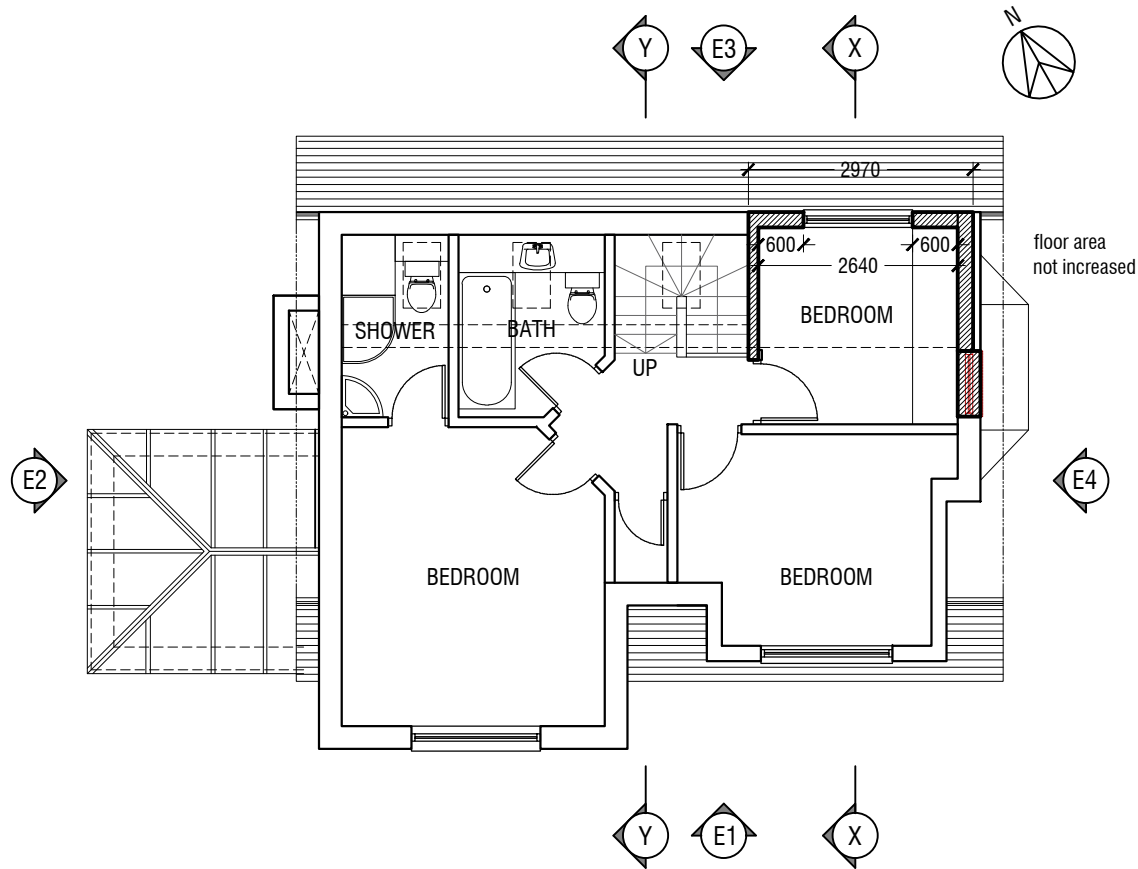
EXISTING REAR ELEVATION E3  
Scale 1:100



