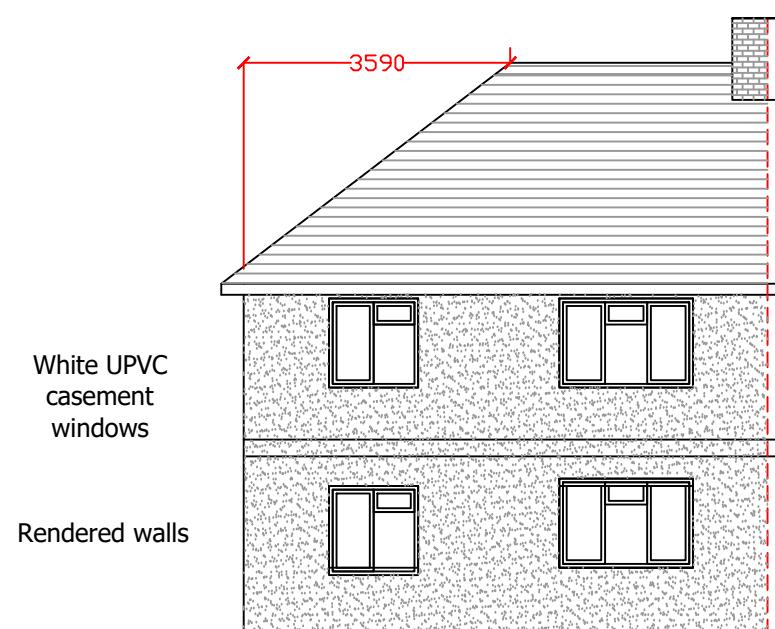
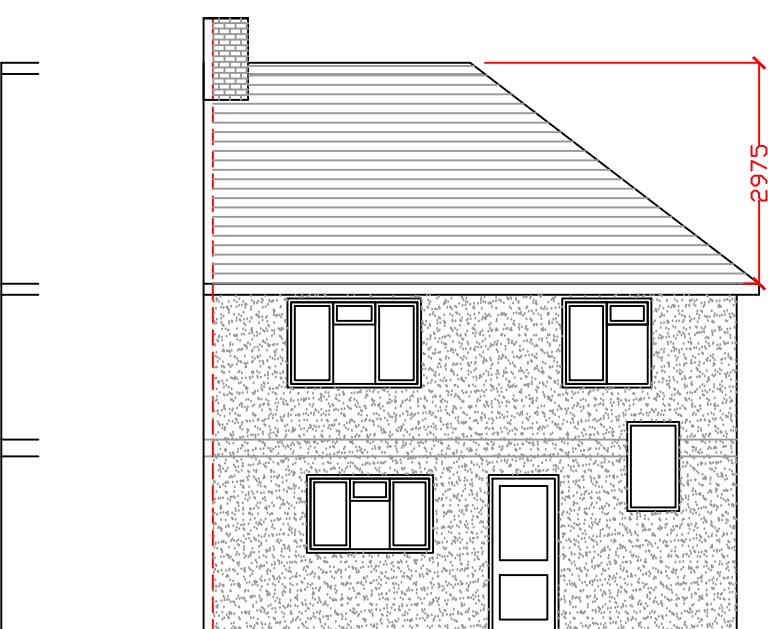


