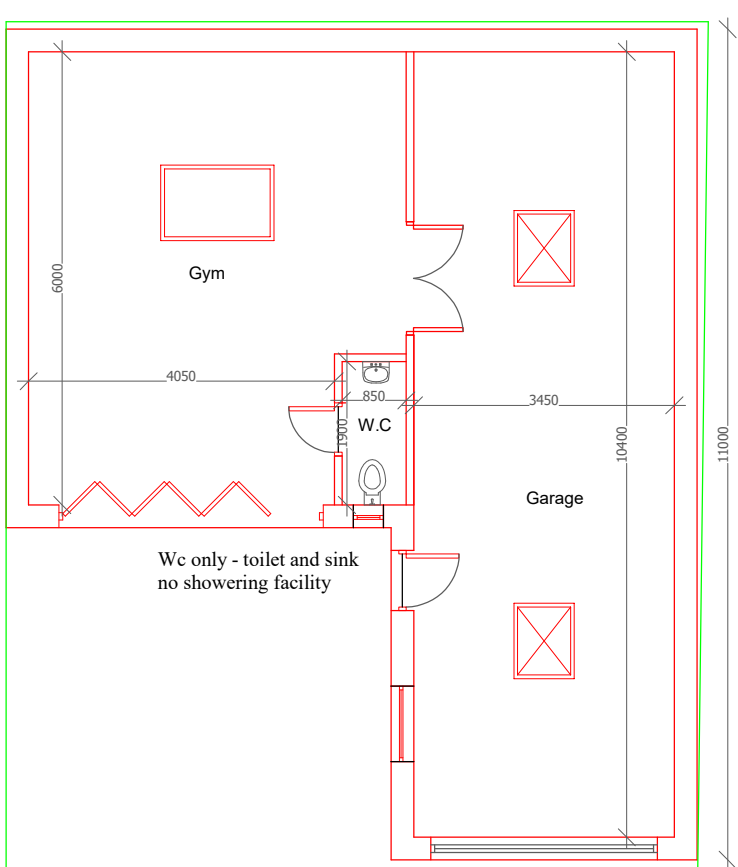
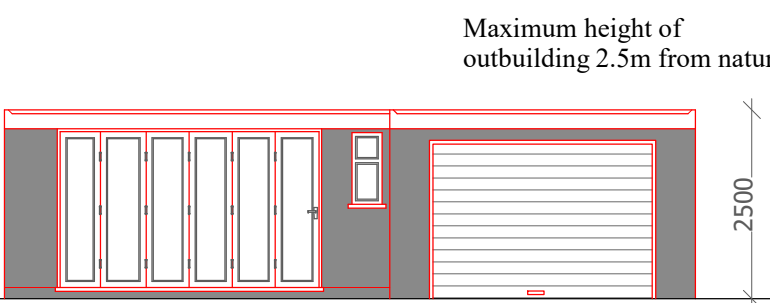


