

Arboricultural Impact Assessment

SITE LOCATION

Ashley
The Green
Harefield
UB9 6NP

PREPARED FOR

Dhali Property Services Ltd

PREPARED BY

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REFERENCE

26049-DA-AIA-01



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Appendix A	- 26049-TP-01 Tree Survey Plan - 26049-TPP-01 Tree Protection Plan
Appendix B	- 26049-TS-01 Tree Schedule

1. INTRODUCTION

Instruction

- 1.1 We have been instructed by Dhali Property Services Ltd (the 'Client') to undertake a tree survey in accordance with *BS 5837:2012 – Trees in relation to design, demolition and construction: Recommendations* at Ashley, The Green (the 'Site') and to prepare an Arboricultural Impact Assessment (AIA) to assess the potential impacts of the proposed development on trees within and adjacent to the Site.



Figure 1: Google Earth image showing the approximate Site area within the yellow line.

Proposed Development

- 1.2 The proposed development comprises: *Proposed subdivision of existing dwelling house into two separate private units. Proposals to comprise of a ground floor two-bedroom unit with disabled access and a three-bedroom unit to first and second floors. Both with associated private amenity space and parking* (the 'Proposed Development').



External references

1.3 This report has been prepared with reference to the following documents:

- Existing Plans & Elevations 001
- Proposed Plans, Elevations & Accommodation Schedule 002
- Existing Block & Location Plans 003
- Proposed Block & Location Plans 004

Scope

1.4 The purpose of this report is to evaluate the potential effects of the Proposed Development on existing trees within and adjacent to the Site, to identify any likely impacts arising from the proposals, and to provide recommendations for mitigation and tree protection measures where appropriate. The assessment is intended to inform the design and planning process, ensuring that trees are properly considered in accordance with *BS5837:2012*, and to enable the Local Planning Authority to make an informed decision.

Author

1.5 This report was written by Lee Davies, a Chartered Arboriculturist with over 20 years of experience in the arboricultural industry. He is a professional member of the *Institute of Chartered Foresters* and the *Arboricultural Association* and holds the *Level 6 Diploma in Arboriculture (ABC)*.

2. LIMITATIONS

2.1 The surveyed trees have not been subject to a full safety inspection. The survey's primary focus was to assess the trees in the context of the Proposed Development. Where recommendations have been made in the tree schedule, these are preliminary recommendations only and are not based on a detailed risk assessment of the trees.

2.2 This survey and report do not include a risk assessment of tree-related subsidence to existing or proposed structures. Where new structures are proposed on sites containing shrinkable soils, foundation design should be undertaken with reference to the *National House Building Council (NHBC) Standards – Chapter 4.2: Building near trees*. Consideration should also be given to the presence of any recently removed trees or vegetation, which may increase the potential for soil heave.

3. THE SITE

Site details

- 3.1 The Site is located within the administrative area of the London Borough of Hillingdon. The surrounding area is village-like and semi-rural in character, comprising detached and semi-detached dwellings set within mature plots around the central green, together with areas of established vegetation and open space.
- 3.2 The Site comprises a semi-detached residential dwelling with associated garden areas and driveway access. The plot is generally level and is bounded by neighbouring residential properties and garden land, together with Harefield Village Green to the west. Tree cover within and surrounding the Site consists of a mixture of garden trees, hedgerows and ornamental planting, contributing to the verdant character of the local area. Trees and other vegetation recorded during the tree survey are discussed in more detail in the following section.



Figure 2: Looking west towards the Site, showing the Yew (T3) to the right.

4. TREE SURVEY

Site visit

- 4.1 A tree survey was conducted on 12 May 2026, in accordance with *BS 5837:2012*. A tree survey schedule is located in Appendix B of this report.

Methodology

- 4.2 The tree survey was undertaken using the existing site plan with topographical detail provided as the base map. The heights and crown dimensions were confirmed using a laser measuring device. Stem diameters were measured 1.5m from ground level using a diameter measuring tape where accessible. Estimated stem diameters are suffixed with a # in the tree survey schedule.

Tree details

- 4.3 The surveyed trees and vegetation within the Site consist of a semi-mature birch (T1), a mature Yew (T3), two mixed hedges (H1 & H3), and two shrub groups (SG1 & SG2). The trees and hedges recorded adjacent to the Site comprise a mature Scots pine (T2), a mature ash (T4), three mature apple trees (T5-T7), and a mixed hedge (H2).
- 4.4 The trees and other vegetation have been assessed and categorised in accordance with *BS 5837:2012*, with each element evaluated in terms of its arboricultural and landscape qualities, condition, and likely remaining contribution. The results of this assessment are summarised in Table 1 below.

