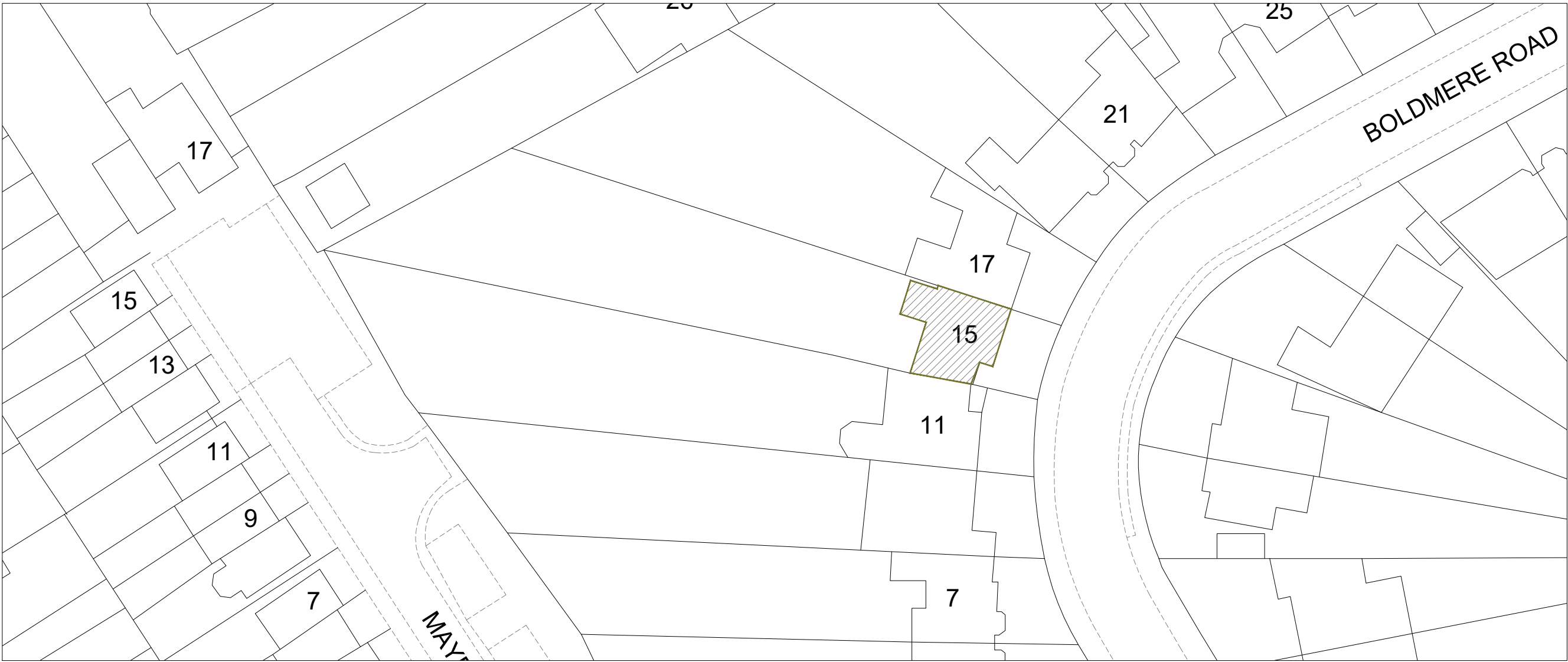
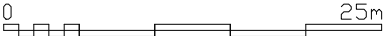


LOCATION PLAN
Scale: 1/1250

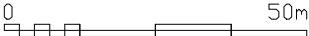


BUILDING BOUNDARY
Scale: 1/500

SCALE: 1:500

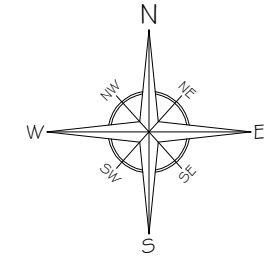


SCALE: 1:1250



GENERAL NOTES:

- KEY:
- BUILDING - (15 BOLDMERE ROAD)
 - SITE BOUNDARY
 - BUILDING BOUNDARY



A	Issue For Approval	03/25
No	Revision / Issue	Date

Site :
15 Boldmere Road
Pinner
HA5 1PJ

Project Title :
Planning Application for a Rear
Loft Dormer Extension & Internal
Re-Configuration Under
Certificate of Lawfulness Planning
Application

Client :
Mr. Hinesh Pindoria
15 Boldmere Road
Pinner
HA5 1PJ

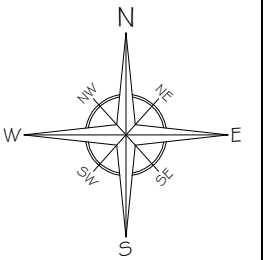
Do not alter or amend the scale from this drawing. The information may be suitable for discussion purposes and for obtaining Planning Approval Only. This drawing is NOT for construction purposes and should not be relied upon for any other works. This drawing should not be copied or altered in any way except by way of written permission from the designers. Discrepancies may occur from onsite dimensions to this drawing issued. ABP Architectural Services Ltd will not be held liable for any discrepancies raised from this drawing and onsite dimensions.

Project Ref No : ABP-BRP15-01	Sheet No : P-0
Date : March 2025	Drawn By : ABP
Scale : VARIES @ A-3	

GENERAL NOTES:

KEY:

— SITE BOUNDARY



A	Issue For Approval	03/25
No	Revision / Issue	Date

Site :

15 Boldmere Road
Pinner
HA5 1PJ

Project Title :