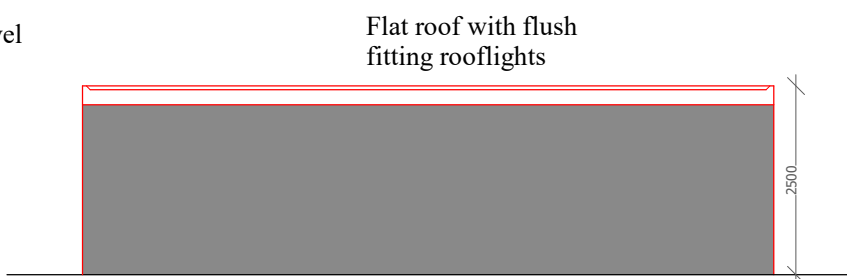
Existing Roof Plan



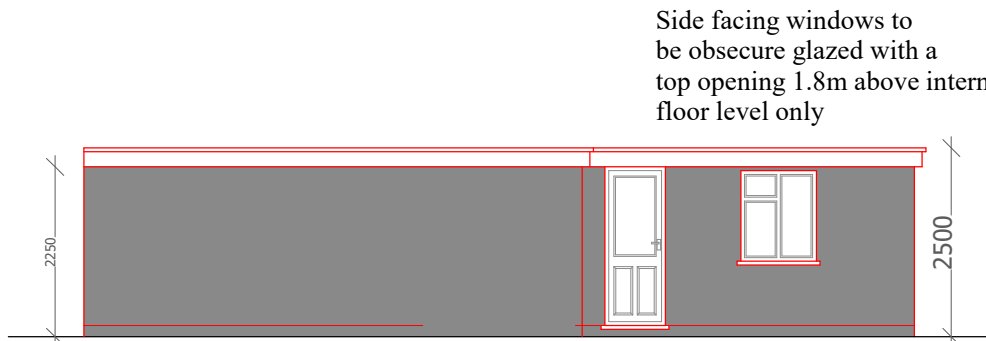
PROPOSED GROUND FLOOR PLAN



PROPOSED FRONT ELEVATION



PROPOSED REAR ELEVATION



PROPOSED LEFT SIDE ELEVATION



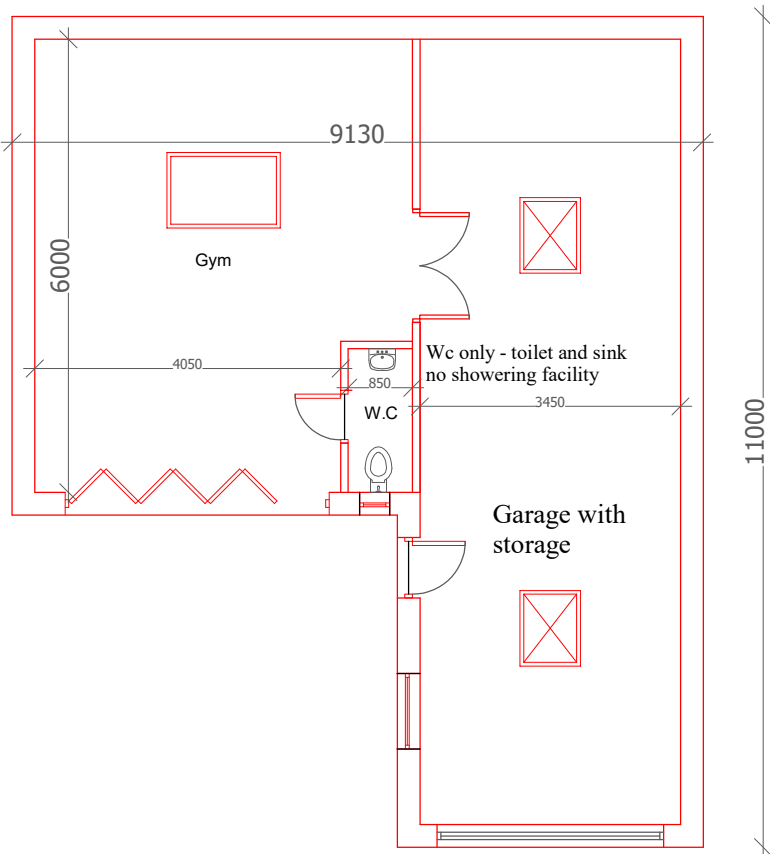
PROPOSED RIGHT SIDE ELEVATION

Original Garden sqm = 33 x 9 average = 297sqm

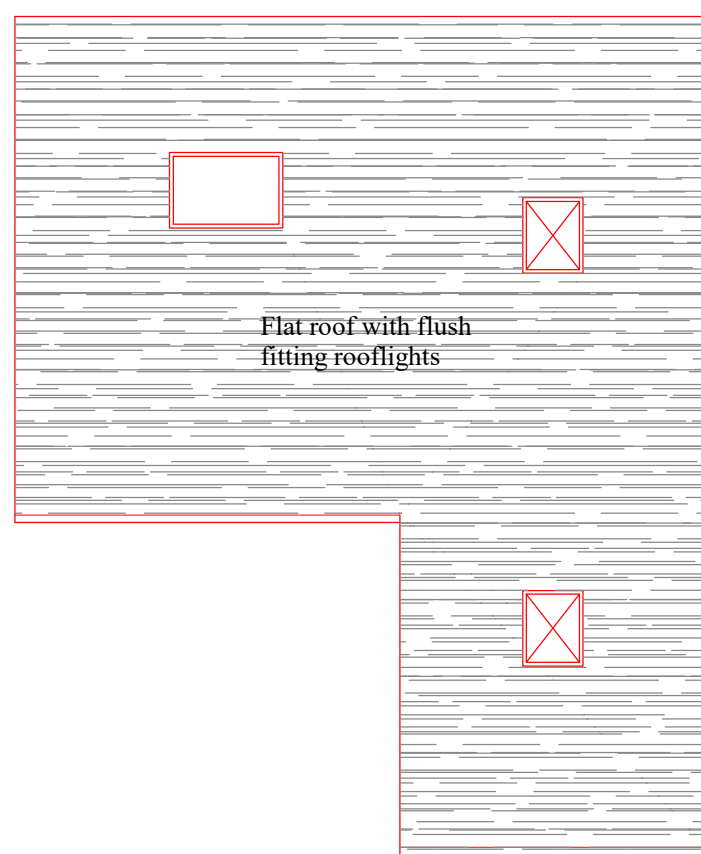
Outbuilding Proposed size
77sqm
This is less than 50 % of the garden space
The Proposal is designed within the permitted
development criteria for outbuildings

2.5m maximum height from natural ground level
Used for household users only for a Playroom / garage store room, Gym space
50% of garden is 148sqm that can be built on, the existing
garage is to be removed
Minus this from the 50% external amenity space leaving
71.5sqm that still remains under the 50 percent rule.