EXISTING SIDE ELEVATION E4  
Scale 1:100

Boundary line



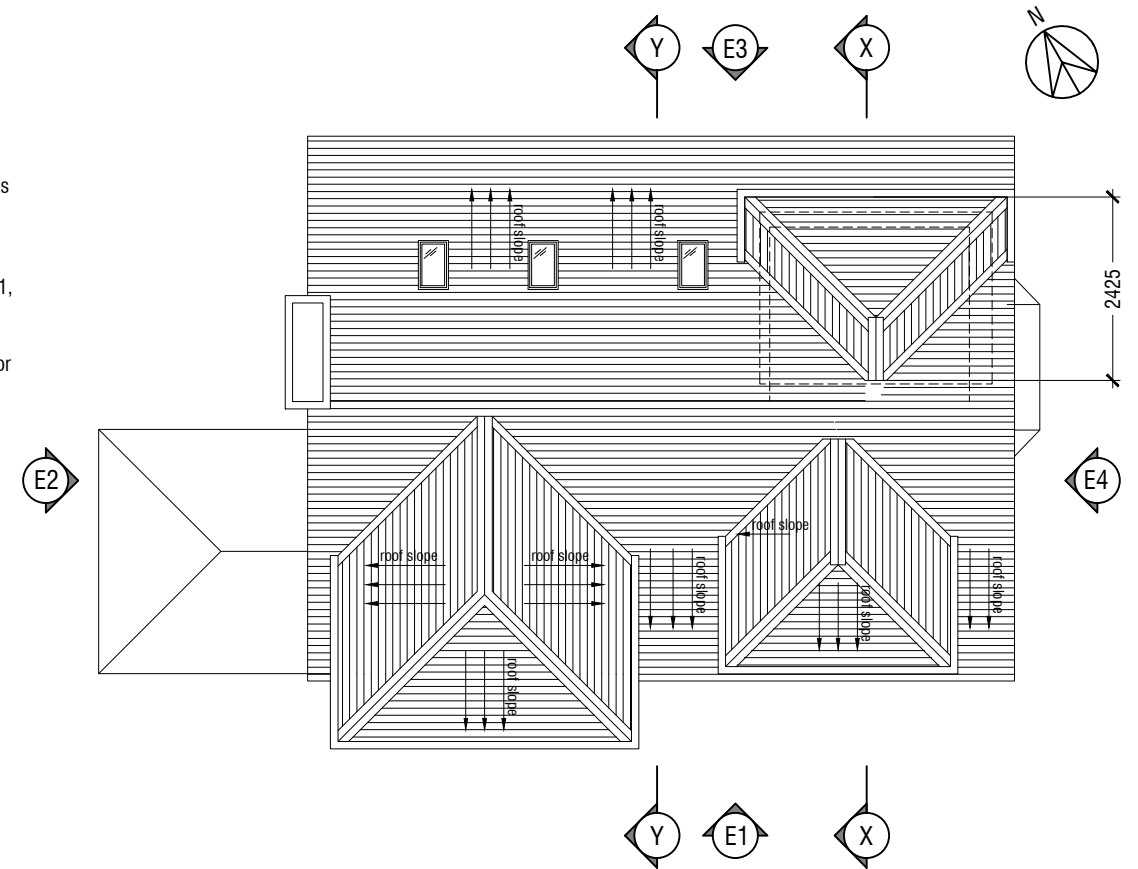


**PROPOSED FIRST FLOOR PLAN**  
Scale 1:100

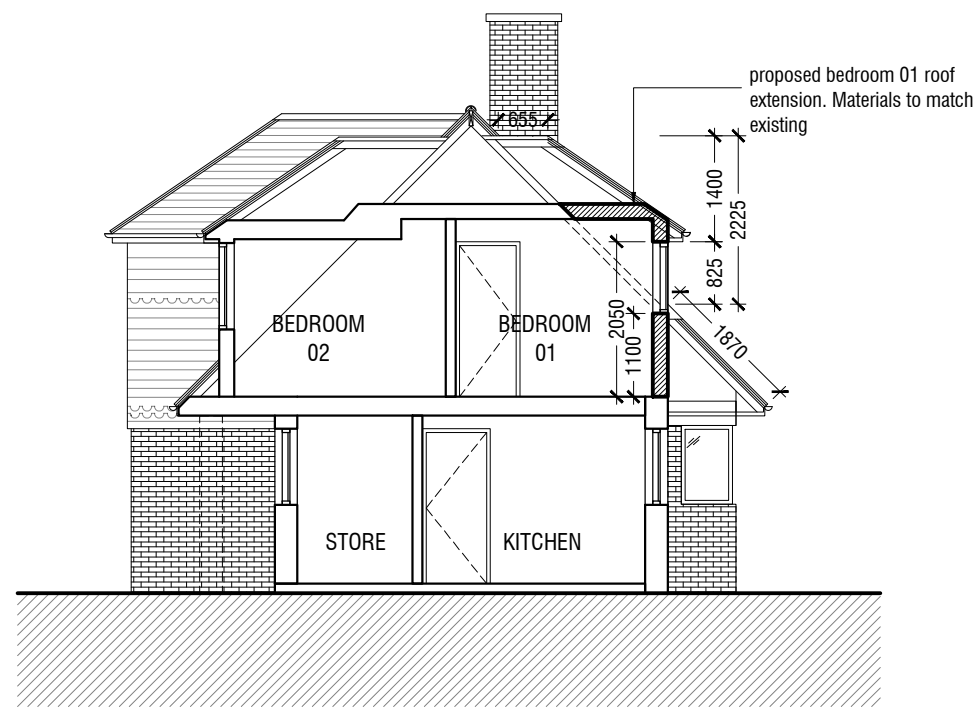
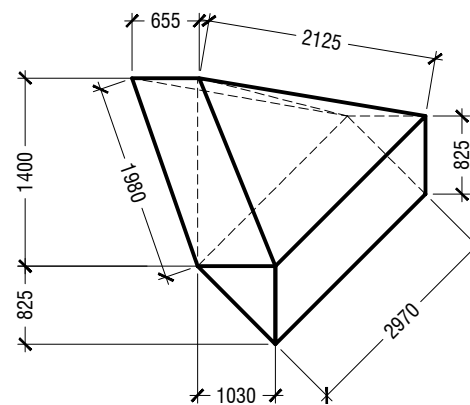
The proposal comprises a modest roof enlargement to the rear roof slope to improve head height within an existing first floor room. No additional floor area is created as part of the development.

The works involve the introduction of a hipped roof form set below the existing ridge height and set in from the eaves, in full compliance with Schedule 2, Part 1, Class B of the GPDO.

The total volume increase is significantly below the 50 cubic metre allowance for a detached dwelling, and all materials are to match the existing dwelling



**PROPOSED ROOF PLAN**  
Scale 1:100



**PROPOSED SECTION X-X**  
Scale 1:100

**Permitted Development Compliance Statement**

The proposed development comprises a roof enlargement to the rear roof slope of an existing detached dwelling. The proposal has been designed in accordance with Schedule 2, Part 1, Class B of the Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended).

The works involve the introduction of a modest hipped roof form to increase head height within an existing first floor bedroom room. No additional floor area is created as part of the development.

The proposed roof enlargement:

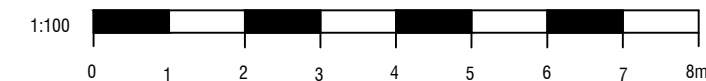
- Is located on the rear roof slope and does not extend beyond the plane of the principal elevation fronting a highway;
- Does not exceed the height of the existing roof, with the proposed ridge set approximately 0.395m below the existing ridge level,
- Is set in from the eaves and does not overhang the outer face of the external walls,
- Utilises materials that match the appearance of the existing dwelling,
- Does not include any verandas, balconies or raised platforms,

The maximum height increase above the existing roof plane is approximately 1.055m.

The total increase in roof volume has been calculated using an average height method, taking into account the tapered hipped roof form. The resulting additional volume is approximately 4.0 cubic metres, which is significantly below the 50 cubic metre allowance for detached dwellings under Class B.

