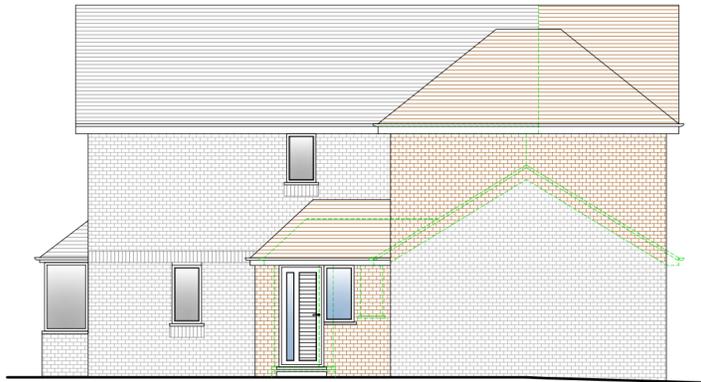


4 Proposed Front Elevation

Scale 1/100



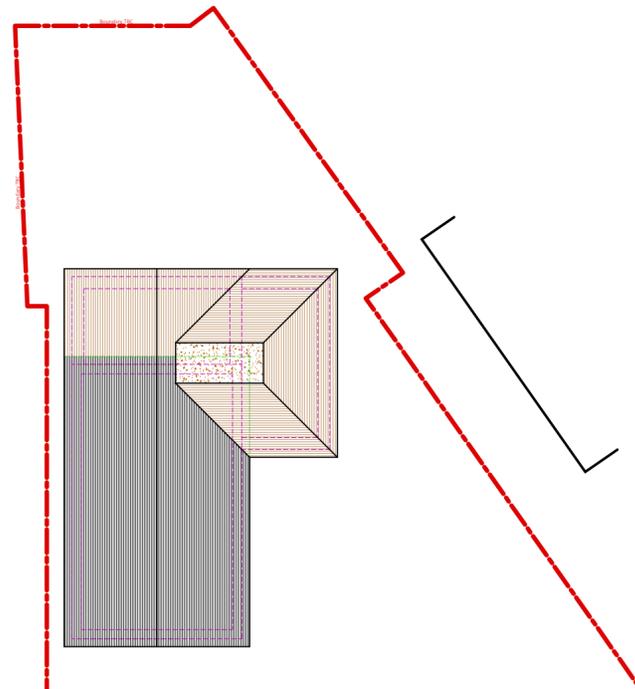
5 Proposed Side Elevation

Scale 1/100



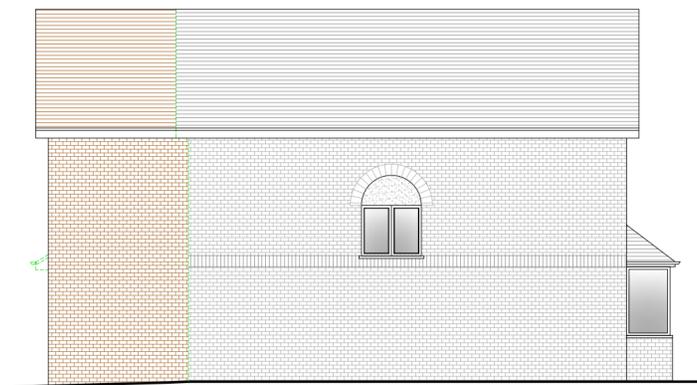
6 Proposed Rear Elevation

Scale 1/100



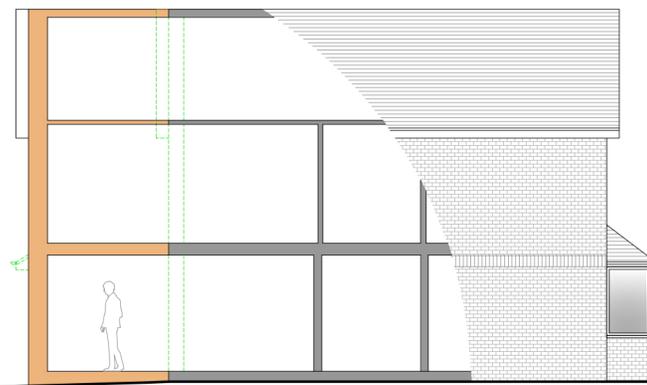
3 Proposed Roof Plan

Scale 1/50



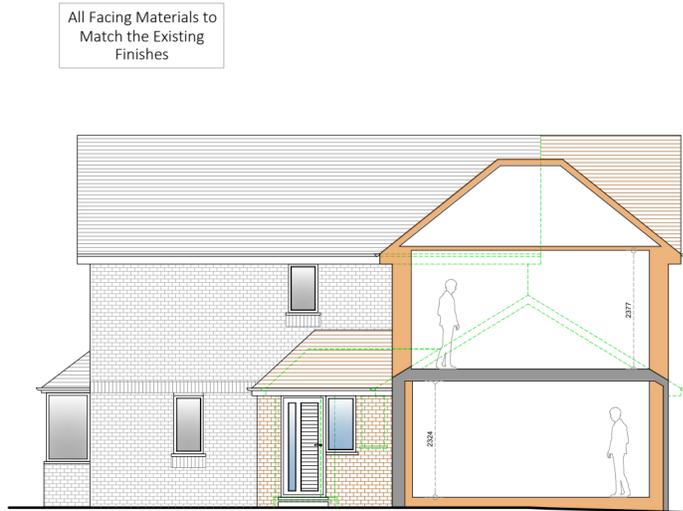
7 Proposed Side Elevation

Scale 1/100



8 Proposed Side Elevation

Scale 1/100



9 Proposed Side Garage Section

Scale 1/100

Existing	Paving
Proposed	Lawn
Removed	Proposed Extension
Boundary Line	Digital Scan Data
Sound Separating Wall	

PARTY WALL ACT 1996
 OWNERS MUST ENSURE ALL
 PARTY WALL AGREEMENTS
 ARE IN PLACE BEFORE
 ANY BUILDING
 WORKS ARE TO COMMENCE

IMPORTANT GENERAL NOTE
 The specification is to be read in conjunction with the plans/section details, and other associated structural details as may be provided.
 All work is to be carried out to the Local Authority Planning and Building Regulations Approval, and the Codes of Practice and British Standards as necessary.
 All dimensions, levels, sizes, positions and locations of particulars as indicated on drawings are to be verified by the appointed Contractor on site prior to engaging in works. Any discrepancies must be reported to the Architect/Surveyor/Engineer or responsible person's immediate.
 The Contractor is responsible for ensuring compliance with the CDM Regulations, and appropriate Health & Safety on site precautions.
 The Client/Building Owner must obtain any necessary PARTY WALL AGREEMENTS, prior to engaging in the works on site.

Revision	Date	Description
A	20/01/2025	Planning Officer Email Dated 20/01/2025

Page Size	Drawn By	Checked By
A2	RA	AAP
Scale	Drawing Status	Issue
1:100	Planning	Issue
Revision	Date	
A	Dec-25	

DontMoveExtend.com
 Planning Permission Specialists

44 Burlington Close
 Pinner
 HA5 2TP

Proposed Elevations
 & Roof Plan

BC44-01-1004A