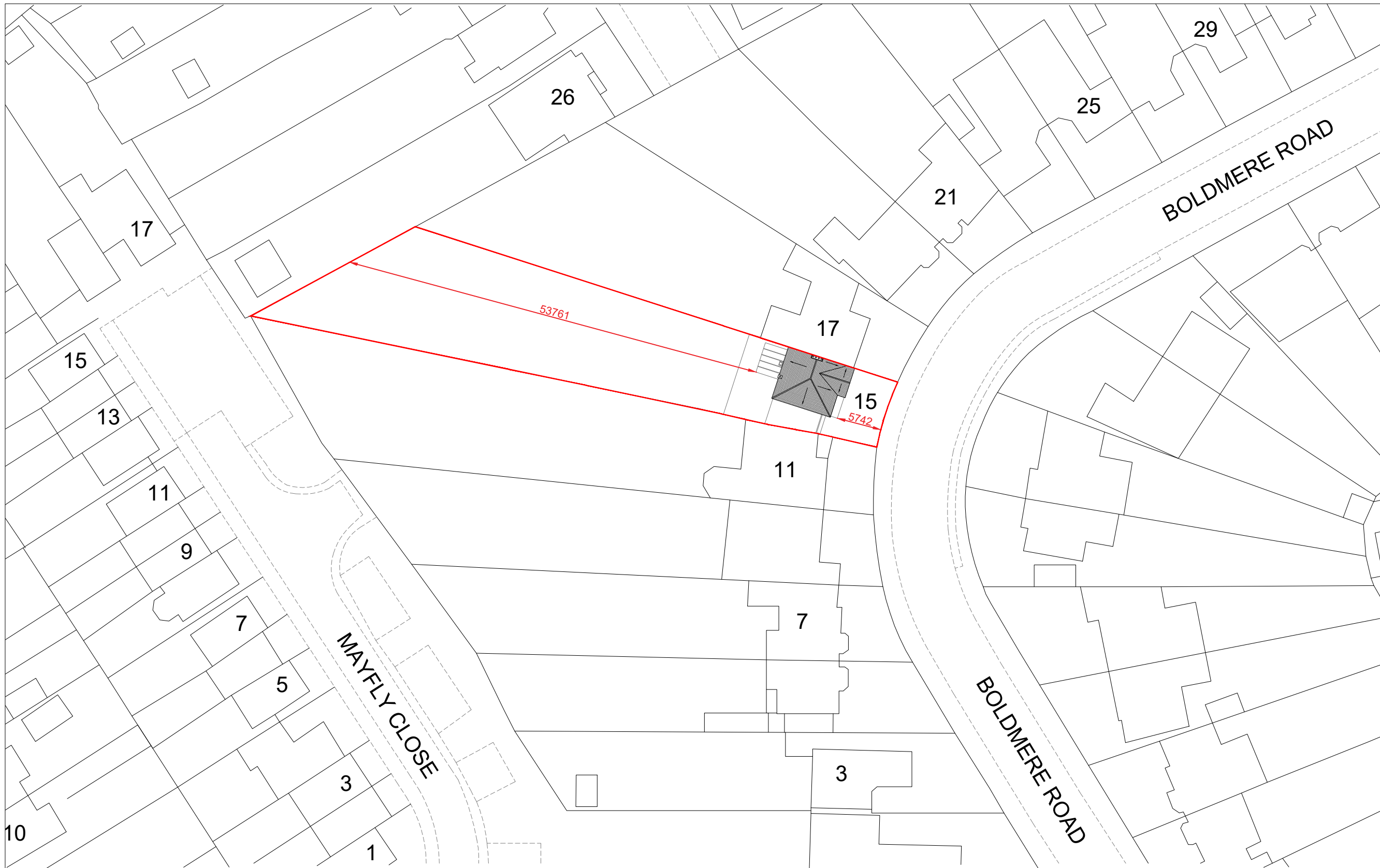
Planning Application for a Rear
Loft Dormer Extension & Internal
Re-Configuration Under
Certificate of Lawfulness Planning
Application

Client :

Mr. Hinesh Pindoria
15 Boldmere Road
Pinner
HA5 1PJ

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Project Ref No : ABP-BRP15-01	Sheet No : P-O-1
Date : March 2025	Drawn By : ABP
Scale : 1:500 @ A-3	

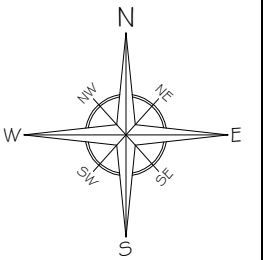


EXISTING BLOCK PLAN
Scale: 1/500

GENERAL NOTES:

KEY:

— SITE BOUNDARY



A	Issue For Approval	03/25
No	Revision / Issue	Date

Site :

15 Boldmere Road
Pinner
HA5 1PJ

Project Title :

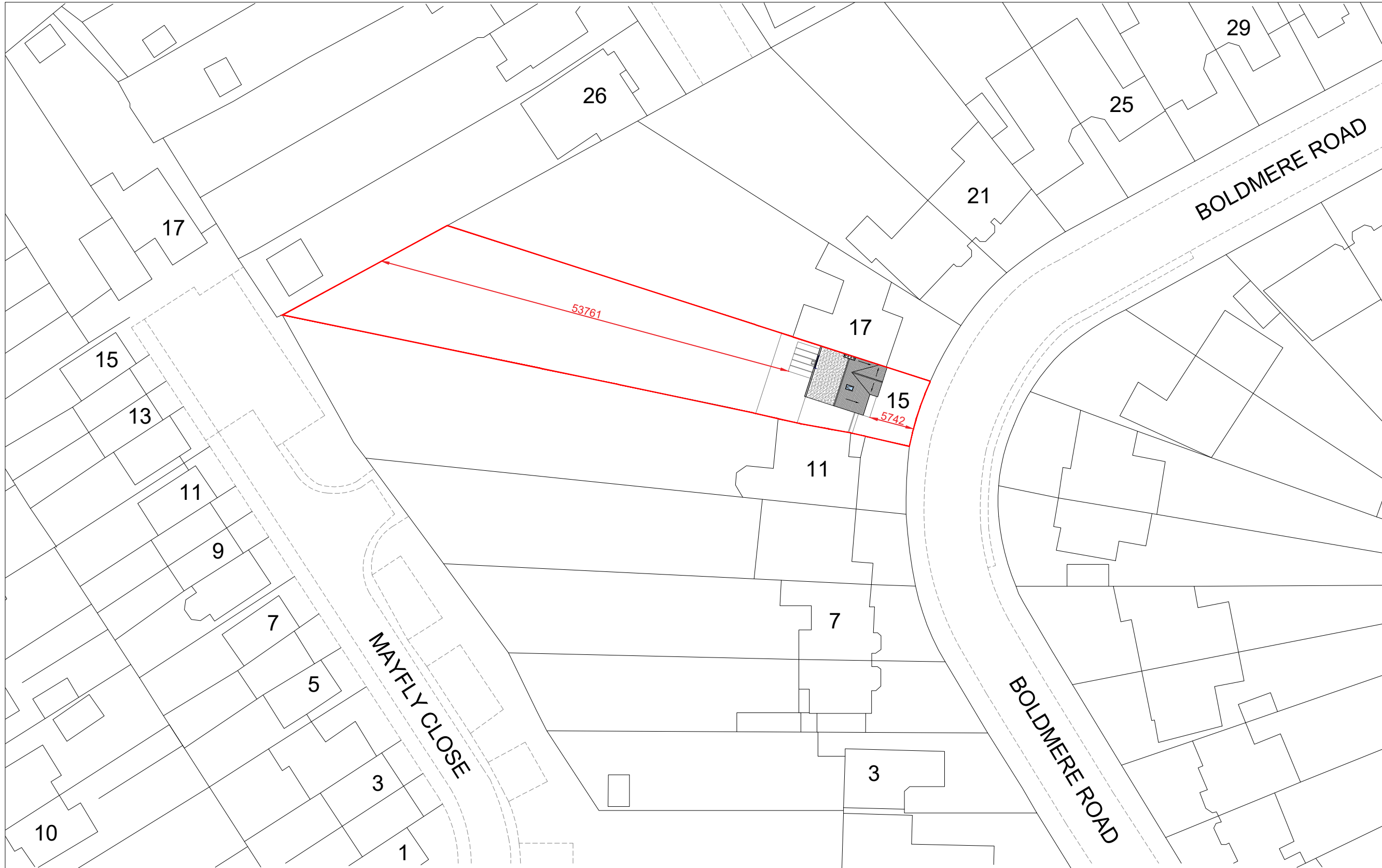
Planning Application for a Rear
Loft Dormer Extension & Internal
Re-Configuration Under
Certificate of Lawfulness Planning
Application

