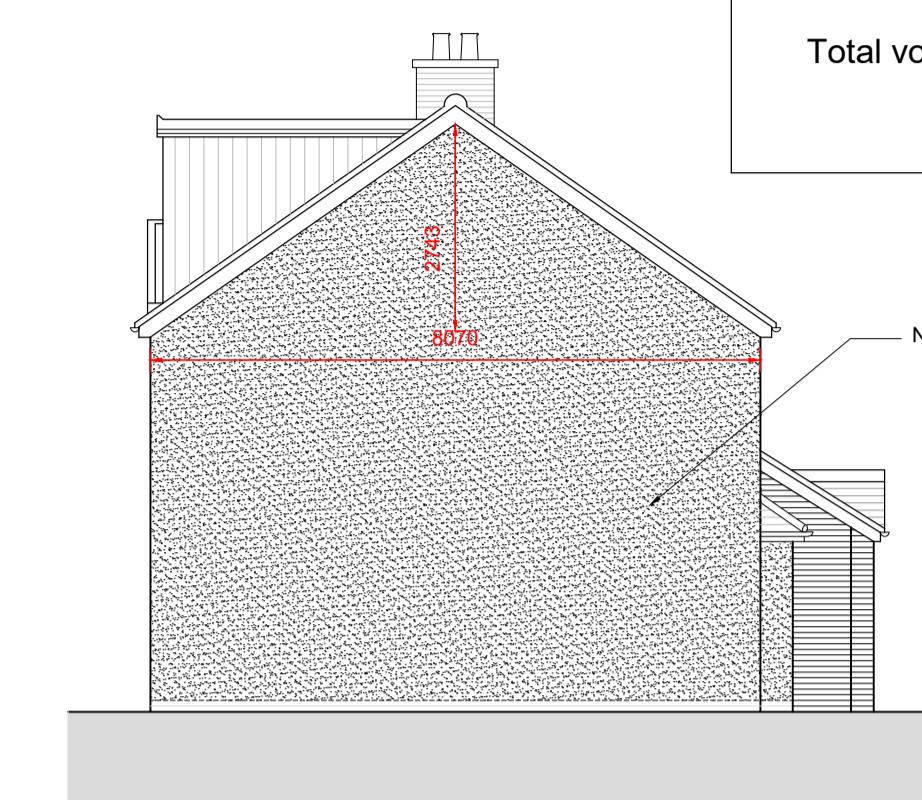


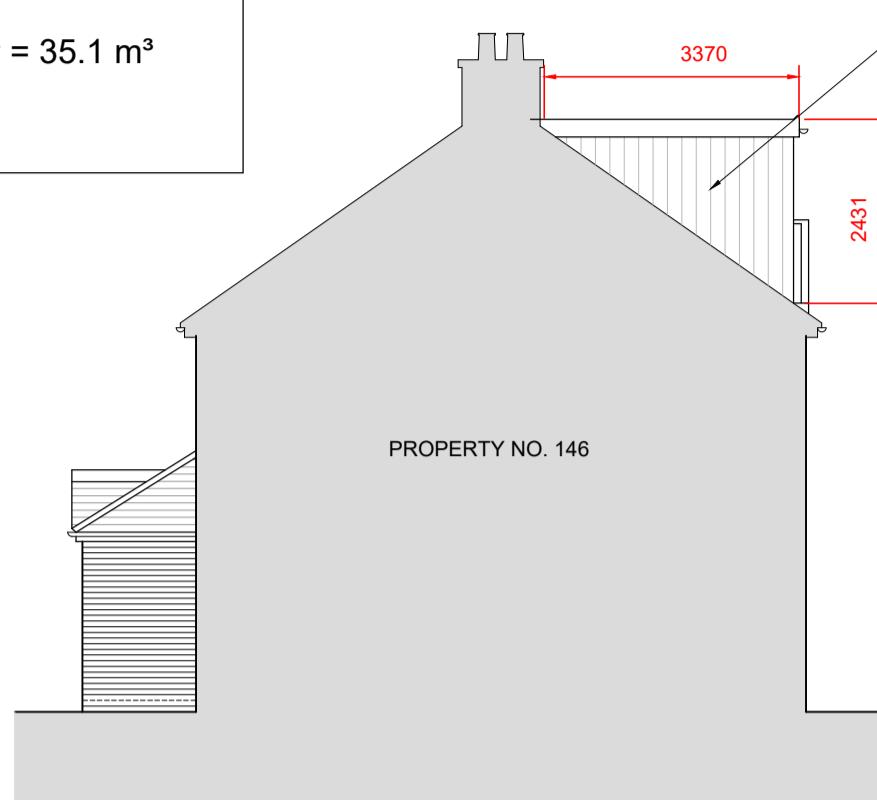
PROPOSED WEST ELEVATION

SCALE 1:100



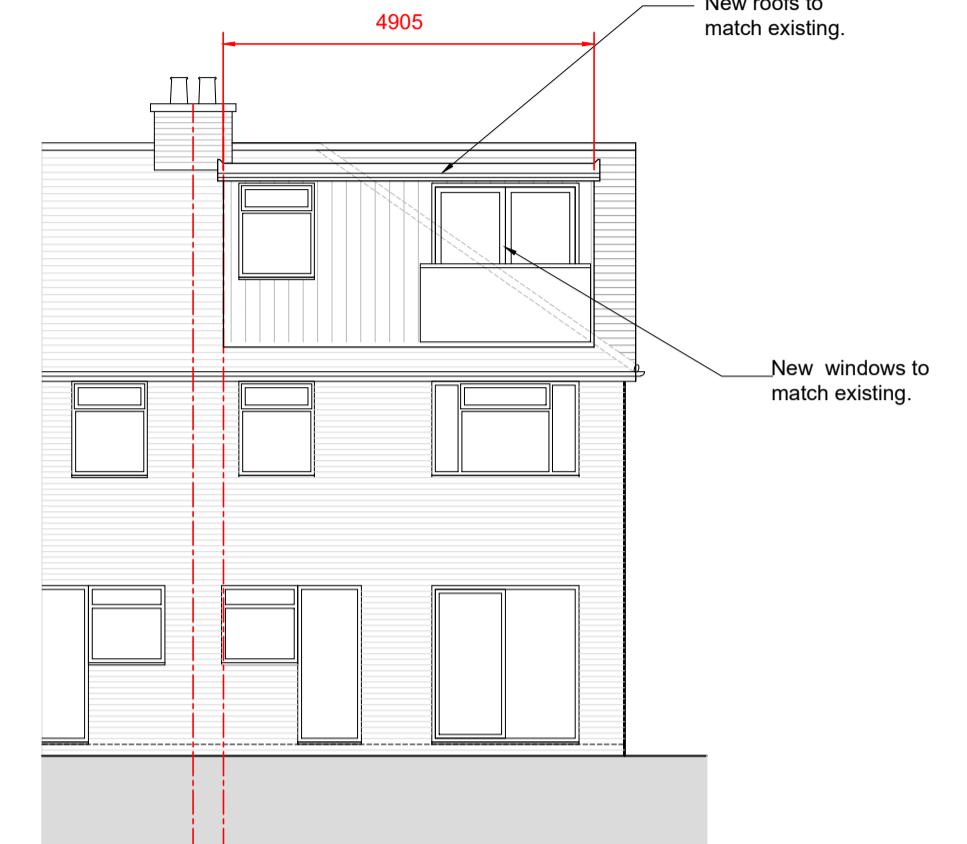
PROPOSED NORTH ELEVATION

