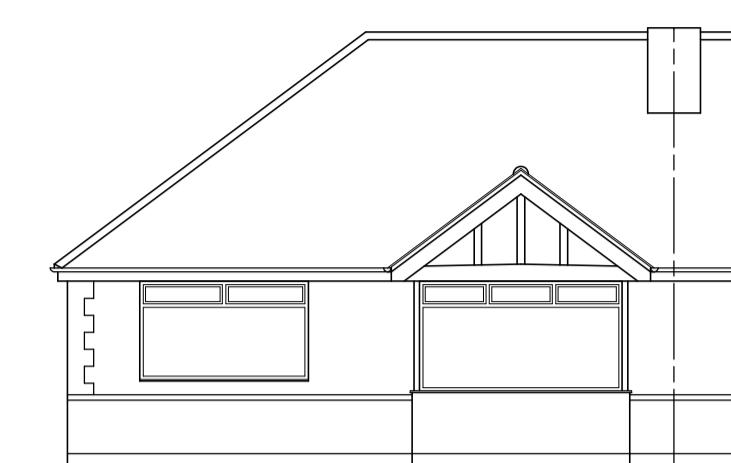


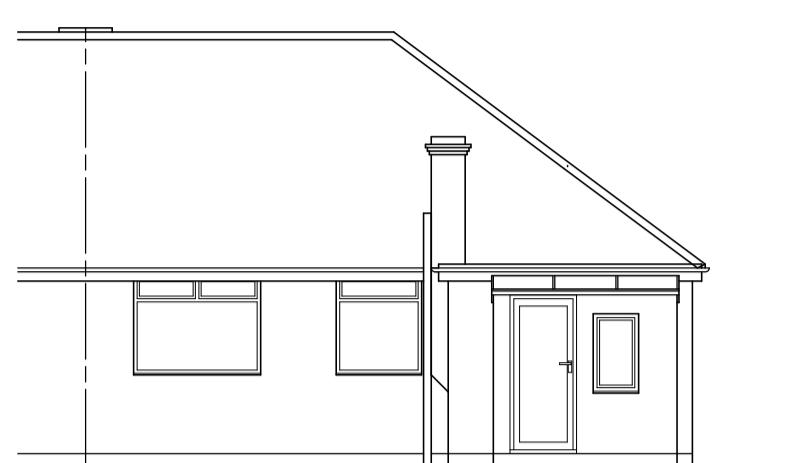
1. Drawing are for Local Authority approval only.
2. Builder to check all dimensions on site.
3. Builder to measure all new steelwork, joists/rafters and dimensions on site. Where old materials.
4. No responsibility is taken for checking legal ownership of site, covenants thereon and position of boundaries.
5. Appropriate party wall notice must be served in advance to, and any negotiation settlements prior to commencement of work in accordance with the 'Party Wall Act 1996' (ARRANGED BY CONTRACTOR OWNER).
6. All electrics to comply to IEE regulations.
7. All workmanship and materials to comply with the relevant British Standard Code of Practice, BBA certificate and manufacturers instructions.
8. Builder to investigate on site condition of existing party wall to provide adequate end bearing for new steelwork. Building inspector to approve end site.
9. Builder to investigate on site prior to commencement of any work exact run and location of existing foul drains to ensure that appropriate bridging of main drain branch is achievable if building close to or over existing main sewer. Alternatively owner to arrange for cctv survey to be carried out by professional camera engineers.