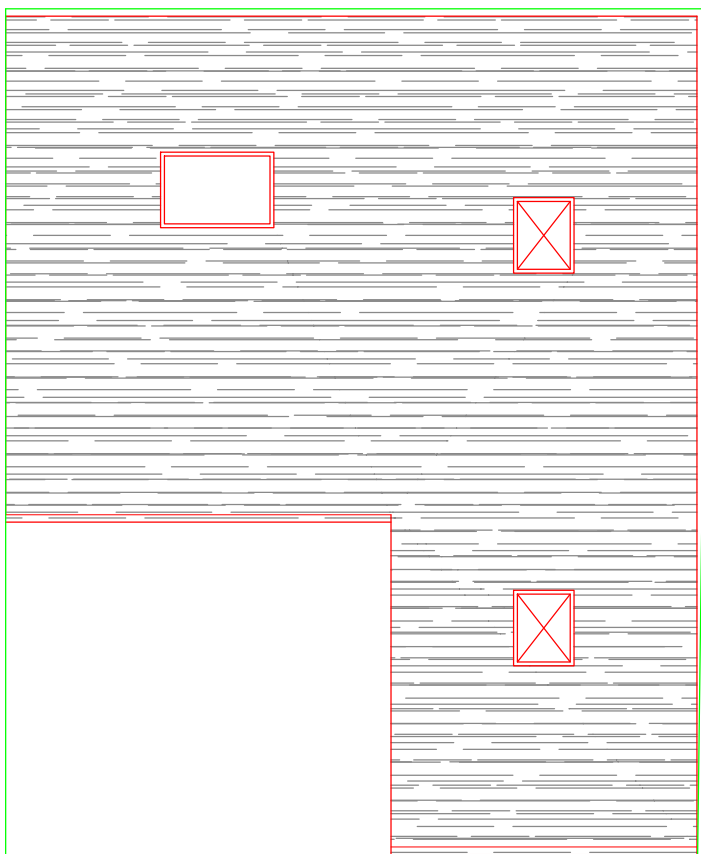
our proposed 77sqm, which is well within the permitted criteria



PROPOSED GROUND FLOOR PLAN



PROPOSED ROOF PLAN

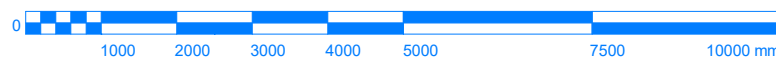


Large private garden

All existing sheds and garages
are to be removed as part of the new
proposal

- Notes
- 1 All concrete to be 1:2:4 mix by volume
 - 2 All dimensions are in millimeters
 - 3 All materials used to be half hour fire resistance and used to manufacturers instructions
 - 4 All new gullies to be roddable and back inlet type.
 - 5 New walls bonded to existing using 'Furfix' or similar profiles.
 - 6 The contractor to check all dimensions before commencement of works and inform the Client of any discrepancies.
 - 7 All works to be carried out in accordance with Building regulations and British Standards, all in approval of the LA engineer.
 - 8 All new glazing below 1000 from floor level to be toughened safety glass to BS6206.
 - 9 All structural timber to be tannalised VERMIN
 - 10 Any proposed works likely to be affected by landfill gas to have 0.25 ZEDCOR polymer thermoplastic with ZEDCOR DPM jointing system across the cavity at DPC level with cavity trays over, the floor slab to be vented using herringbone land drains out to air bricks.
 - 11 All dimensions to be double checked on site
 - 12 All steels to be measure on site with built dimensions
 - 13 Steels to have 30 min fire protection
 - 14 All drawings to be approved prior to Build works, any works carried out without approval is at own risk.
 - 15 Any discrepancies to be discussed with our team prior to works, any changes made on site to be submitted to and approved by us in writing

Scale 1/100



Title / Description :

Existing and Proposed Plans

Project Address :

113 Harlington Road
UB8 3JA

Scale of Drawing

1/100 @ A1

Drawing No

113 02

Drawn By

Sunny Bahia

Date of Proj

July 25

AsB Architecture Ltd

PLANNING - ENGINEERING - MANAGEMENT

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