SCALE 1:100



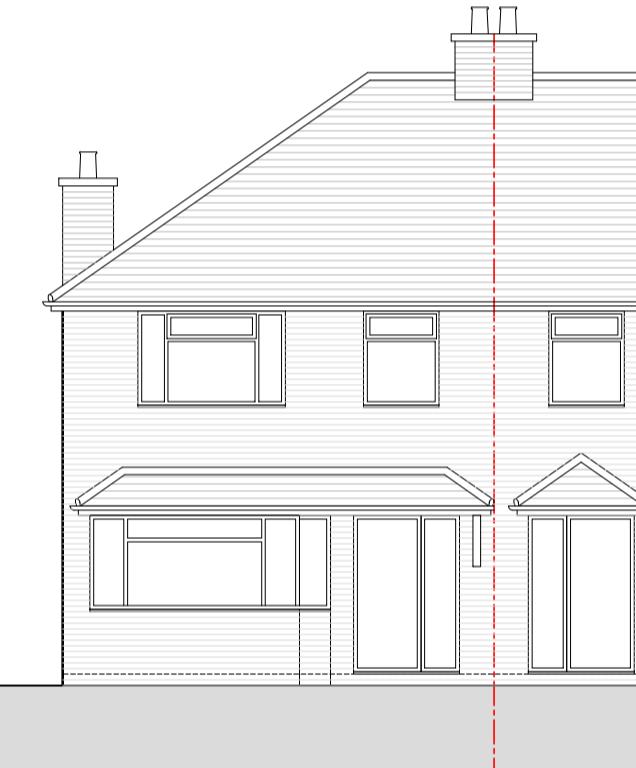
PROPOSED SOUTH ELEVATION

SCALE 1:100



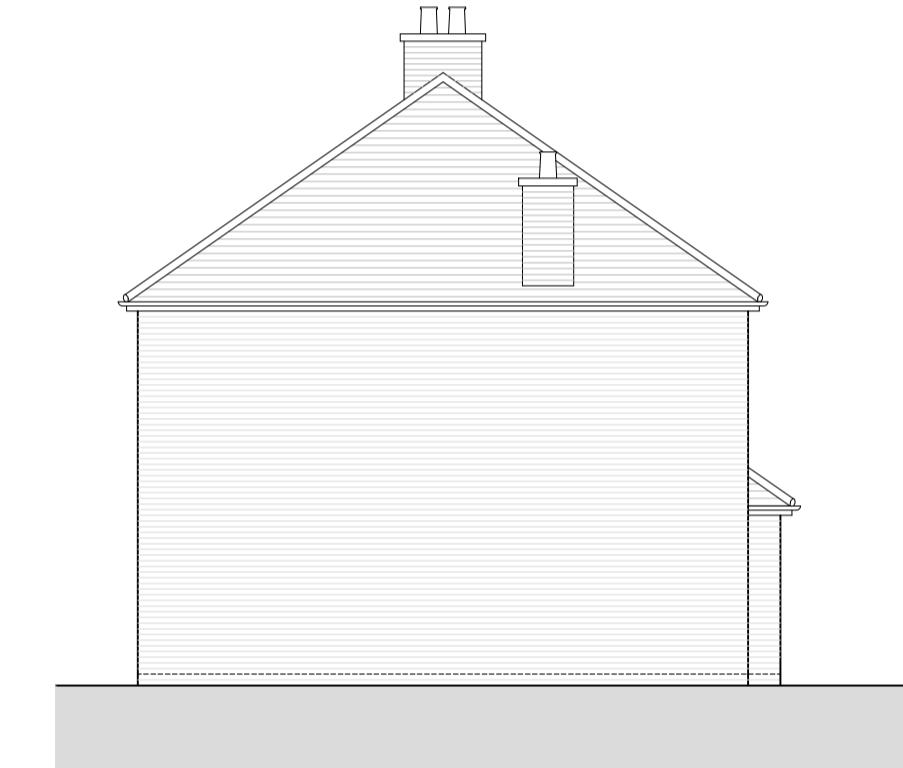
PROPOSED EAST ELEVATION

SCALE 1:100