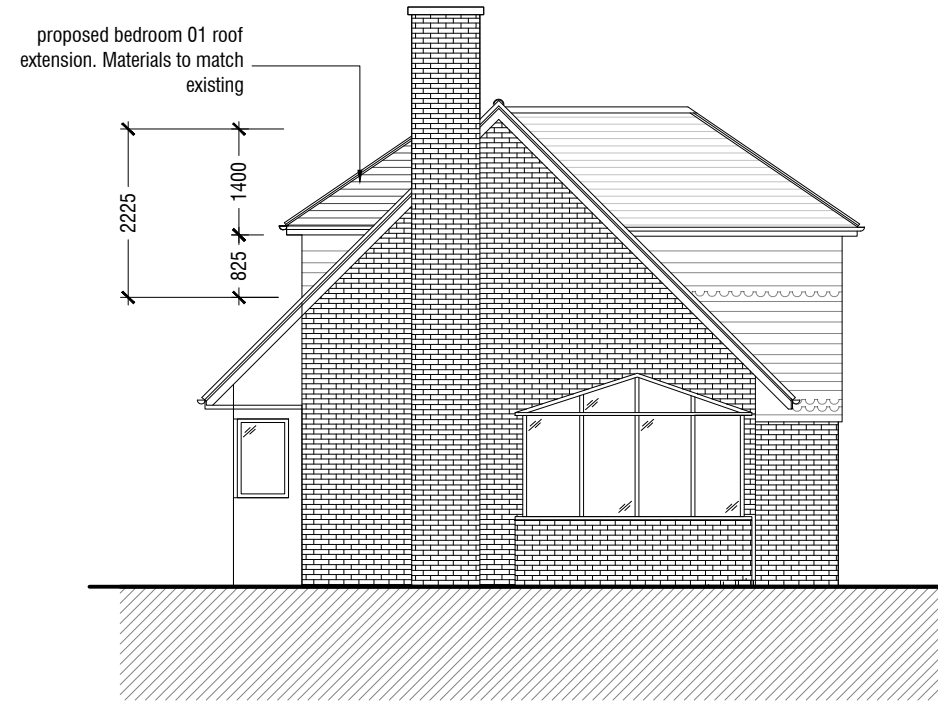
All dimensions have been taken from the external roof profile.

The proposal therefore constitutes permitted development and does not require planning permission.