Client :

Mr. Himesh Pindoria
15 Boldmere Road
Pinner
HA5 1PJ

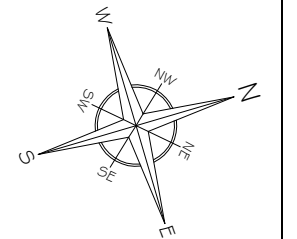
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Project Ref No : ABP-BRP15-01	Sheet No : P-O-2
Date : March 2025	Drawn By : ABP
Scale : 1:500 @ A-3	



SCALE: 1:500 0 25m

PROPOSED BLOCK PLAN
Scale: 1/500



A	Issue For Approval	03/25
No	Revision / Issue	Date

Site :

15 Boldmere Road
Pinner
HA5 1PJ

Project Title :

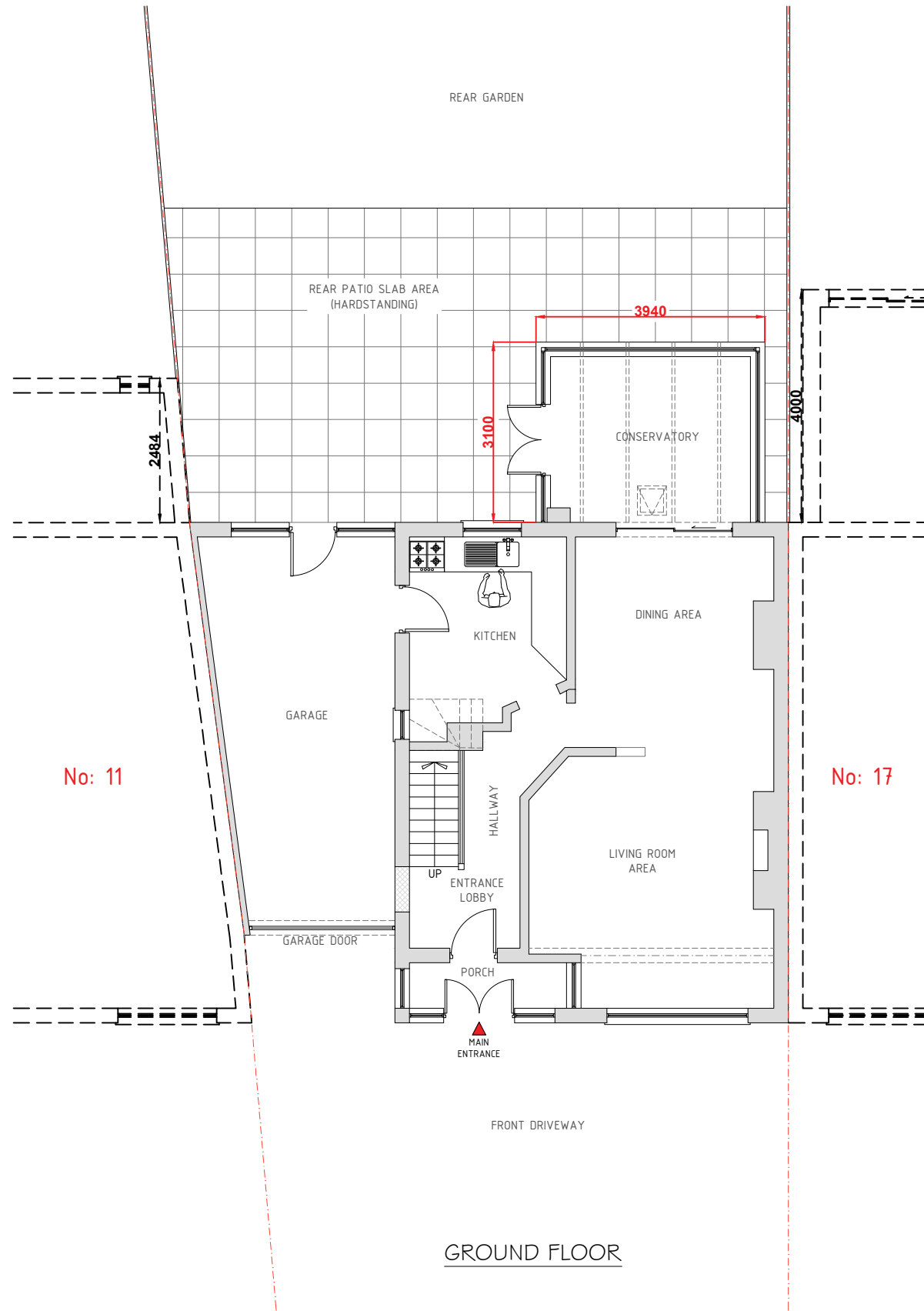
Planning Application for a Rear
Loft Dormer Extension & Internal
Re-Configuration Under
Certificate of Lawfulness Planning
Application

Client :