EXISTING WEST ELEVATION

SCALE 1:100



EXISTING NORTH ELEVATION

SCALE 1:100



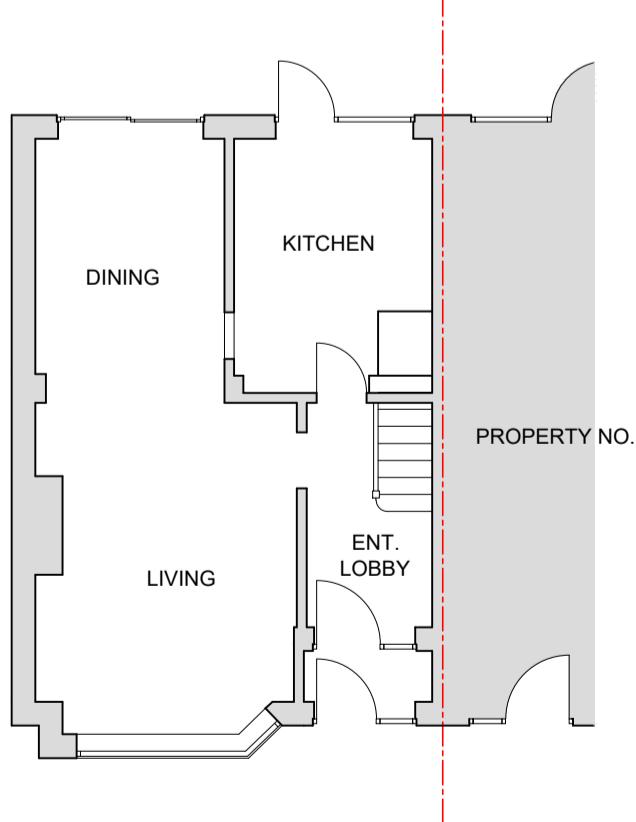
EXISTING SOUTH ELEVATION

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