Table 1: BS5837 survey summary table

Retention Category	Surveyed trees
<i>Category A</i> (high-quality)	None
<i>Category B</i> (moderate-quality)	4no. trees
<i>Category C</i> (low-quality)	3no. trees, 3no. hedges, and 2no. shrub groups
<i>Category U</i> (unsuitable for retention)	None

5. STATUTORY PROTECTION

- 5.1 According to online information provided by the London Borough of Hillingdon, the Site lies within the Harefield Village Conservation Area (CA), and the surveyed trees are understood to be covered by Area Tree Preservation Order TPO 3 (Harefield Village). Accordingly, consent from the Local Planning Authority (LPA) will be required prior to undertaking tree works.

6. IMPACT ASSESSMENT

- 6.1 The summary table below identifies the potential arboricultural impacts arising from the Proposed Development, including any direct or indirect effects on retained trees and any potential incursions into Root Protection Areas (RPAs).

Table 2: Impact summary table

Proposed works	Trees/shrubs affected	Details
Vegetation removal	SG1	Removal of one small shrub group is required to facilitate the communal bin store. No tree removal is required.
Pruning	None	No facilitation pruning is required.
RPA Incursion	T2 & T3	<p>The construction of a bin store base is located at the RPA periphery of T2. However, it will affect a very minor proportion of the RPA and is unlikely to have a significant adverse impact on the tree. Hand excavation is proposed to ensure the impact remains low.</p> <p>The construction of a wheelchair access ramp is proposed within the RPA of T3. It is understood that this will be constructed upon the existing hard surface and that no excavation will be required. The construction will therefore have a negligible impact on this tree.</p>
Future pressure	None	The spatial relationship between the trees and buildings at the property will not change. The Proposed Development will therefore not increase future pressure for pruning or removal.

Principal Impacts

6.2 Overall, the Proposed Development will have a negligible impact on the surrounding trees and vegetation, with minor precautionary measures required to minimise any potential impact on the retained trees from the construction of a bine store base and wheelchair ramp, as detailed in the TPP at Appendix A.

Mitigation Planting

6.3 No mitigation planting proposals have been provided as part of the current application. Given the negligible impact on trees, new planting is not considered necessary in this instance.

7. OUTLINE ARBORICULTURAL METHOD STATEMENT (AMS)

7.1 To ensure that activities associated with the Proposed Development do not adversely affect the retained trees, tree protection measures must be adhered to throughout its implementation. *Table 3* below provides details of the required tree protection measures. The arboriculturist and/or Local Planning Authority should be consulted if a significant deviation from these details is proposed.

Table 3: AMS summary table

Tree protection measures/methodology	
Tree protection barriers	Tree protection barriers should be installed prior to the commencement of any site clearance, demolition, or construction works, including the delivery of materials and the movement of plant. The barriers should be erected in accordance with the Tree Protection Plan (TPP) and retained in their specified positions for the full duration of the development. They should be maintained in a secure and effective condition at all times to ensure that protected areas remain undisturbed.
Material storage	Materials shall be stored outside of all RPAs of the retained trees.
Cement mixing	Cement mixing shall be undertaken as far away from the existing trees as possible. Cement washings must not be discharged within the RPAs of the trees.
Contamination	Building materials and substances that have the potential to contaminate the soil, such as wet cement, fuel, or other chemicals, must not be stored within Root Protection Areas (RPAs). Particular care should be taken on sloping ground to ensure that such materials cannot migrate into RPAs via surface runoff, with appropriate storage locations, containment measures, and spill prevention controls implemented to avoid indirect contamination.

Services	Details of drainage or service installation at the site are not available at this stage. Should work to install or access existing services require excavation within the RPAs of adjacent trees, a detailed methodology in accordance with BS 5837 and <i>Street Works UK Volume 4</i> guidelines shall be prepared and implemented in consultation with the arboriculturist.
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8. ARBORICULTURAL MONITORING AND SUPERVISION

- 8.1 Due to the low risk posed to the surveyed trees, routine arboricultural supervision and monitoring are not considered necessary for the proposed works. Notwithstanding this, the Site Manager (or other responsible person) shall be made aware of the tree protection requirements set out within this report and shall be responsible for ensuring that all protective measures are implemented and maintained throughout the duration of the works.
- 8.2 To ensure that these requirements are clearly understood, a pre-commencement meeting (either on-site or held virtually) should be undertaken with the arboriculturist, Site Manager, and relevant contractors to review the tree protection measures and site constraints prior to the start of works.
- 8.3 In the event that any unexpected issues arise, including damage to retained trees, encroachment into RPAs, or the need for unforeseen works such as pruning, the arboriculturist should be contacted at the earliest opportunity to provide advice and agree on appropriate remedial measures with the Local Planning Authority, where necessary.

