

NOTES

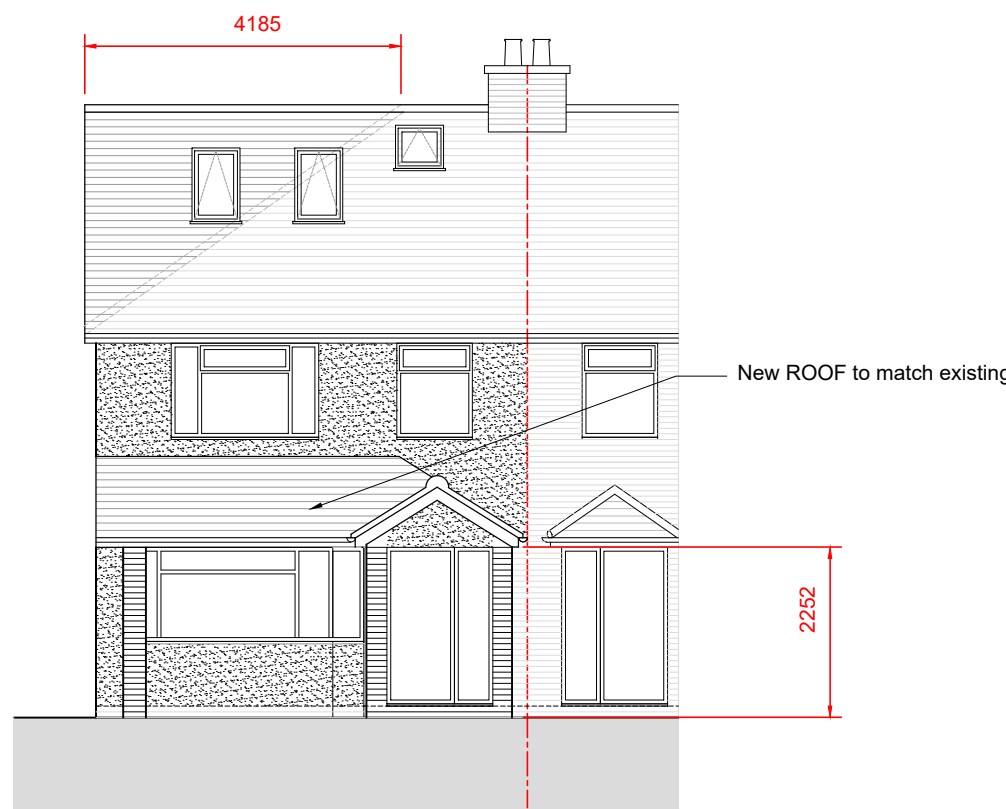
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Volume of dormer $V1 = W \times H \times L/6$
 $8 \times 2.7 \times 4.2/6 = 15.2 \text{ m}^3$