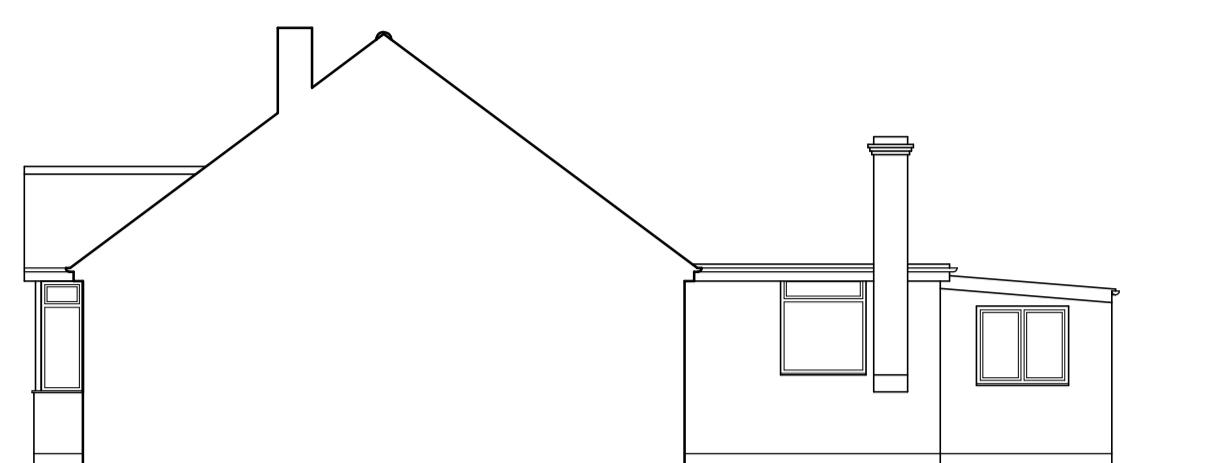
Front elevation



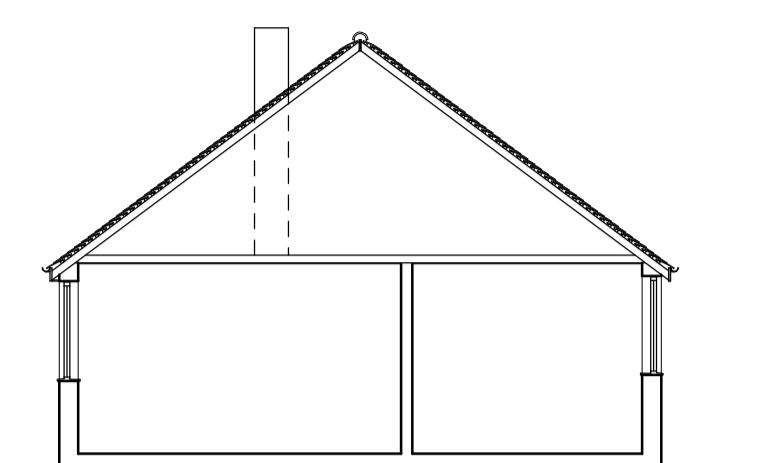
Side elevation



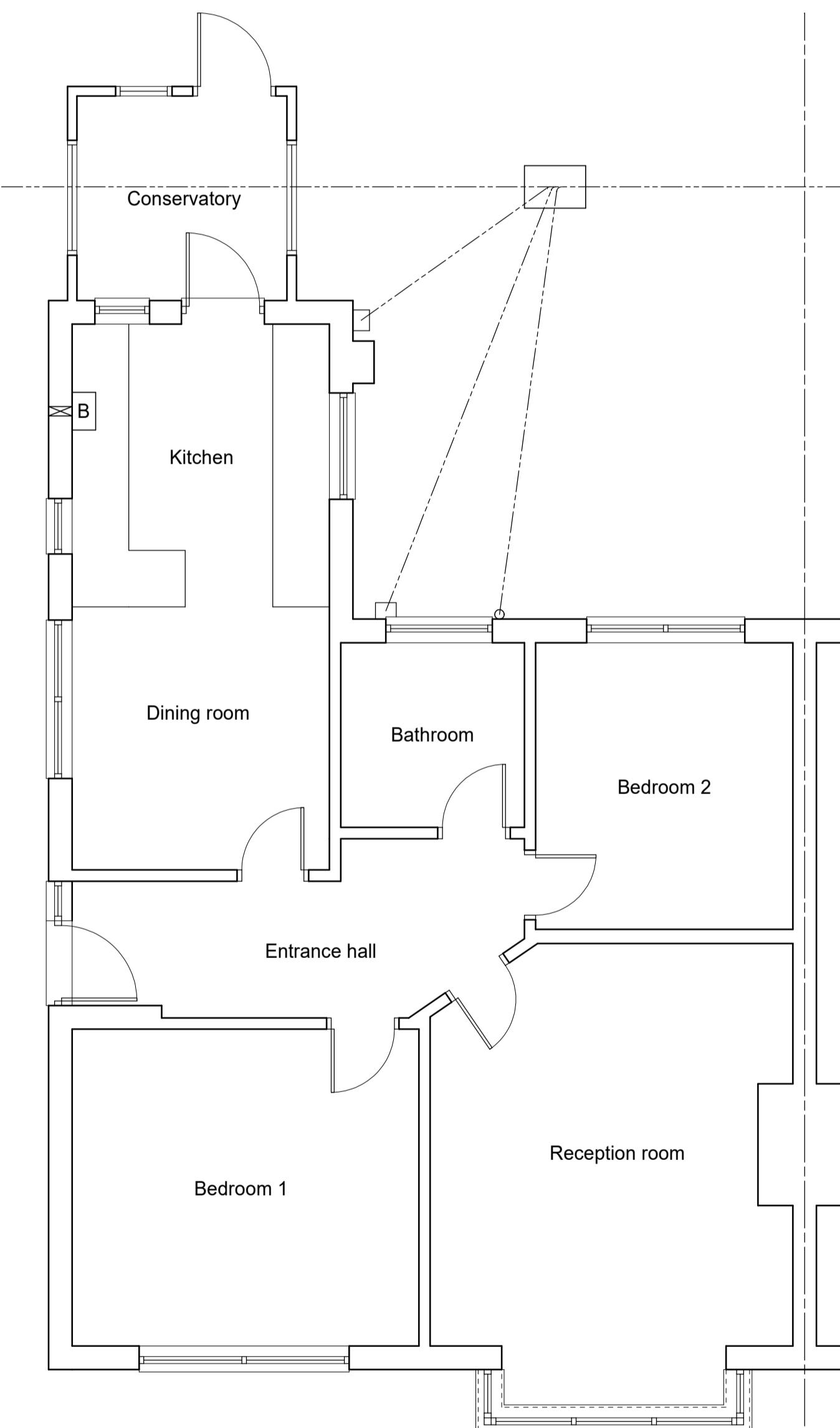
Rear elevation



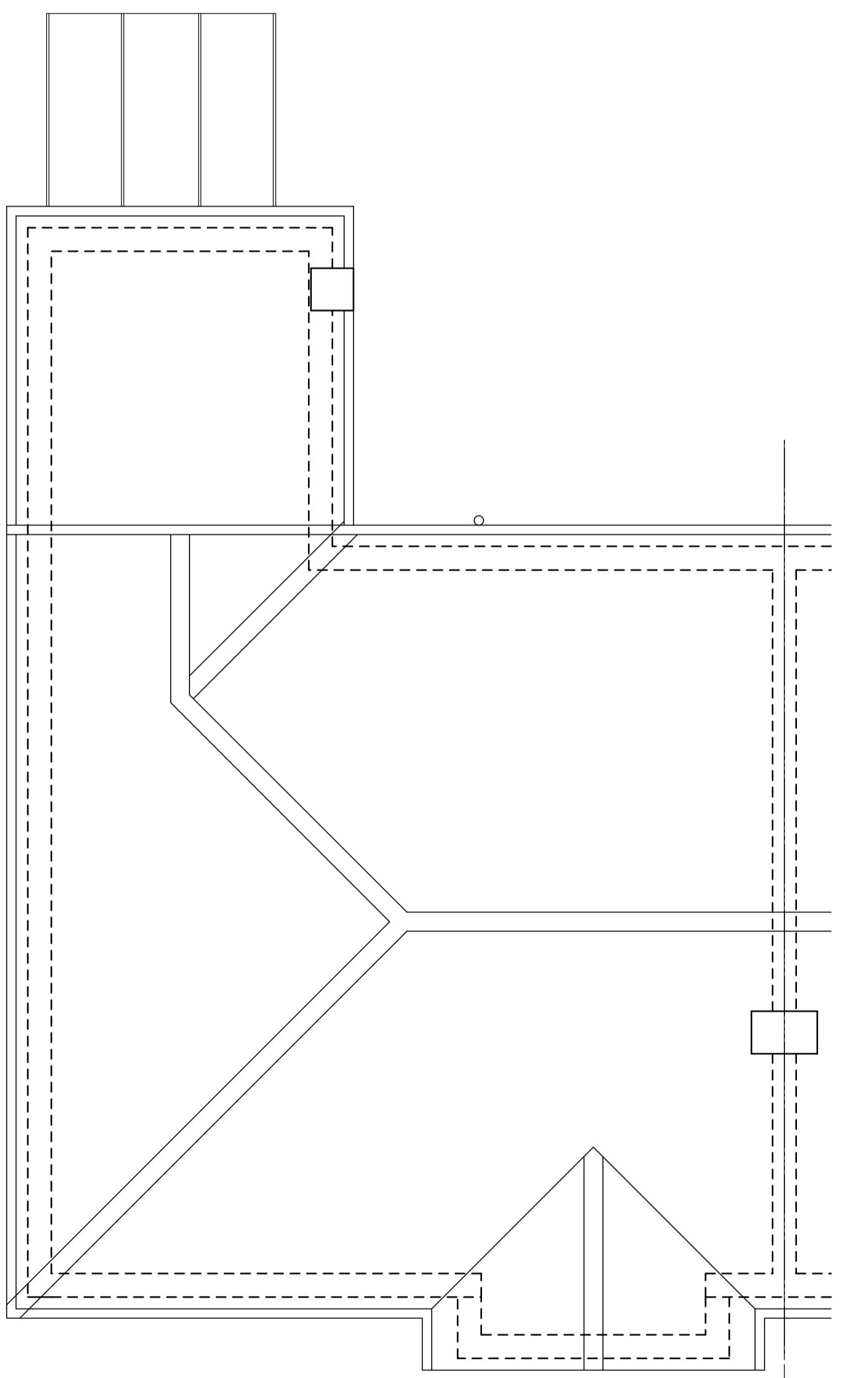
Side elevation



Existing cross section



Ground floor plan



Roof plan

A -
 Date _____
 Revisions _____
 ©copyright

LPR DES/GN

info@lprdesign.co.uk
 01883 627 634
 www.lpr-design.co.uk
 Client
 *

Job Title
 145 Herlwyn Avenue, Ruislip

Drawing Title
 Existing floor plans and elevations

Scale
 1:50 floor plans 1:100 elevations @A1

Date
 April 2025
 Drawn by
 S. Richardson

0	1	2	3	4	5	6	7	8	9	10	1:100
0	1	2	3	4	5	6	7	8	9	10	1:50
SCALE BAR:											
0 1 2 3 4 5											

Drg No. 4950/EXG	Rev. -
---------------------	-----------