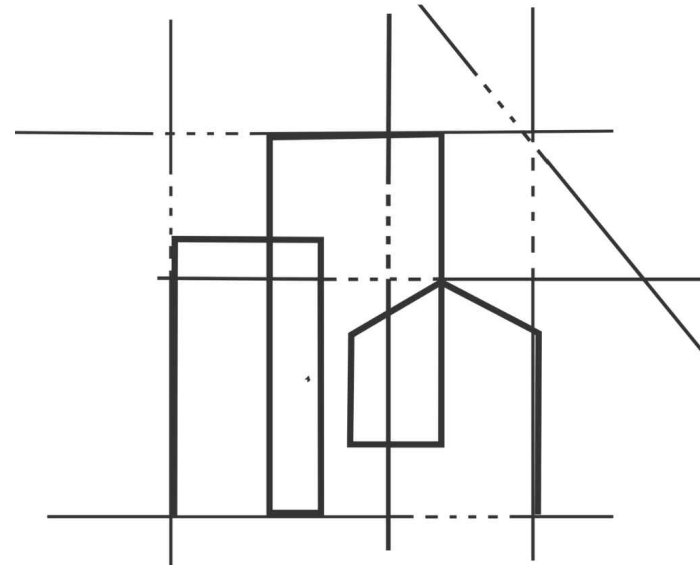


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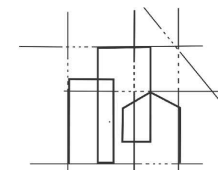
PROJECT

15 FOXFIELD CLOSE



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CONSTRUCTION



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DESIGN & ACCESS STATEMENT

1. Introduction

This Design and Access Statement has been prepared in support of a householder planning application for the proposed ground floor side extension and alterations to the existing ground floor roof at 15 Foxfield Close, Northwood.

The proposal seeks to improve the functionality and appearance of the existing dwelling while respecting the character of the surrounding area.

2. Site and Surroundings

The application property is a residential dwelling located within a well-established suburban area of Northwood, characterised by similar semi-detached and detached houses.

The street scene along Foxfield Close displays a mix of architectural styles, including properties with parapet frontages and a combination of flat and pitched roof forms. Several neighbouring properties have undertaken similar alterations, establishing a varied yet coherent character within the streetscape.

3. Proposed Development

Ground Floor Side Extension

The proposal includes the construction of a ground floor side extension designed to provide additional internal living space(s). The extension will be subordinate in scale to the main dwelling and will be set in from the boundary where appropriate to maintain visual separation and respect neighbouring amenity.

Roof Alterations

The existing ground floor roof will be altered to form a combination of pitched and flat roof elements. The front elevation will incorporate a parapet feature, creating a clean appearance, in suite with the streetscape and neighbouring property(s)

4. Design Principles

The design approach has been guided by the following principles:

- Respecting the scale, massing, and proportions of the existing dwelling
- Maintaining consistency with the character of the surrounding properties
- Ensuring the proposal integrates seamlessly into the existing streetscape

A key aspect of the proposal is the introduction of a part pitched and part flat roof form. This approach is common within Foxfield Close and the surrounding area, where a mixture of roof types has emerged through original design and subsequent alterations.

The combination of pitched and flat roofs is a recognisable and established feature locally, contributing to the varied but coherent architectural character of the street. Notably, No. 14 Foxfield Close has implemented a similar approach, incorporating a comparable roof form and front parapet treatment.

The proposed development therefore follows an established pattern of development within the immediate context and reinforces the visual rhythm of neighbouring dwellings. It reflects the established character of Foxfield Close, where similar roof forms and parapet features contribute to a consistent and recognisable streetscape.

The introduction of a parapet frontage and mixed roof form reflects similar architectural treatments found on neighbouring properties, ensuring the development remains in keeping with the local context.

5. Appearance and Materials

The proposed materials will be selected to closely match or complement the existing dwelling, including:

- Brickwork to match the existing house
- Roof materials consistent with surrounding properties
- Window and door styles aligned with the existing dwelling

The parapet feature will be designed to enhance the front elevation while maintaining a cohesive appearance with neighbouring properties that exhibit similar design elements.

6. Impact on Streetscape

The proposed development has been carefully designed to ensure that it preserves and enhances the character and appearance of the surrounding area.

The inclusion of a parapet frontage and roof form is consistent with other dwellings within Foxfield Close, and therefore will not appear out of place. Instead, it will contribute positively to the visual continuity of the street.

7. Residential Amenity

The proposed extension and roof alterations have been designed to minimise any adverse impact on neighbouring properties.

- No significant loss of light or overshadowing is anticipated
- The extension remains at ground floor level, limiting visual impact
- No overlooking issues are introduced

8. Access

There are no changes proposed to the existing access arrangements. The property will continue to be accessed via the existing entrance.

The development does not adversely affect pedestrian or vehicular access and maintains safe and convenient access for all users.

9. Conclusion

The proposed ground floor side extension and roof alterations at 15 Foxfield Close have been designed with careful consideration of the existing property and its surroundings.

The development respects the character of the area, reflects architectural features present within the street, and ensures that the overall appearance remains cohesive and in keeping with neighbouring properties.

STAGE No : 3

STAGE TITLE : Feasibility

DRAWING SCALE : @ A3

DRAWING REF : DA1

REV : 00

DRAWING TITLE : Design & Access Statement

DATE : 2026.03.19

PROJECT REF : TPS - 1025 - 15 Foxfield Close

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