9. CONCLUSIONS

- 9.1 The Proposed Development is considered to result in a negligible impact on the existing trees and hedges, with only the removal of one small shrub group (SG1) proposed. All other trees can be accommodated within the Proposed Development without conflict.
- 9.2 Potential impacts are largely confined to the construction of a bin store base and wheelchair ramp, where there is a low risk of localised root disturbance. These impacts can be effectively mitigated through the use of appropriate working methods, including hand excavation and adherence to the tree protection measures set out within this report and appended Tree Protection Plan (TPP).
- 9.3 Subject to the implementation of the recommended tree protection measures and good site practice, the Proposed Development is considered to be acceptable in arboricultural terms and is unlikely to result in any significant adverse effects on retained trees or the wider landscape character.

Appendix A

- 26049-TP-01 Tree Survey Plan
- 26049-TPP-01 Tree Protection Plan

Appendix B

- 26049-TS-01 Tree Schedule

BS5837 Tree Schedule


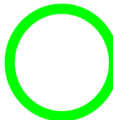

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Trees/ Groups	Species	Height (m)	Stem diameter(s) (mm)	Crown Spread (m)	Crown Clearance (m)	Lowest Branch	RPA	Life Stage	Expected Remaining Contribution	Physiological Condition	Structural Condition	Survey Notes	Preliminary Management Recommendations	Retention Category	Inspected
T1	Silver birch (<i>Betula pendula</i>)	8	170	N:2.5 E:2.5 S:2 W:2.5	2		Radius: 2.0m. Area: 13 sq m.	Semi Mature	10+ Years	Good	Fair	Crown reduced previously.		C1	12-May-2026
T2	Scots pine (<i>Pinus sylvestris</i>)	19	600#	N:5 E:5 S:5 W:5	9		Radius: 7.2m. Area: 163 sq m.	Mature	20+ Years	Good		Located off-site.		B2	12-May-2026
T3	English yew (<i>Taxus baccata</i>)	12	600#	N:6 E:6 S:6 W:2	3	5(N)	Radius: 7.2m. Area: 163 sq m.	Mature	40+ Years	Good	Good	Dense formally maintained epicormic growth on lower trunk. Access to base not possible. Crown managed on western side to maintain separation from house. Asymmetric crown. Direct damage to driveway from surface roots.		B1,2	12-May-2026
T4	Common ash (<i>Fraxinus excelsior</i>)	9	600#	N:5 E:5 S:4 W:4	2		Radius: 7.2m. Area: 163 sq m.	Mature	10+ Years	Fair	Poor	Located off-site. Reduced in height to 4m with epicormic growth forming the small crown. Open cavity.		C1	12-May-2026
T5	Apple (<i>Malus sp.</i>)	3	230, 170	N:2 E:2 S:1.5 W:1.5	2		Radius: 3.4m. Area: 36 sq m.	Mature	10+ Years	Good	Poor	Managed through cyclical pruning. Decayed pruning wounds. Hollow stem. Located at edge of driveway.		C1,2	12-May-2026
T6	Apple (<i>Malus sp.</i>)	3	290	N:2 E:2 S:2 W:2	2		Radius: 3.5m. Area: 38 sq m.	Mature	20+ Years	Good	Good	Managed through cyclical pruning.		B1,2	12-May-2026
T7	Apple (<i>Malus sp.</i>)	3	230, 170	N:2.5 E:2.5 S:2.5 W:2.5	2		Radius: 3.4m. Area: 36 sq m.	Mature	20+ Years	Good	Good	Managed through cyclical pruning. Located off-site.		B2	12-May-2026
SG1	Pyracantha (<i>Pyracantha sp.</i>) Mixed shrubs (<i>Mixed shrubs</i>) Spindle (<i>Euonymus europaeus</i>)	1.5	40#		0		Area: 9 sq m.	Early Mature	10+ Years	Fair	Fair	Formally maintained shrubs.	Remove to facilitate development	C1,2	12-May-2026