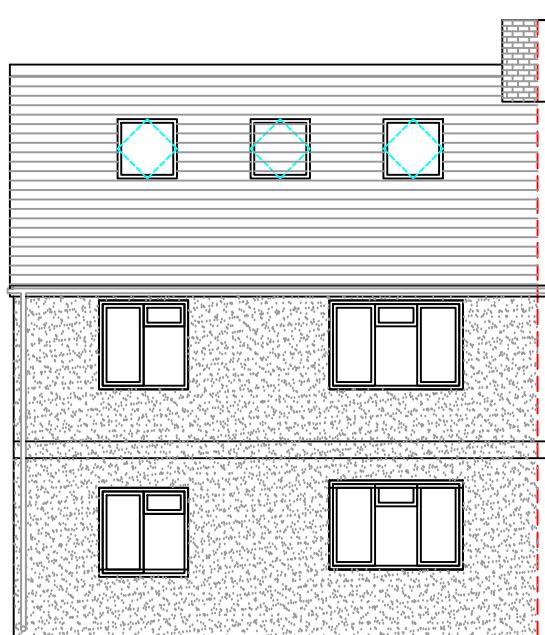
Hipped plain tiled roof



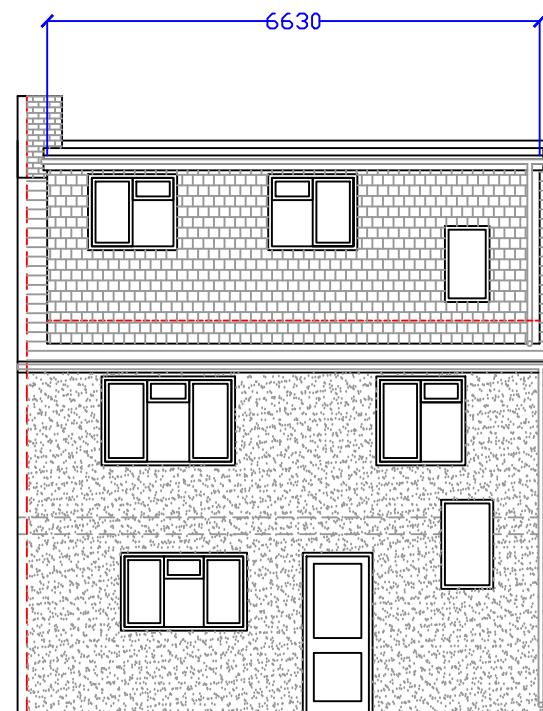
Hipped plain tiled roof



front slope with Velux windows and all new tiling



Cold deck dormer flat roof with GRP resin weathering membrane



REAR ELEVATION

EXISTING

EXTERNAL FINISHES
Brick walls to match existing
New plain tiled pitched roof
to match existing UPVC
double glazing windows
and doors to match existing

0 10m

NOTES:
NB: Construction must only commence once planning, building control and any other relevant approvals have been obtained. It is the responsibility of the owner to commence prior to receiving these approvals.
These drawings must be read together with the specifications, details, structural design and calculations issued or referred to.
All work must be carried out in Local Authority Planning and Building Regulation Approval, the Codes of Practice and British Standards as necessary.
All dimensions, areas, elevations and levels of particulars as noted on the drawings are to be verified by the appointed Contractor on site prior to commencement of work. Any discrepancies must be reported to the Architect, Surveyor, Engineer or person responsible immediately.
The contractor is responsible for ensuring compliance with the CDM Regulations and the mandatory H&S on site precautions.
The Client/Builder/Owner must obtain the necessary Party Wall Agreements prior to commencing works on site.

DO NOT SCALE FROM THIS DRAWING

 Sterling Partners
ARCHITECTURAL & STRUCTURAL DESIGN
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www.sterlingpartners.uk.com

VOLUMETRIC CALCULATIONS

$$7.43 \times 2.97 \times 3.59 = 79.2 / 6 = 13.2\text{m}^3$$

$$6.63 \times 3.19 \times 2.53 = 53.5 / 2 = 26.75\text{m}^3$$

Total additional dormer volume = 39.95m³

PROJECT:	DORMER EXTENSION	DETAIL:	EXISTING AND PROPOSED FRONT AND REAR
CLIENT:	Mr S Singh	DRAWING NO:	2025-Manor-L-03
SITE:	55 Manor Waye Hillingdon Middx UB8 2BE	DATE:	30th Aug 2025
SCALE:	1 : 100	REV:	DRAFT
		DRAWN BY:	A3