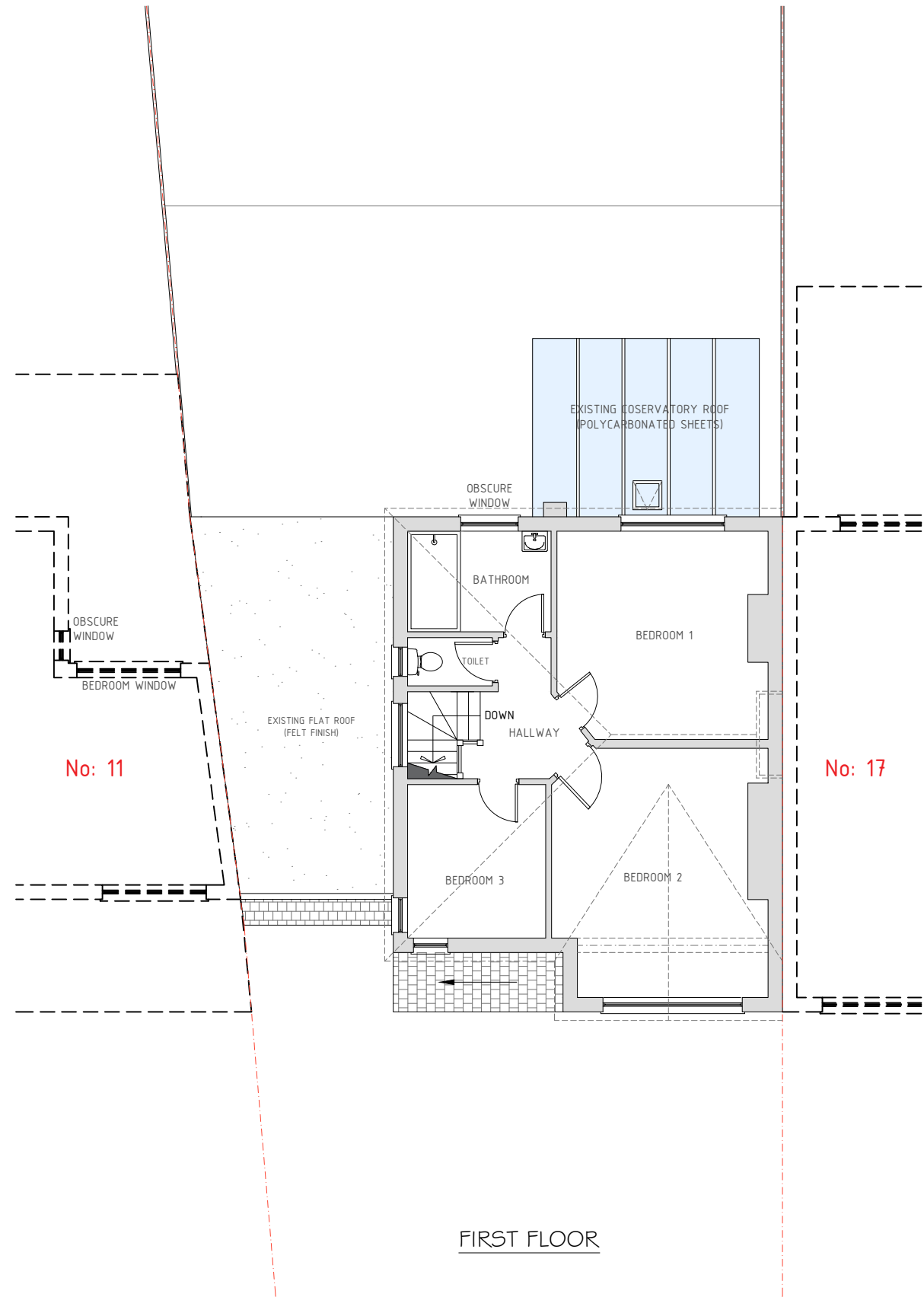
Mr. Hinesh Pindoria
15 Boldmere Road
Pinner
HA5 1PJ

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Project Ref No : ABP-BRP15-01	Sheet No : P-1
Date : March 2025	Drawn By : ABP
Scale : 1:100 @ A-3	