Trees/ Groups	Species	Height (m)	Stem diameter(s) (mm)	Crown Spread (m)	Crown Clearance (m)	Lowest Branch	RPA	Life Stage	Expected Remaining Contribution	Physiological Condition	Structural Condition	Survey Notes	Preliminary Management Recommendations	Retention Category	Inspected
SG2	Other 'Viburnum, choisya, eleagnus, Photinia, cypress' (Other) Mixed shrubs (Mixed shrubs)	3	70#		0		Area: 44 sq m.	Early Mature	10+ Years	Good	Good	Formally maintained shrubs.		C2	12-May- 2026
H1	Hornbeam (60%) (<i>Carpinus betulus</i>) Lawson cypress (20%) (<i>Chamaecyparis lawsoniana</i>) Mixed hedge (Mixed hedge) Common holly (20%) (<i>Ilex aquifolium</i>)	2	50#	N:0.5 E:0.5 S:0.5 W:0.5	0		Radius: 0.6m. Area: 29 sq m.	Early Mature	10+ Years	Good	Good	Maintained hedge.		C2	12-May- 2026
H2	Mixed hedge (Mixed hedge) Common holly (40%) (<i>Ilex aquifolium</i>) Laurel cherry (20%) (<i>Prunus laurocerasus</i>) Lawson cypress (20%) (<i>Chamaecyparis lawsoniana</i>) English yew (20%) (<i>Taxus baccata</i>)	2	80#	N:1 E:1 S:1 W:1	0		Radius: 1.0m. Area: 20 sq m.	Early Mature	10+ Years	Fair	Fair	Maintained hedge. Located off site.		C2	12-May- 2026
H3	Mixed hedge (Mixed hedge) Ligustrum (40%) (<i>Ligustrum sp.</i>) Common beech (60%) (<i>Fagus sylvatica</i>)	1.5	40#	N:0.5 E:0.5 S:0.5 W:0.5	0		Radius: 0.5m. Area: 12 sq m.	Semi Mature	10+ Years	Good	Good	Maintained hedge.		C2	12-May- 2026

Table 1 of BS5837:2012 **Cascade chart for tree quality assessment**

Category and definition	Criteria (including subcategories where appropriate)			Identification on plan
Trees unsuitable for retention (see Note)				
Category U Those in such a condition that they cannot realistically be retained as living trees in the context of the current land use for longer than 10 years	<ul style="list-style-type: none"> Trees that have a serious, irremediable, structural defect, such that their early loss is expected due to collapse, including those that will become unviable after removal of other category U trees (e.g. where, for whatever reason, the loss of companion shelter cannot be mitigated by pruning) Trees that are dead or are showing signs of significant, immediate, and irreversible overall decline Trees infected with pathogens of significance to the health and/or safety of other trees nearby, or very low quality trees suppressing adjacent trees of better quality 			
<i>NOTE Category U trees can have existing or potential conservation value which it might be desirable to preserve; see 4.5.7.</i>				
1 Mainly arboricultural qualities		2 Mainly landscape qualities	3 Mainly cultural values, including conservation	
Trees to be considered for retention				
Category A Trees of high quality with an estimated remaining life expectancy of at least 40 years	Trees that are particularly good examples of their species, especially if rare or unusual; or those that are essential components of groups or formal or semi-formal arboricultural features (e.g. the dominant and/or principal trees within an avenue)	Trees, groups or woodlands of particular visual importance as arboricultural and/or landscape features	Trees, groups or woodlands of significant conservation, historical, commemorative or other value (e.g. veteran trees or wood-pasture)	
Category B Trees of moderate quality with an estimated remaining life expectancy of at least 20 years	Trees that might be included in category A, but are downgraded because of impaired condition (e.g. presence of significant though remediable defects, including unsympathetic past management and storm damage), such that they are unlikely to be suitable for retention for beyond 40 years; or trees lacking the special quality necessary to merit the category A designation	Trees present in numbers, usually growing as groups or woodlands, such that they attract a higher collective rating than they might as individuals; or trees occurring as collectives but situated so as to make little visual contribution to the wider locality	Trees with material conservation or other cultural value	
Category C Trees of low quality with an estimated remaining life expectancy of at least 10 years, or young trees with a stem diameter below 150 mm	Unremarkable trees of very limited merit or such impaired condition that they do not qualify in higher categories	Trees present in groups or woodlands, but without this conferring on them significantly greater collective landscape value; and/or trees offering low or only temporary/transient landscape benefits	Trees with no material conservation or other cultural value	



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