

St Mary's Church Hall
Hemmen Lane Hayes UB3 2LW

DEMOLITION OF EXISTING BUILDING &
RE-CONSTRUCTION OF NEWLY PROPOSED
COMMUNIAL CHURCH HALL &
CHILDRENS DAY CENTRE

DESIGN & ACCESS STATEMENT

August 2025
1123/St Mary's Church Hall

CONTROL SHEET

Client: Fr. Nicholas Wheeler

Project Title: St Mary's Church Hall Memmen Lane Hayes UB3 2LW

Report Title; Design & Access Statement

Project Ref: 1123/St Mary's Church Hall

Issue	Amendment	Status	Date
Existing Layout-01			August 2025
Proposed Ground Floor Layout-02			August 2025
Proposed First Floor Layout-03			August 2025
Proposed Elevations-05			August 2025

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Introduction;

This Design & Access Statement is in support of the planning application for the Demolition of Existing building & re-development of existing footprint at **St Mary's Church Hall, Hemmen Lane Hayes UB3 2LW**

Significance of the building within a Local Conservation area;

The property is a Community Church Hall. The site has always been used for a Church Hall since 1937. The most Heritage significance comes from the dilapidated external appearance of the property as part of the whole.

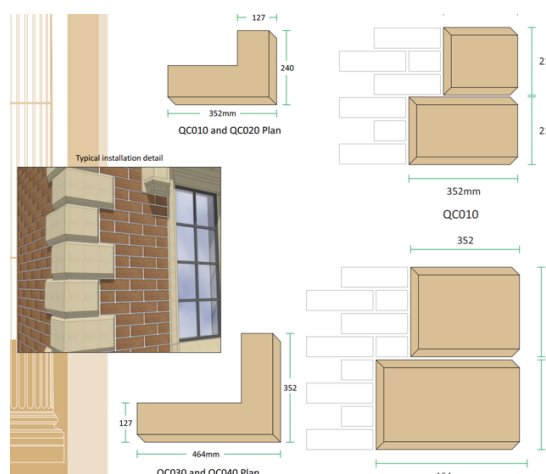
Impact of the proposal on the special interest; would be **Very little** as the footprint would be the same. The enhancement & re-building of the property from its existing dilapidated state & with more up-to-date materials would improve the Development overall.

Balancing; Unfortunately due to a mix match of the rear alterations over the years there would be little to no impact on the fabric of the building, but only to enhance the same. As the majority of the rear has been significantly Altered during 20th century conversion. Following a fire the roof area was damaged and although appears to be structurally sound had suffered some damage & the replacement is now overdue.

Design;

We would gratefully welcome a meeting with the Hillingdon Council to discuss the overall design concepts that the Local Authority would require in order to re-develop this site.

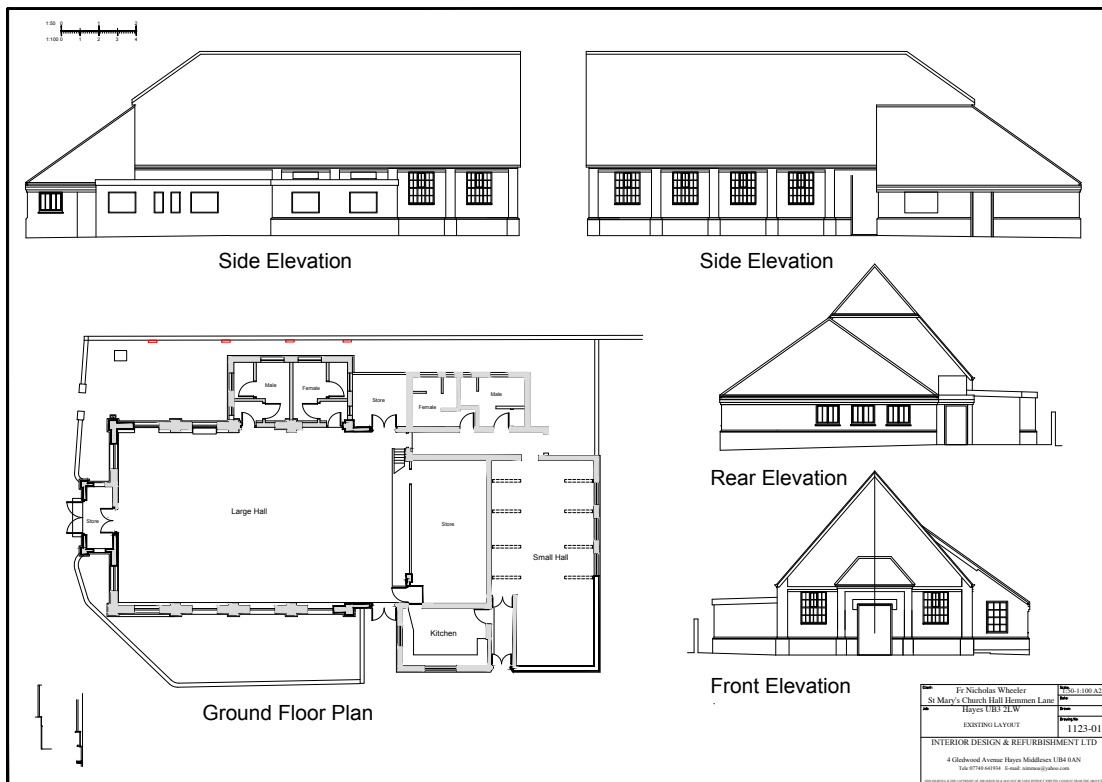
Although the existing structure is one of white painted pebble-dashed exterior, we would hopefully like it to be of a red brickwork cavity construction incorporating a corner construction detail in the form of a chamfered Quoins.