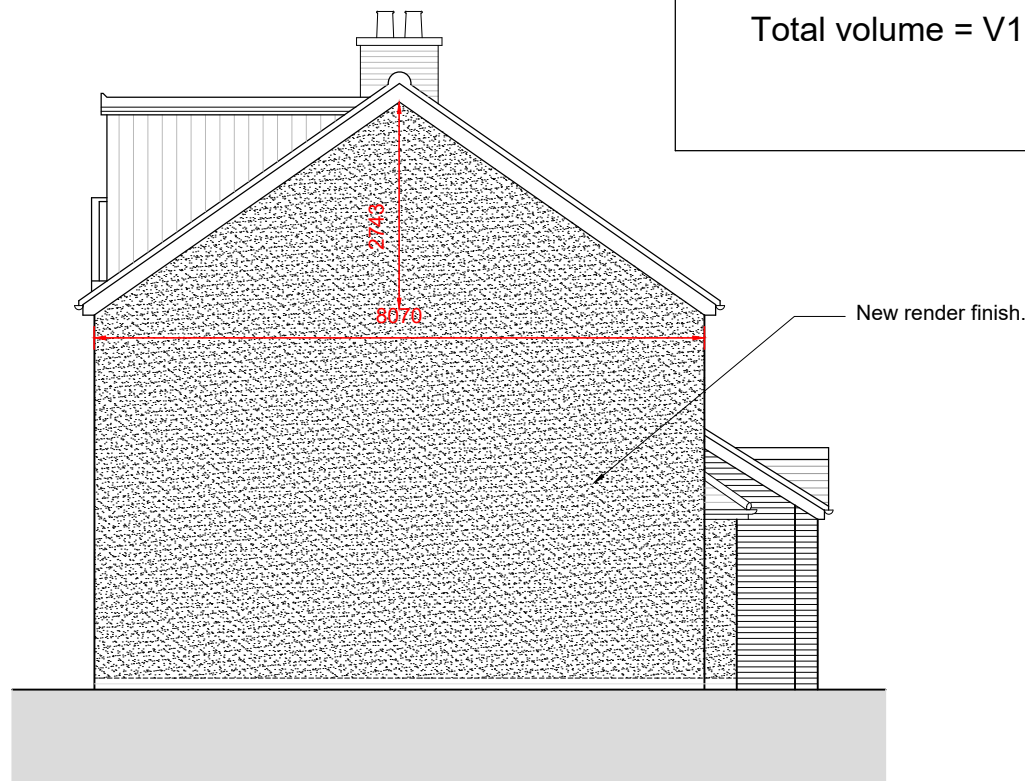
Volume of dormer $V1 = W \times H \times L/2$
 $4.9 \times 2.4 \times 3.4/2 = 19.9 \text{ m}^3$

Total volume = $V1 + V2 = 15.2 \text{ m}^3 + 19.9 \text{ m}^3 = 35.1 \text{ m}^3$