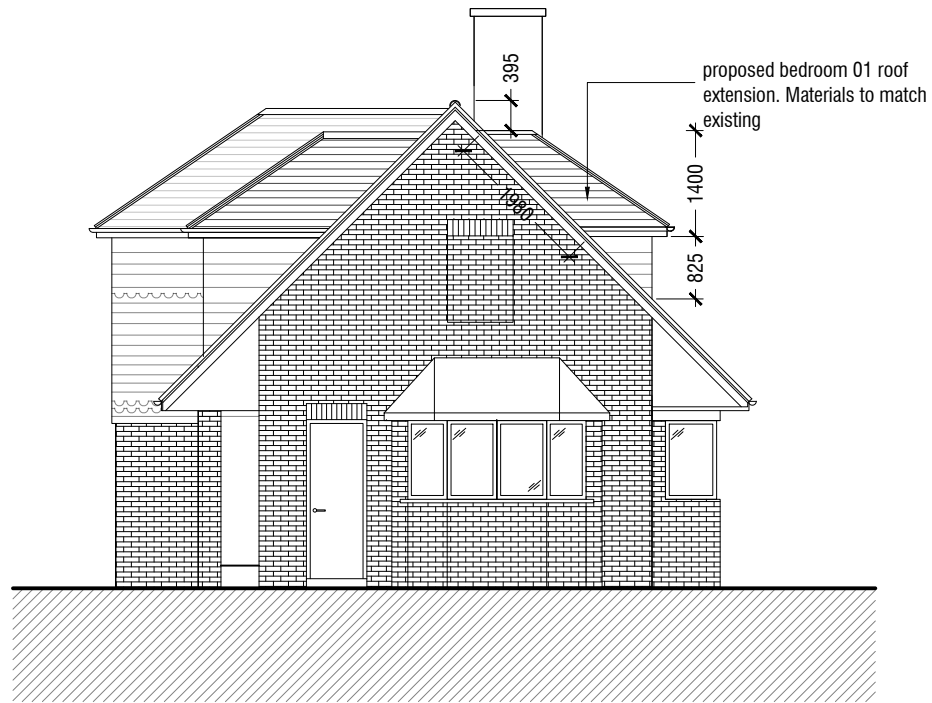




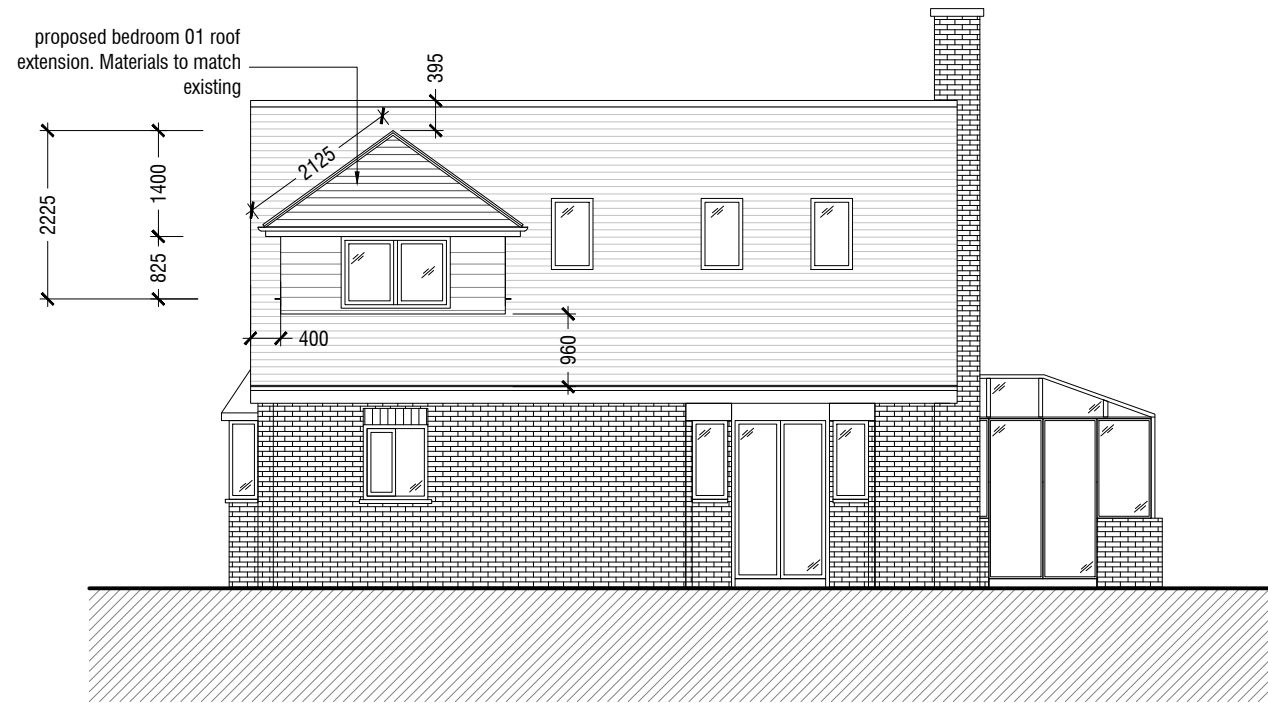
PROPOSED FRONT ELEVATION E1  
Scale 1:100



PROPOSED SIDE ELEVATION E2  
Scale 1:100



PROPOSED SIDE ELEVATION E4  
Scale 1:100



PROPOSED REAR ELEVATION E3  
Scale 1:100

Boundary line