Drawings;

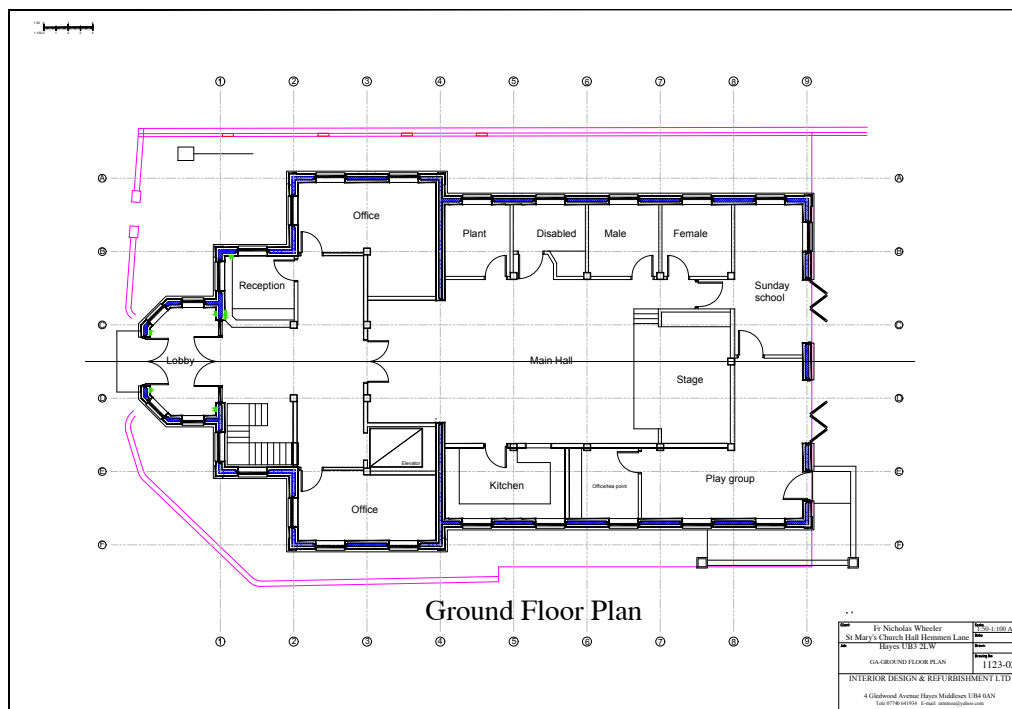
Existing Layouts-01,

Showing the existing floor plan & elevations, you will note it has a highly vaulted roof construction of which we wish to imitate.