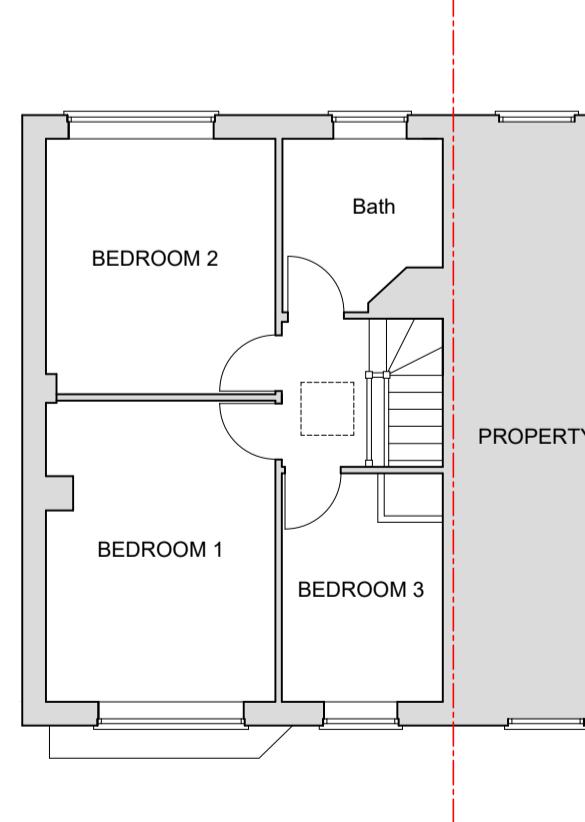
EXISTING EAST ELEVATION

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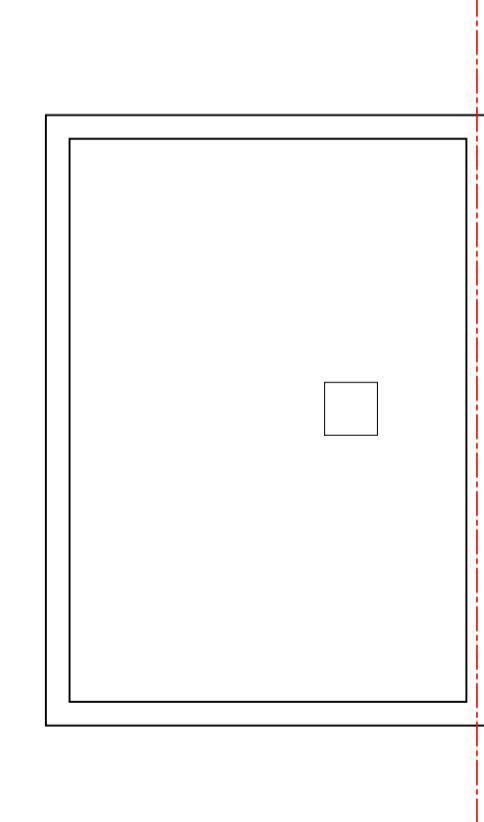
EXISTING GROUND FLOOR PLAN