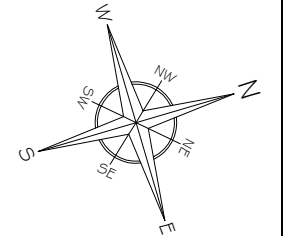
GROUND FLOOR



FIRST FLOOR

EXISTING FLOOR PLANS
Scale: 1/100

SCALE: 1:100 0 5m



A	Issue For Approval	03/25
No	Revision / Issue	Date

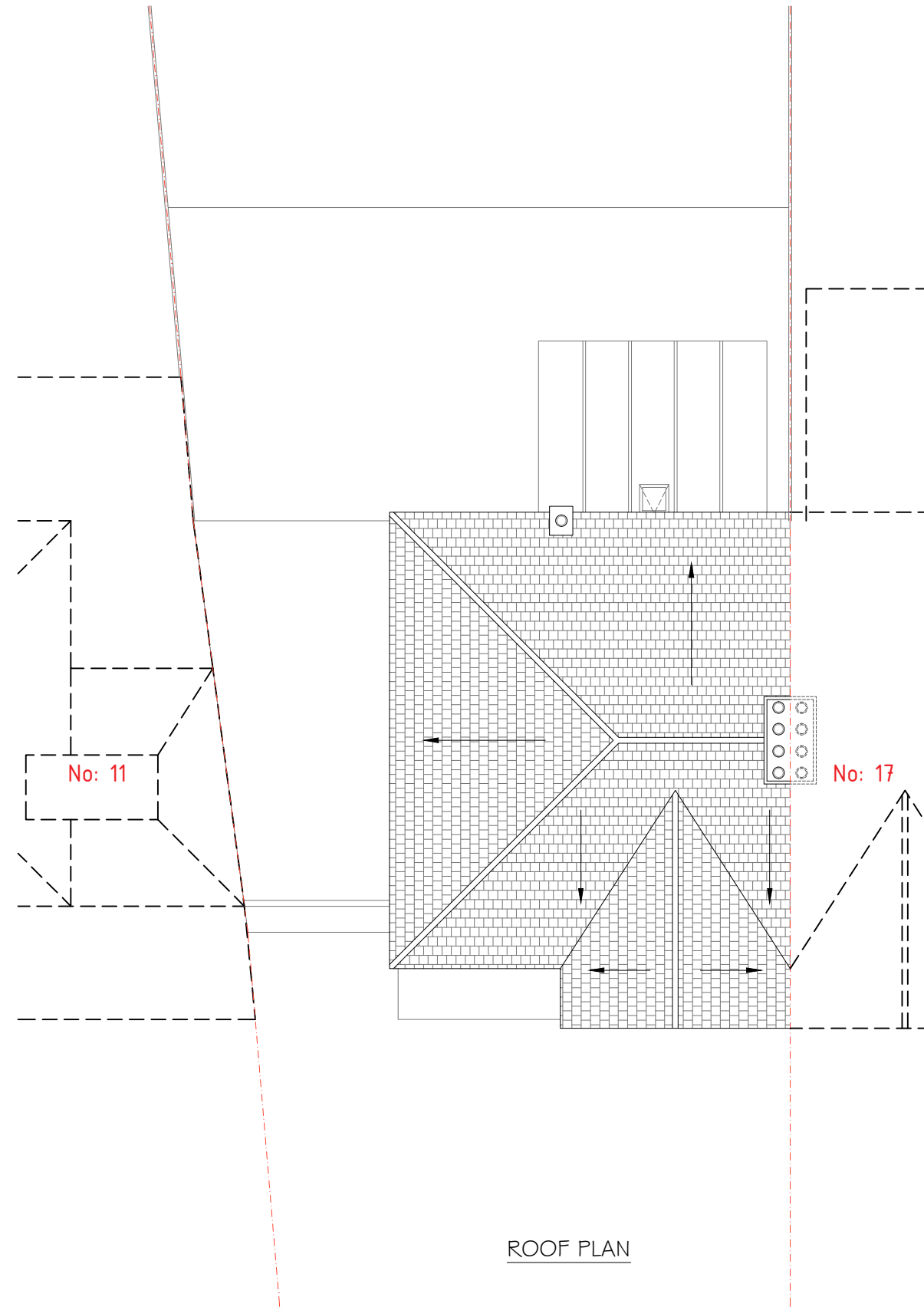
Site :
15 Boldmere Road
Pinner
HA5 1PJ

Project Title :
Planning Application for a Rear
Loft Dormer Extension & Internal
Re-Configuration Under
Certificate of Lawfulness Planning
Application

Client :
Mr. Hinesh Pindoria
15 Boldmere Road
Pinner
HA5 1PJ

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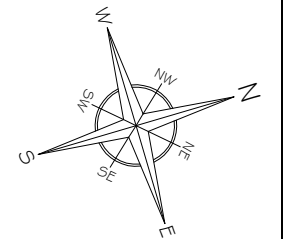
Project Ref No : ABP-BRP15-01	Sheet No : P-2
Date : March 2025	Drawn By : ABP
Scale : 1:100 @ A-3	



ROOF PLAN

SCALE: 1:100 0 5m

EXISTING FLOOR PLANS
Scale: 1/100



A	Issue For Approval	03/25
No	Revision / Issue	Date

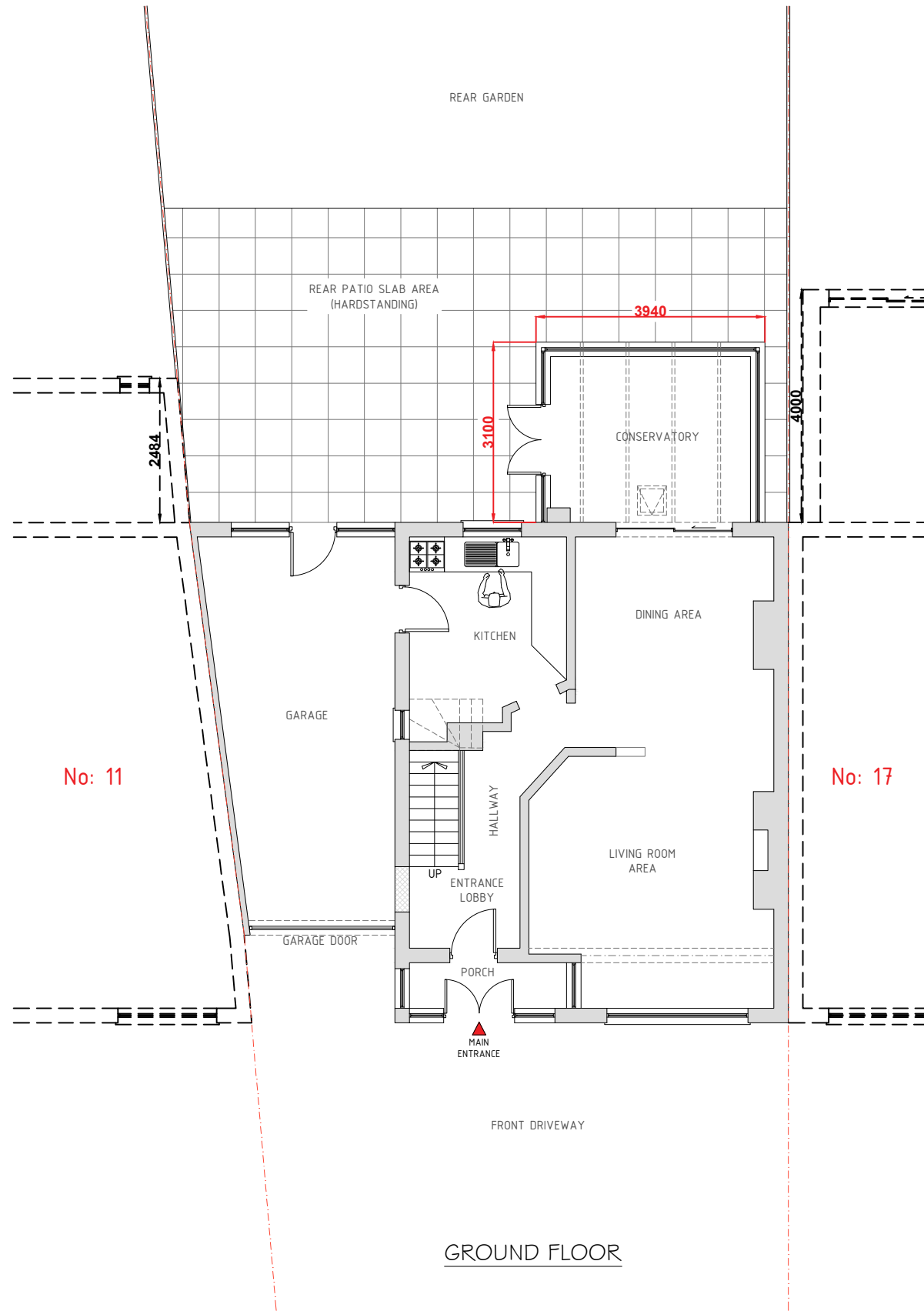
Site :
15 Boldmere Road
Pinner
HA5 1PJ

Project Title :
Planning Application for a Rear
Loft Dormer Extension & Internal
Re-Configuration Under
Certificate of Lawfulness Planning
Application