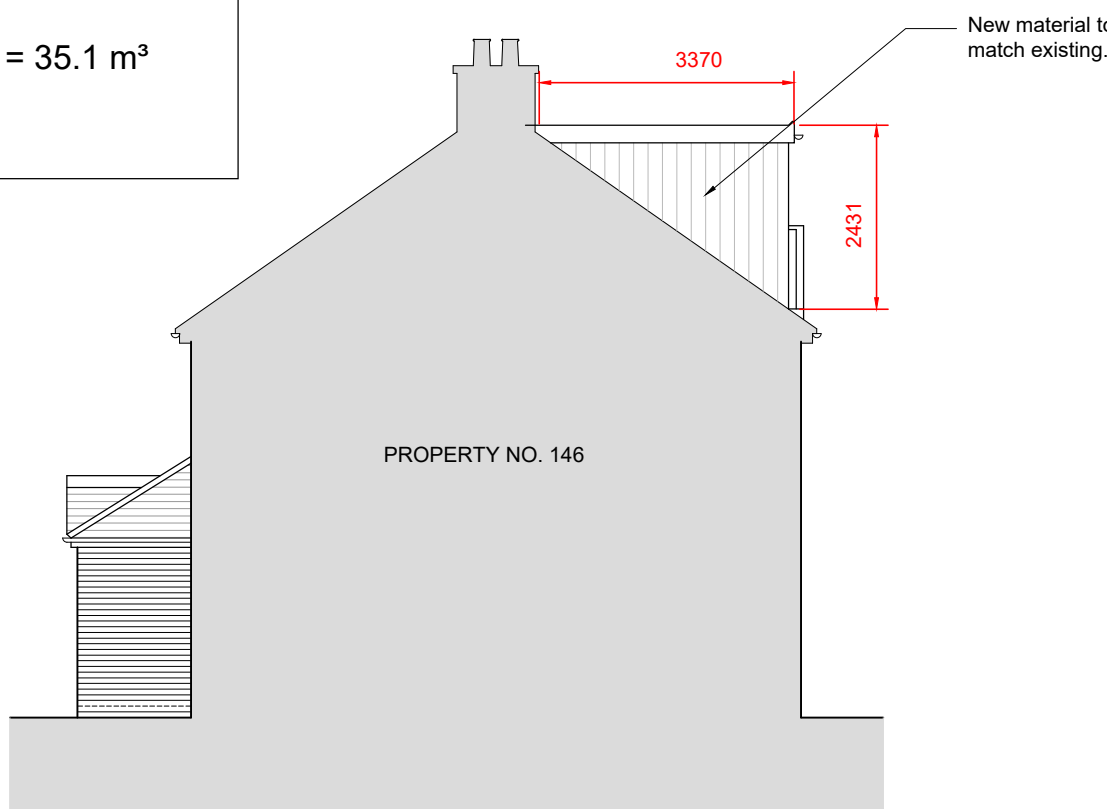
PROPOSED WEST ELEVATION

SCALE 1 : 100



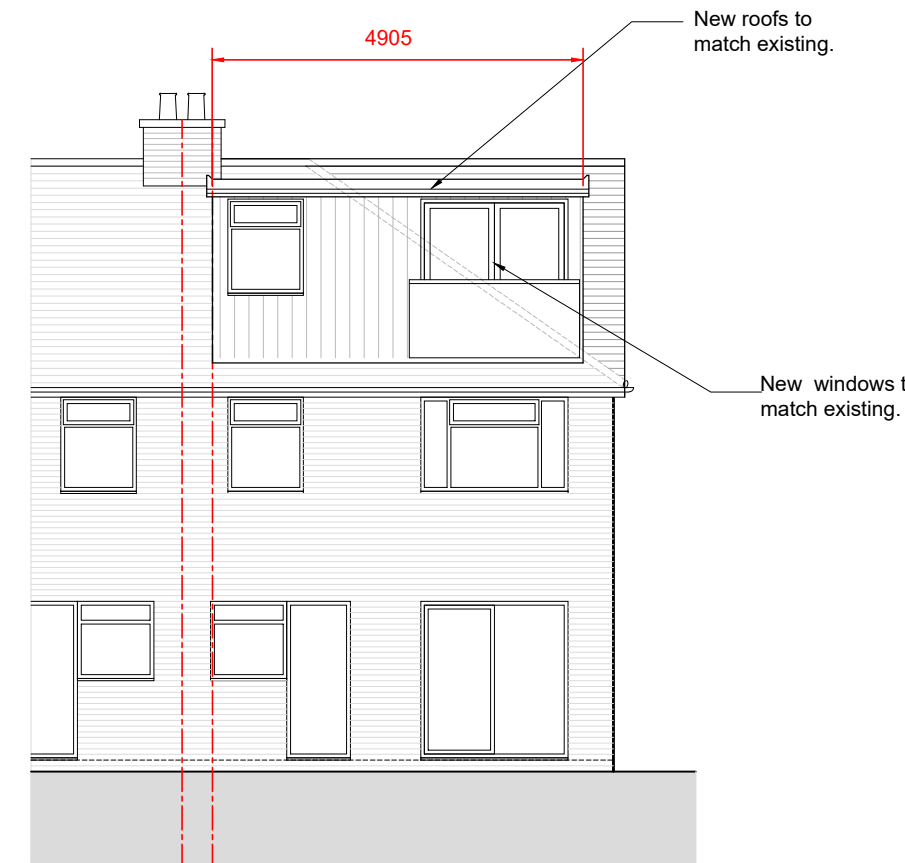
PROPOSED NORTH ELEVATION

SCALE 1 : 100



PROPOSED SOUTH ELEVATION

SCALE 1 : 100



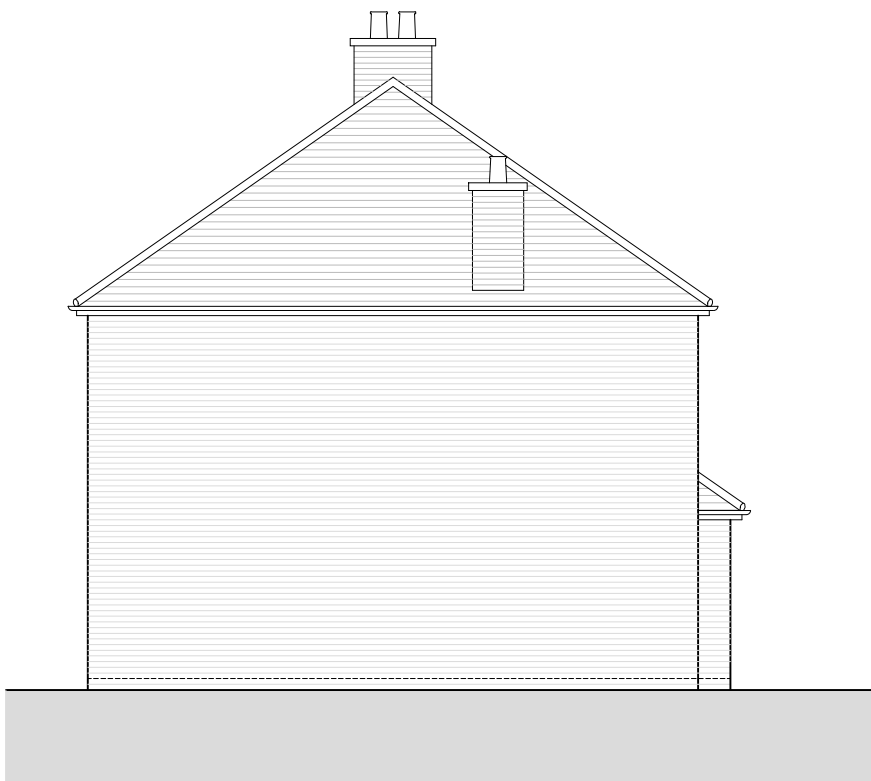
PROPOSED EAST ELEVATION

SCALE 1 : 100



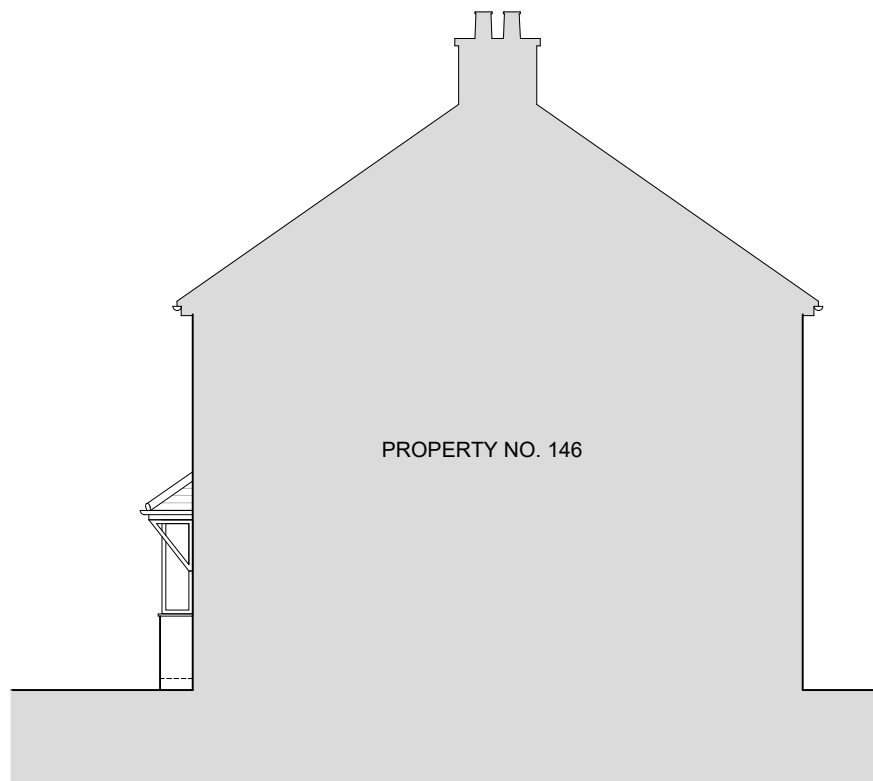