SCALE 1:100



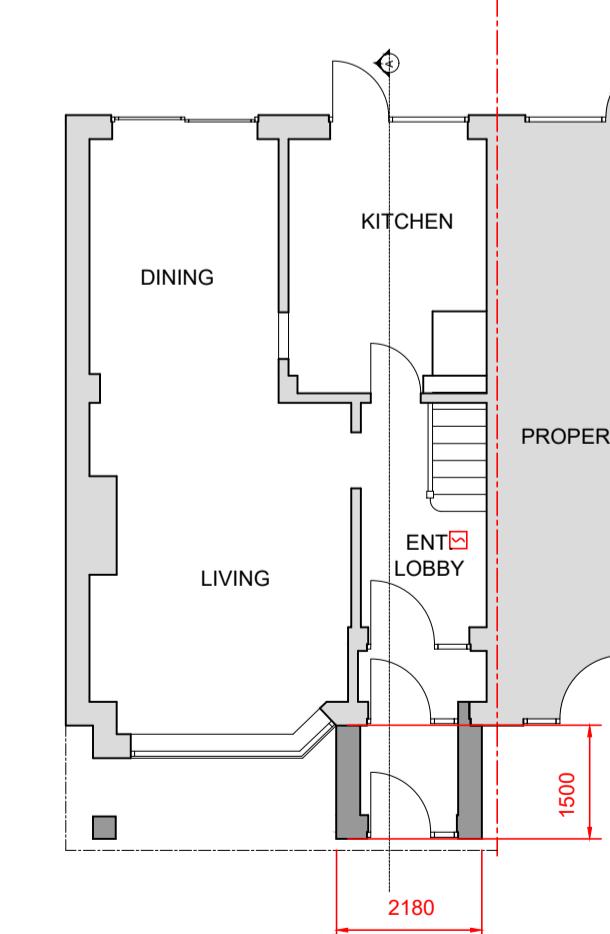
EXISTING FIRST FLOOR PLAN

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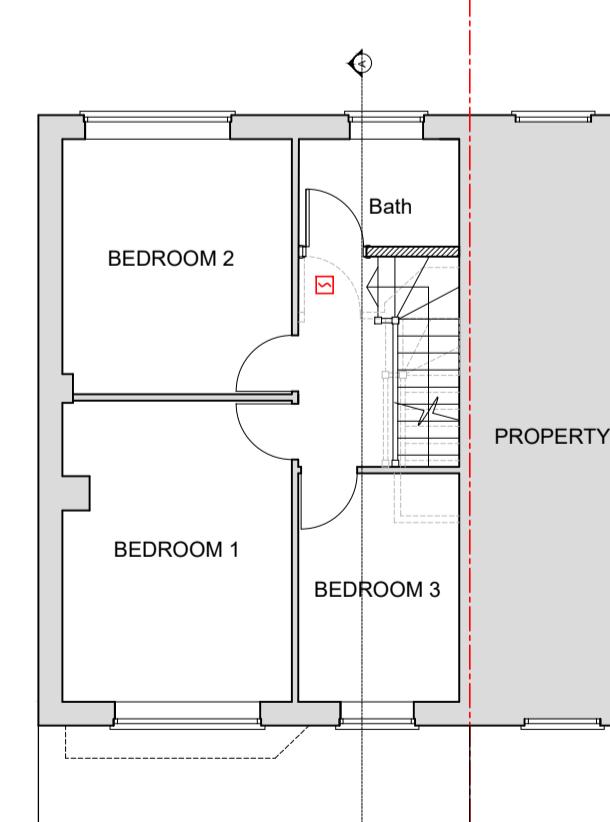
EXISTING LOFT PLAN

SCALE 1:100



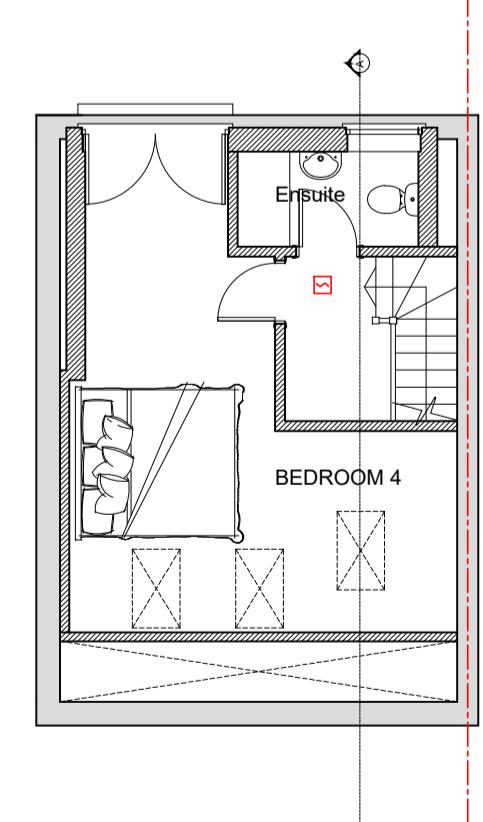
PROPOSED GROUND FLOOR PLAN

SCALE 1:100



PROPOSED FIRST FLOOR PLAN

SCALE 1:100



PROPOSED LOFT PLAN

SCALE 1:100

Volume of dormer $V1 = W \times H \times L/6$
 $8 \times 2.7 \times 4.2/6 = 15.2 \text{ m}^3$

Volume of dormer $V1 = W \times H \times L/2$
 $4.9 \times 2.4 \times 3.4/2 = 19.9 \text{ m}^3$

Total volume = $V1 + V2 = 15.2 \text{ m}^3 + 19.9 \text{ m}^3 = 35.1 \text{ m}^3$

New render finish.

New material to match existing.

SK Design Consultants
 22 Netley close
 Caversham
 Reading RG4 6SR
 Tel : 07821111602

Client:
 Mr SURJITH JOHAL

Project:
 LOFT AND FRONT PORCH EXTENSION
 AND A RENDER FINISH

Location:
 148 Grosvenor Avenue, HAYES, Middlesex, UB4 8NP

Drawing Title:
 PLANS AND ELEVATIONS

Date: JUN 2025 Sheet Size: A1 Drawn: SK

Drawing No: P1421 -02 Revision: A