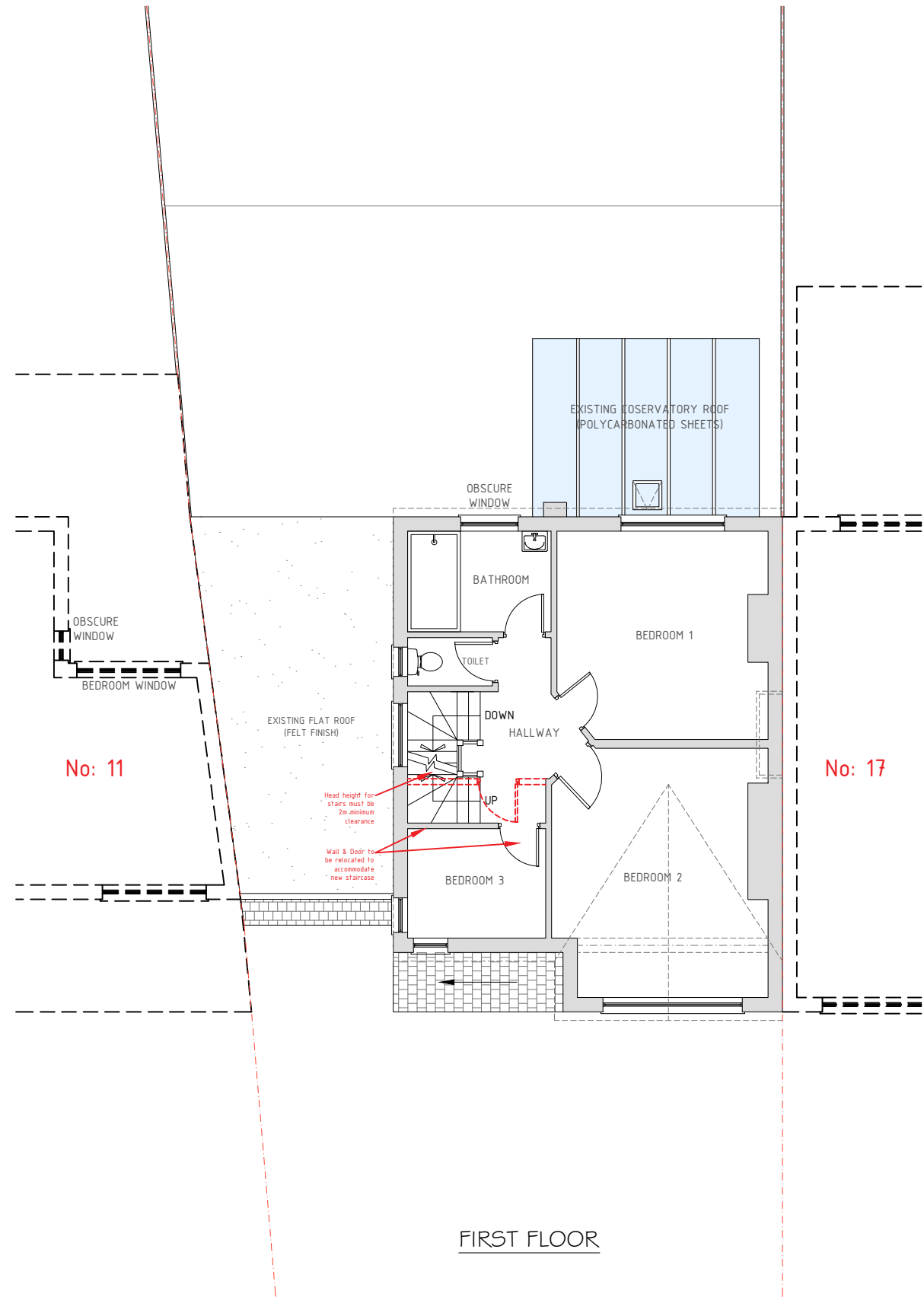
Client :
Mr. Hinesh Pindoria
15 Boldmere Road
Pinner
HA5 1PJ

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Project Ref No : ABP-BRP15-01	Sheet No : P-3
Date : March 2025	Drawn By : ABP
Scale : 1:100 @ A-3	



