

Fire Strategy

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To:

FIRE SAFETY STATEMENT

Site address : 148 Grosvenor Avenue, HAYES, Middlesex, UB4 8NP

INTRODUCTION

This statement covers relevant fire safety matters relating to the proposed loft conversion and internal at 148 Grosvenor Avenue, HAYES, Middlesex, UB4 8NP

This statement is a stand alone document but it would be helpful if it is read in conjunction with the accompanying drawings and documents submitted as part of the householder planning application. This statement has been prepared on behalf of the applicants by the agent Shashikanth Hallibyl of SK Design consultant .

This statement sets out how the proposed scheme will comply with London Plan Policy D12A. In line with the Fire Safety Policy 12D(A) Pre-consultation Draft March 2021 Table A1.1 Planning Applications and Information Requirements for D12 (A) this statement will cover criteria 1, 2, 3, 4, 5 & 6 for a householder planning application. Please note that this document has been supplied for information only and does not in itself constitute a proposal to comply with the building regulations.

The proposed work must be carried out in accordance with the building regulations and agreed with the relevant authorities.

EXISTING

The existing property is a 3 bedroom End terrace property



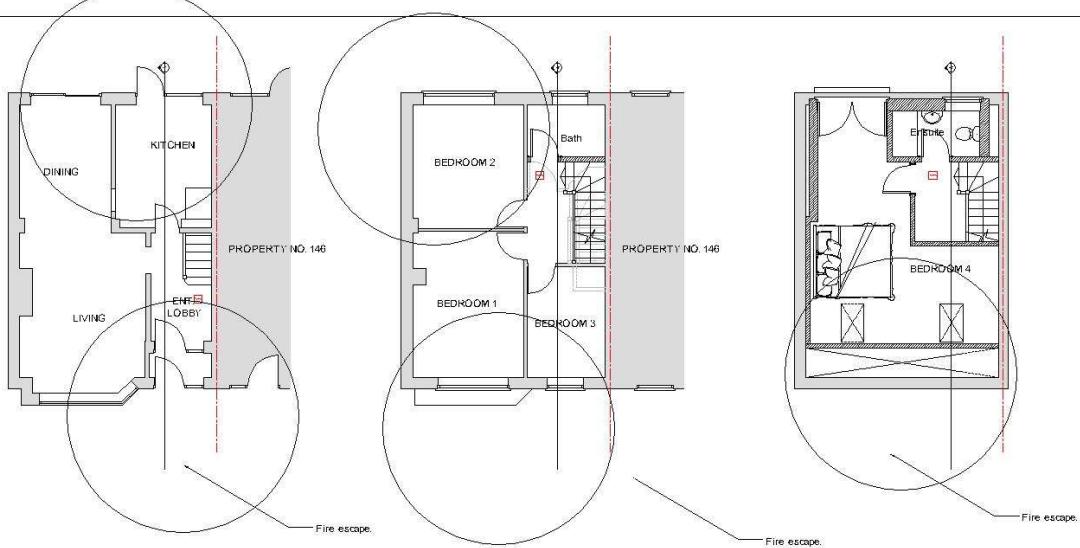
PROPOSED :

The proposal includes a conversion of this building into 4 bedroom house
The proposal will not alter or obstruct the existing means of escape from the property .



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on Property no 150 Reference 25977/APP/2024/2538 150 GROSVENOR AVENUE HAYES Conversion of roof space to habitable use to include the construction of a rear dormer with juliette balcony, installation of 2 front roof lights, from hip to gable end with installation of gable end window (Application for a Certificate of Lawful Development for a Proposed Development)



PROPOSED GROUND FLOOR PLAN

SCALE 1: 100

PROPOSED FIRST FLOOR PLAN

SCALE 1: 100

PROPOSED LOFT PLAN

SCALE 1: 100

CRITERIA 1:

Information on space provisions for fire appliances and assembly points. The existing building has a front yard and has off-street parking. Fire appliances will need to be positioned on 148 Grosvenor Avenue as per the current situation. There is no suitable evacuation assembly point on the site so occupants will evacuate onto Grosvenor Avenue and move to a safe distance as per the current situation.

CRITERIA 2:

Information on passive and active safety measures. Passive safety measures will include a new 30min fire door to protect the bedrooms in case if they propos any loft conversion. Active systems will include a Grade D2 Category LD3 standard fire alarm with smoke detection, the system will be designed and installed in accordance with the relevant recommendations of BS 5839-6. As per Part B Volume 1 2010 2019 edition incorporating 2020 amendments – for use in England.

CRITERIA 3:

Information on appropriate ways to minimise the risk of fire spread. All proposed external walls are to be constructed to achieve a minimum 60 mins fire rating and external walls are to be finished to comply with Class B-s3, d2(2) to prevent surface spread of fire. The proposed roofs will be specified to achieve BROOF(t4). Materials and construction will be designed to comply with Part B Volume 1 2010 2019 edition incorporating 2020 amendments – for use in England.

CRITERIA 4:

Information on means of escape and evacuation strategy. Means of escape will be as per the current situation

A family home it is a reasonable expectation for occupants to make provisions to assist less able members of the household to escape as they will be familiar with the property and its layout.

CRITERIA 5:

Develop a robust strategy for evacuation which can be periodically updated and published, and which all building users can have confidence in. In line with the Fire Safety Policy 12D(A) Pre-consultation Draft March 2021 Table A1.1 Planning Applications and Information Requirements for D12 (A) criteria 5 is not applicable for householder planning application.

CRITERIA 6:

Information on access and equipment for firefighting. In accordance with Section B5 of Approved Document B (ADB) Part 1 there is existing access from 148 Grosvenor Avenue from this access point a pump appliance is within 45m of all points inside the dwellinghouse.

CONCLUSION :

The proposal is a modest conversion with a total area of 23 m² it will not alter or obstruct the existing means of escape from the property or access to the property from 148 Grosvenor Avenue or rear footpath. It will be designed and constructed to comply with the building regulations. We believe that this statement sufficiently explains how fire safety has been considered in the proposal and that it complies with Fire Safety Policy 12D(A).