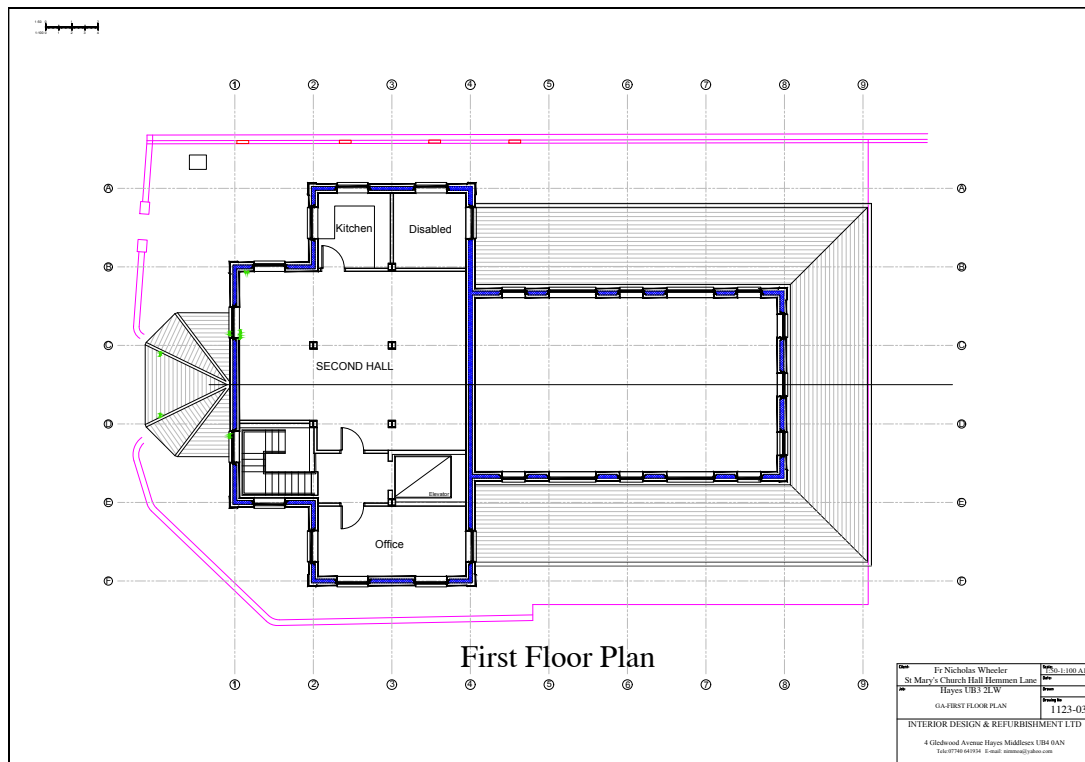


Proposed Ground Floor-02,

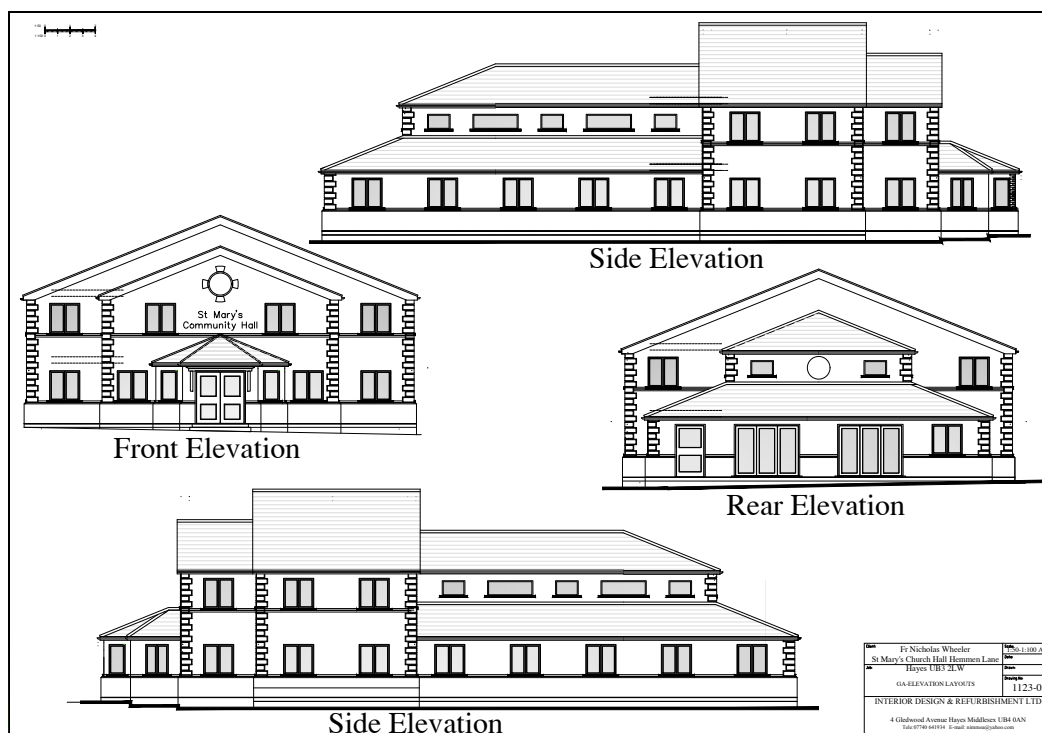
Showing the Ground Floor plan & Boundaries



Proposed First Floor-03,
Showing the Floor plan & layout.



Proposed Elevations-05,
Showing the Elevations & Quoins design.



Access;

Access to the property is via the corner plot of Hemmen Lane & Church Road Hayes Middlesex UB3 2LD.

In Conclusion:-

We would very much welcome the thoughts & assistance within a meeting to discuss the overall concept & proposed design issues that the Local Authorities wish for us to incorporate in the new Development. Any assistance would be greatly appreciated.

Dear Kevin and colleagues

This outstanding query was drawn to my attention, so I have checked with Antonia Whatmore, Design & Conservation Team Manager.

We are not able to provide free pre-application information and advice in this case. You are therefore recommended to submit either a paid pre-application submission for a formal pre-application response, or to submit a full planning application for the proposal. If submitting an application, please indicate to the case officer that you are willing to discuss any suggested revisions to the proposal, to avoid an unnecessary refusal.

Details of the pre-application procedure can be found at –

[Planning advice - Hillingdon Council](#)

I hope this is of use.

Kind regards
John Allum

Please note that the comments made in this email represent officer opinion and cannot be seen to prejudice the Local Planning Authority's formal determination in relation to any application or planning matter.

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