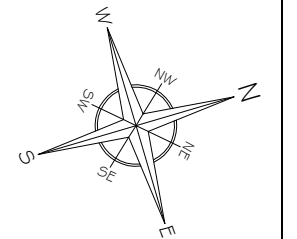
GROUND FLOOR



FIRST FLOOR

SCALE: 1:100 0 5m

PROPOSED FLOOR PLANS
Scale: 1/100



A	Issue For Approval	03/25
No	Revision / Issue	Date

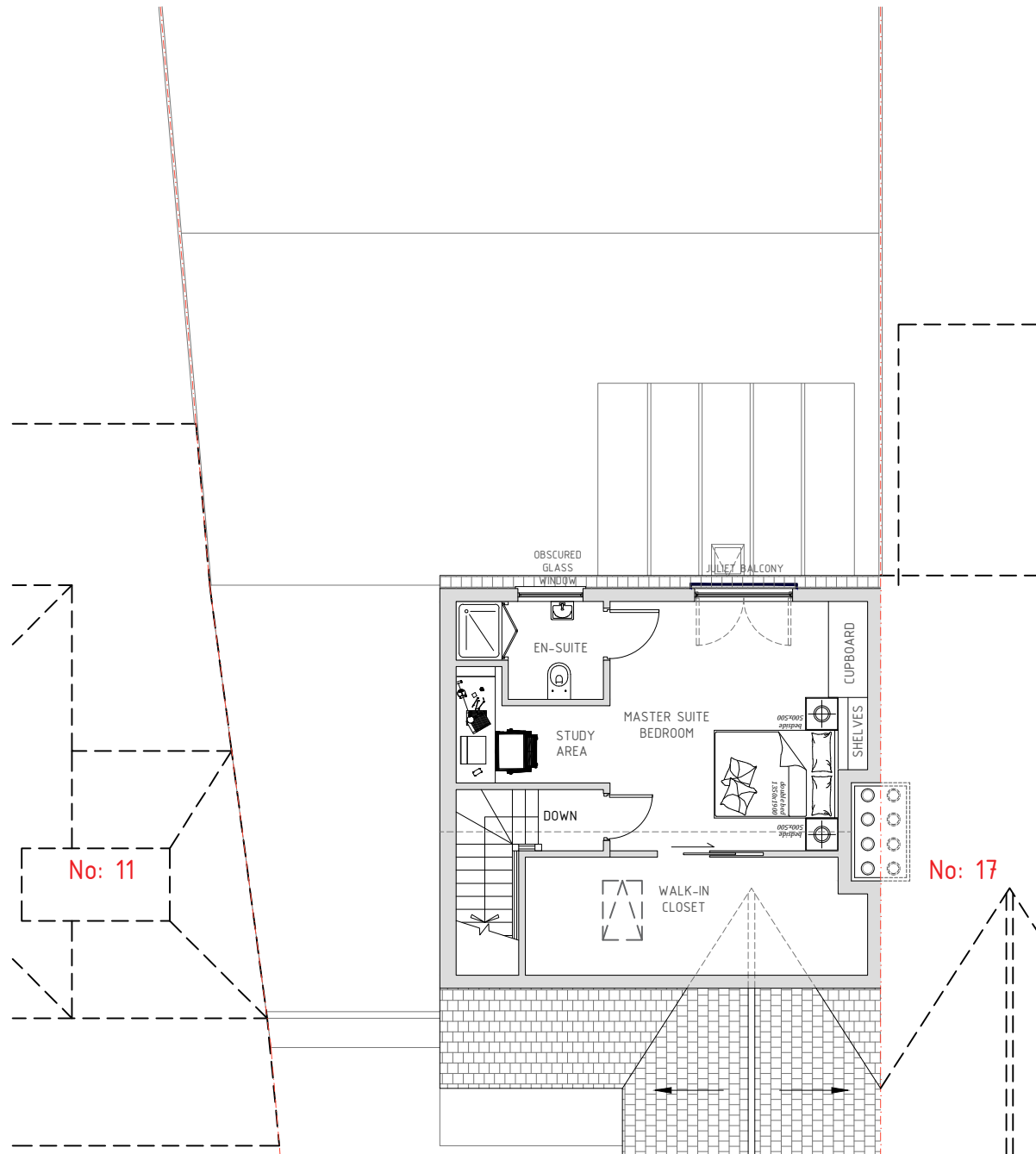
Site :
15 Boldmere Road
Pinner
HA5 1PJ

Project Title :
Planning Application for a Rear
Loft Dormer Extension & Internal
Re-Configuration Under
Certificate of Lawfulness Planning
Application

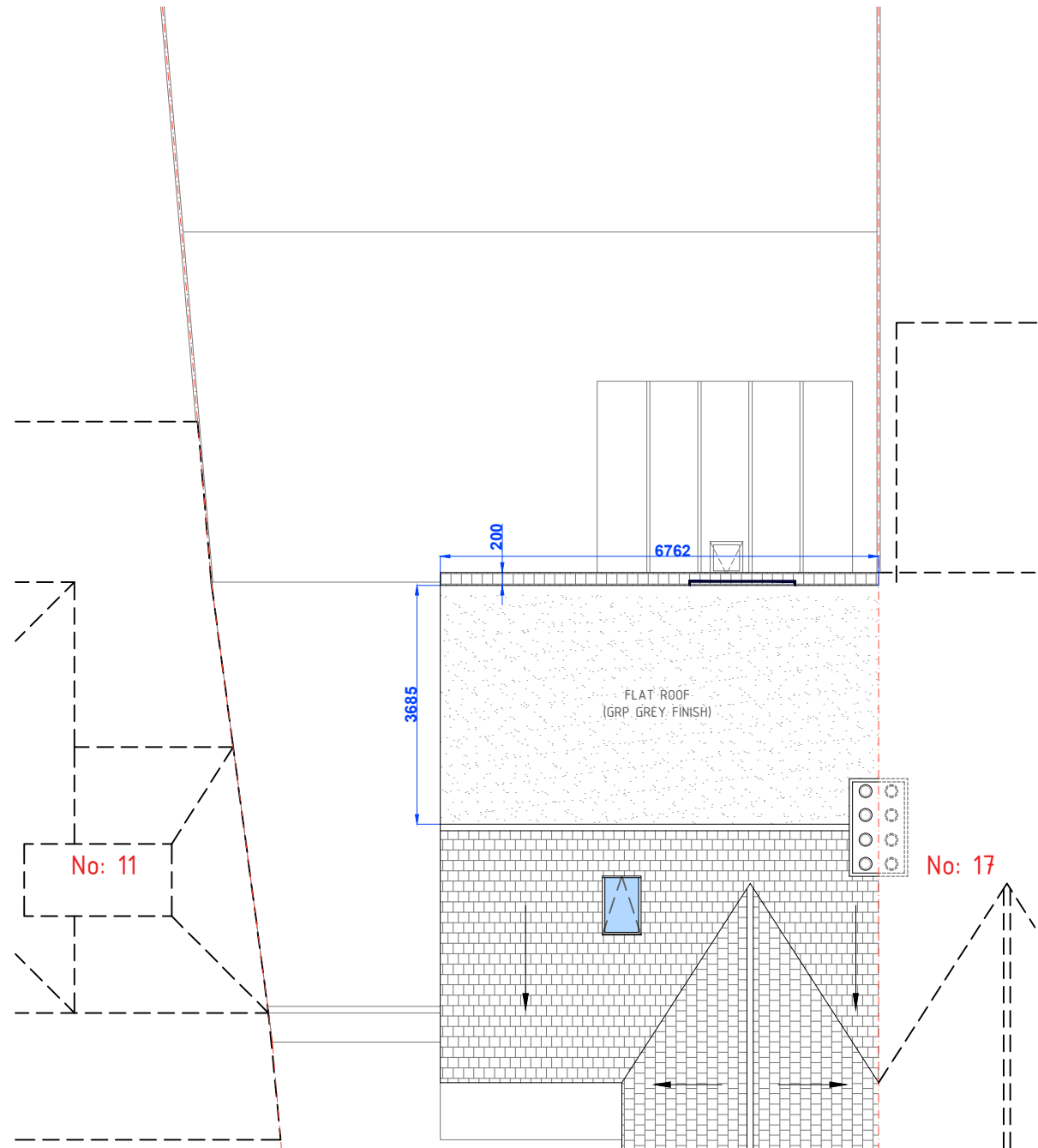
Client :
Mr. Hinesh Pindoria
15 Boldmere Road
Pinner
HA5 1PJ

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Project Ref No : ABP-BRP15-01	Sheet No : P-4
Date : March 2025	Drawn By : ABP
Scale : 1:100 @ A-3	



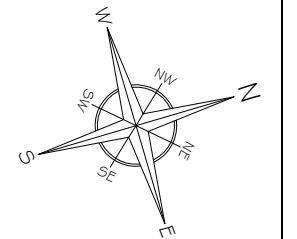
LOFT LEVEL



ROOF PLAN

PROPOSED FLOOR PLANS
Scale: 1/100

SCALE: 1:100 5m



A	Issue For Approval	03/25
No	Revision / Issue	Date

Site :