EXISTING WEST ELEVATION

SCALE 1 : 100



EXISTING NORTH ELEVATION

SCALE 1 : 100



EXISTING SOUTH ELEVATION

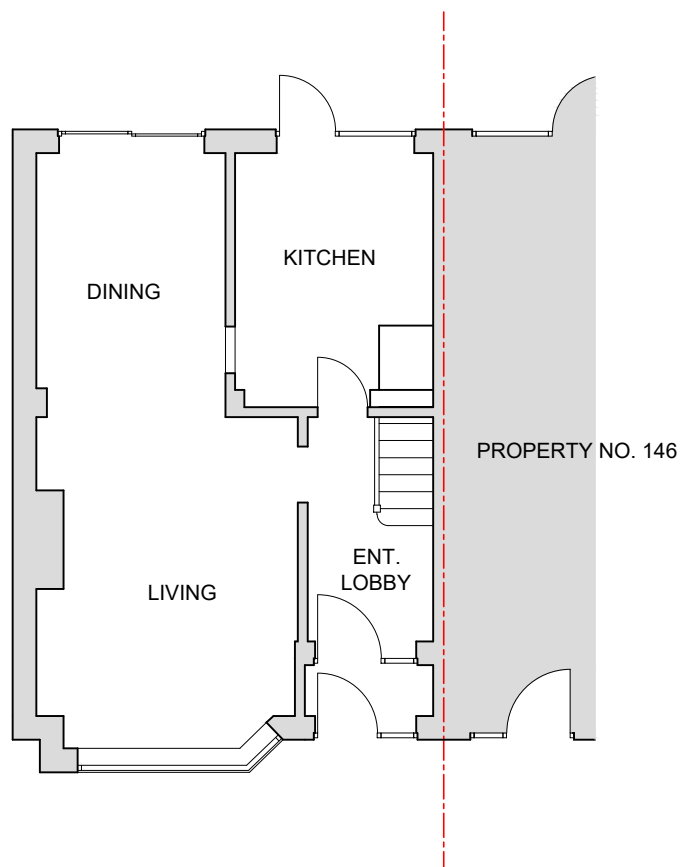
SCALE 1 : 100



EXISTING EAST ELEVATION

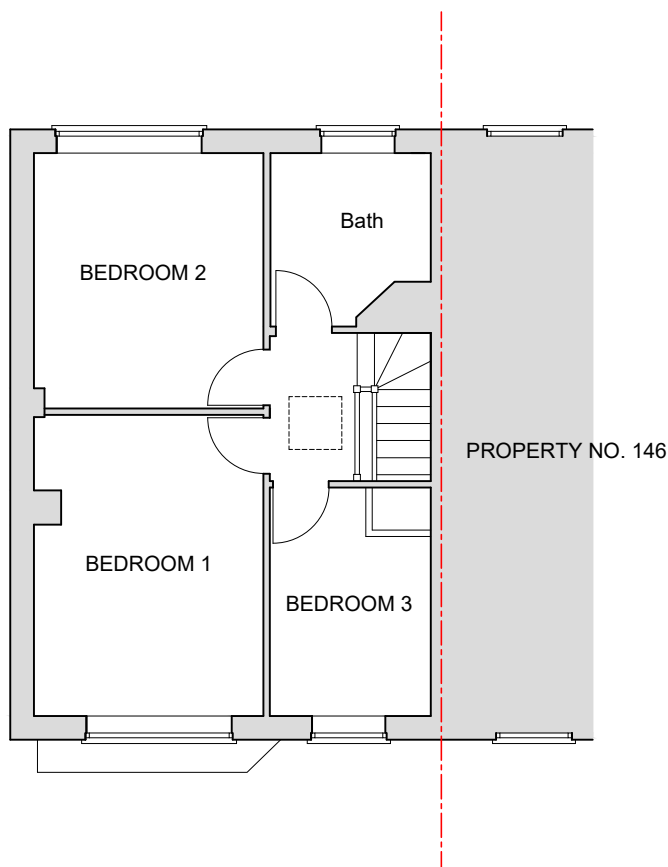
SCALE 1 : 100

Scheme is done based on Property no 150 Reference 25977/APP/2024/2538 150 GROSVENOR AVENUE HAYES Conversion of roof space to habitable use to include the construction of a rear dormer with Juliette balcony, installation of 2 front roof lights, and conversion of roof from hip to gable end with installation of gable end window (Application for a Certificate of Lawful Development for a Proposed Development)



