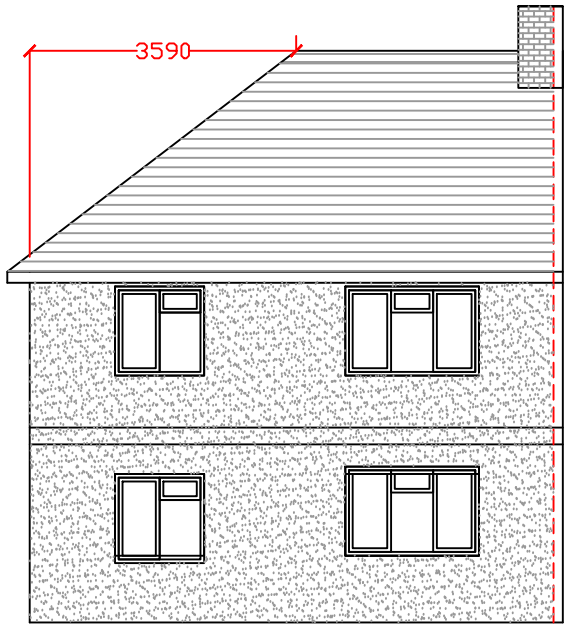


Hipped plain tiled roof

White UPVC casement windows

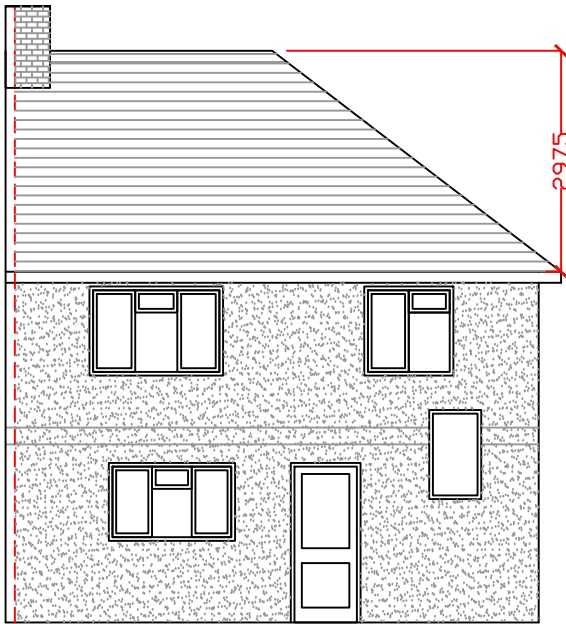
Rendered walls



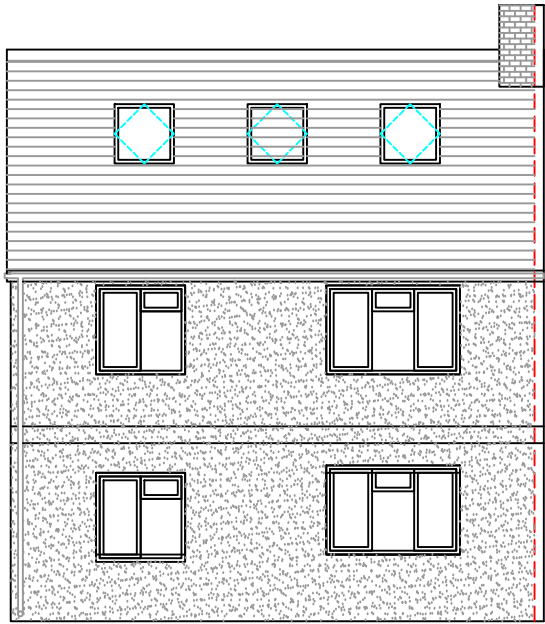
Hipped plain tiled roof

White UPVC casement windows and door

Rendered walls



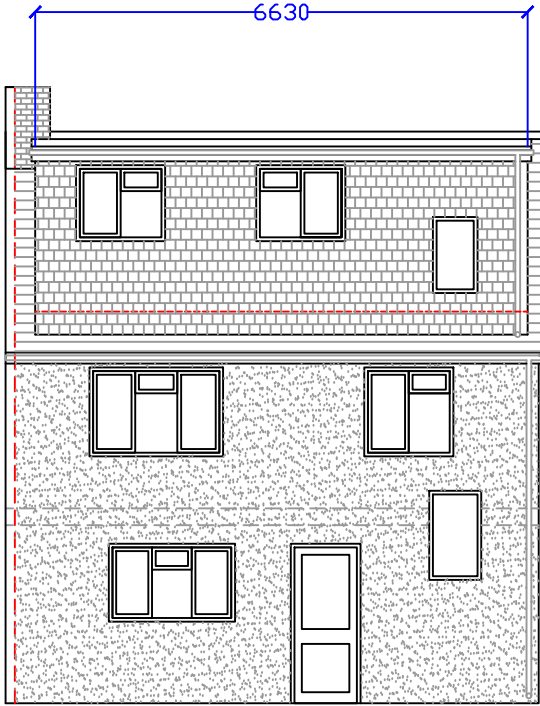
front slope with Velux windows and all new tiling



Cold deck dormer flat roof with GRP resin weathering membrane

New white UPVC windows to rear of new dormer extension

Hanging plain tiles to dormer elevations



REAR ELEVATION

EXISTING

EXTERNAL FINISHES

Brick walls to match existing

New plain tiled pitched roof to match existing UPVC double glazing windows and doors to match existing

DO NOT SCALE FROM THIS DRAWING



NOTES:

NB: Construction must only commence once planning, building control and any other relevant approvals have been obtained. It is the responsibility of the owner to commence prior to receiving these approvals.

These drawings must be read together with the specifications, details, structural designs and calcs issued or referred to.

All works to be carried out to Local Authority Planning and Building Regulation Approval, the Codes of Practice and British Standards as necessary.

All dimensions, levels, sizes, positions and locations of particulars as noted on the drawings are to be verified by the appointed Contractor on site prior to commencement of works. Any discrepancies must be reported to the Architect, Surveyor, Engineer or person responsible immediately.

The contractor is responsible for ensuring compliance with the CDM Regulations and the mandatory H&S on site precautions.

The Client/Building Owner must obtain the necessary Party Wall Agreements prior to commencing works on site.



Sterling Partners

ARCHITECTURAL & STRUCTURAL DESIGN
PROJECT MANAGEMENT

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VOLUMETRIC CALCULATIONS

$7.43 \times 2.97 \times 3.59 = 79.2 / 6 = 13.2\text{m}^3$

$6.63 \times 3.19 \times 2.53 = 53.5 / 2 = 26.75\text{m}^3$

Total additional dormer volume = 39.95m³

| | | | | | |
|----------|---|--------|-------------|--------------------------------------|------------|
| PROJECT: | DORMER EXTENSION | | DETAIL: | EXISTING AND PROPOSED FRONT AND REAR | |
| CLIENT: | Mr S Singh | | DRAWING NO: | 2025-Manor-L-03 | |
| SITE: | 55 Manor Waye Hillingdon Middx UB8 2BE | | DATE: | 30th Aug 2025 | REV: DRAFT |
| | | SCALE: | 1 : 100 | A3 | DRAWN BY: |