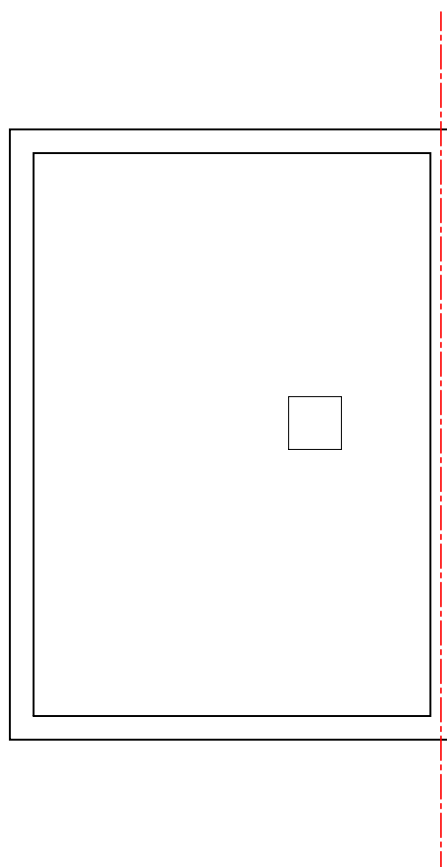
EXISTING GROUND FLOOR PLAN

SCALE 1 : 100



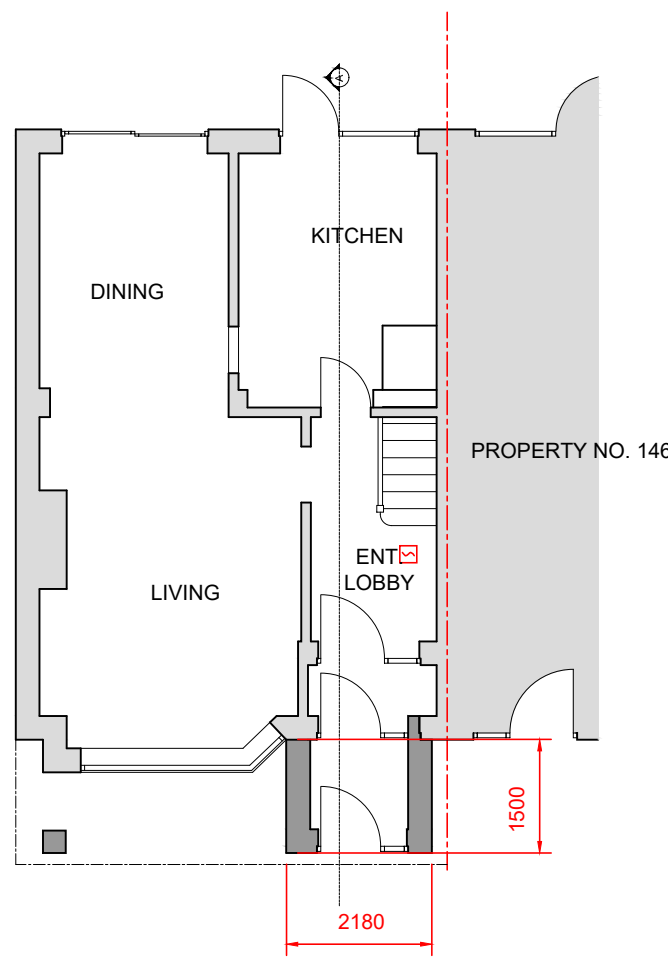
EXISTING FIRST FLOOR PLAN

SCALE 1 : 100



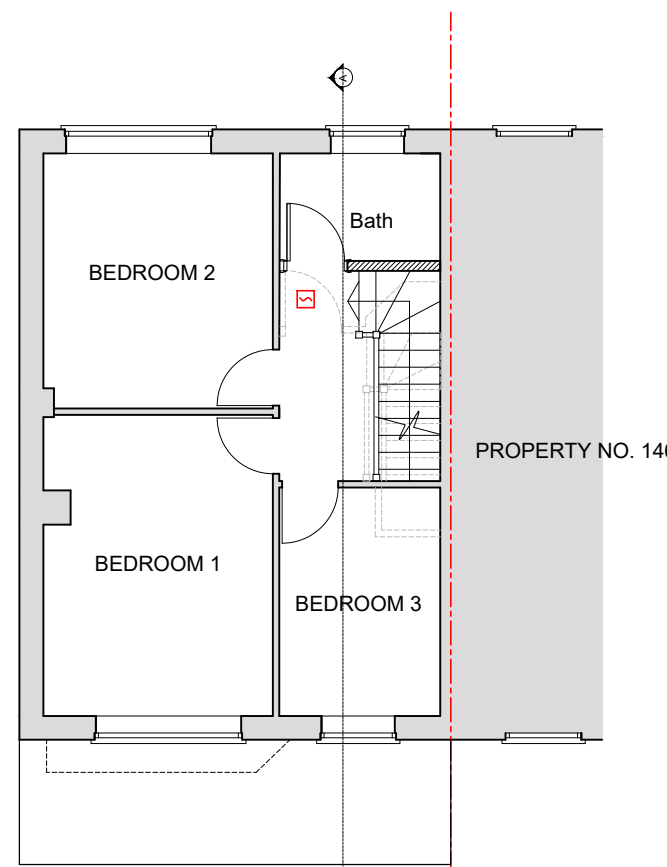
EXISTING LOFT PLAN

SCALE 1 : 100



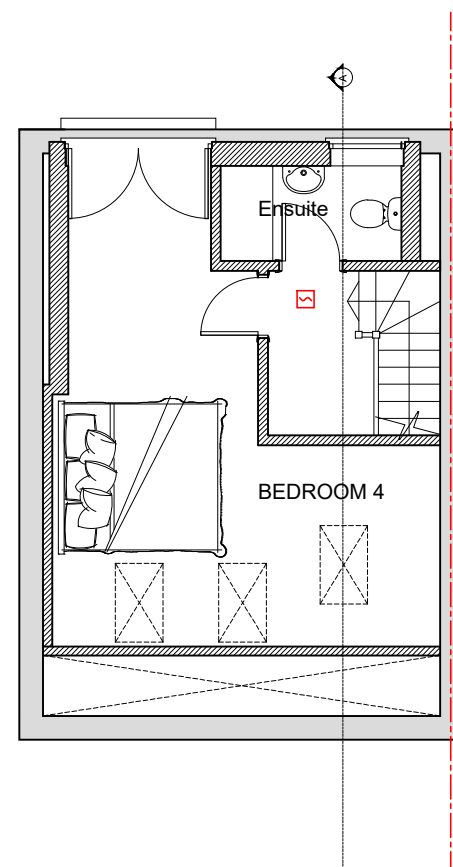
PROPOSED GROUND FLOOR PLAN

SCALE 1 : 100



PROPOSED FIRST FLOOR PLAN

SCALE 1 : 100



PROPOSED LOFT PLAN

SCALE 1 : 100

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Client:
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Project:
LOFT AND FRONT PORCH EXTENSION
AND A RENDER FINISH
Location:
148 Grosvenor Avenue, HAYES, Middlesex, UB4 8NP

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PLANS AND ELEVATIONS

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