15 Boldmere Road
Pinner
HA5 1PJ

Project Title :

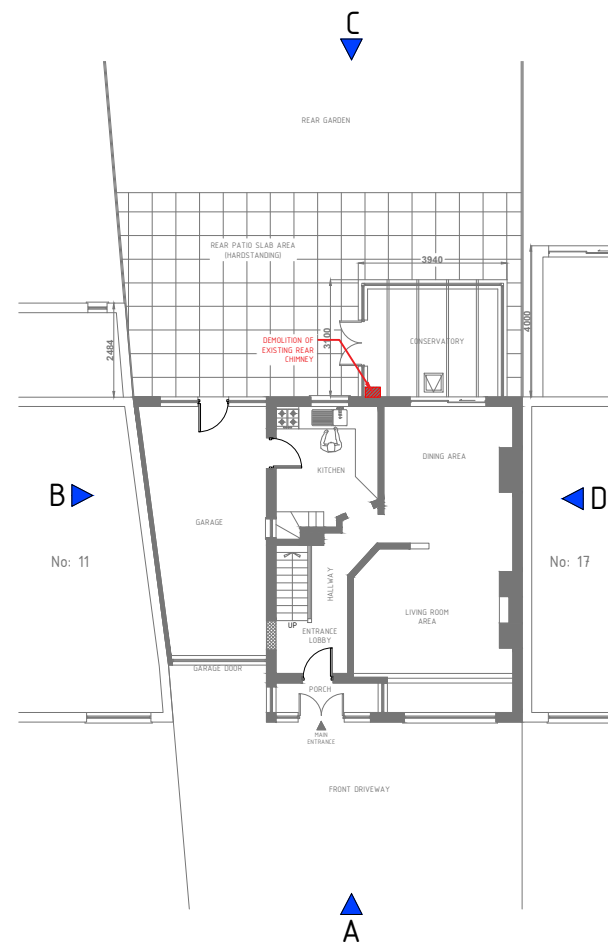
Planning Application for a Rear
Loft Dormer Extension & Internal
Re-Configuration Under
Certificate of Lawfulness Planning
Application

Client :

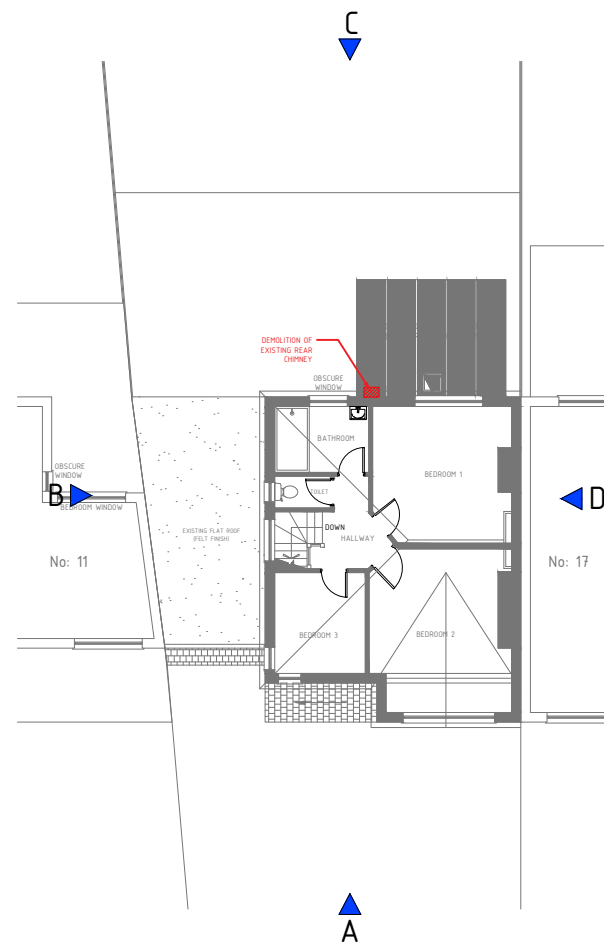
Mr. Hinesh Pindoria
15 Boldmere Road
Pinner
HA5 1PJ

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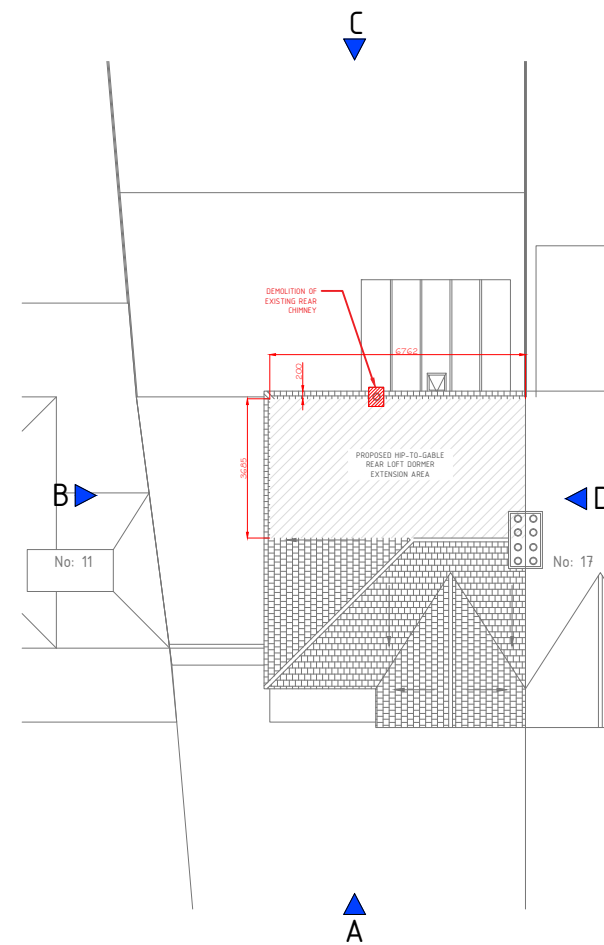
Project Ref No : ABP-BRP15-01	Sheet No : P-5
Date : March 2025	Drawn By : ABP
Scale : 1:200 @ A-3	



GROUND FLOOR



FIRST FLOOR



ROOF PLAN

SCALE: 1:200 0 10m

EXISTING & PROPOSED ELEVATION INDICATIONS
Scale: 1/200

GENERAL NOTES:

- THIS DRAWING IS READ IN CONJUNCTION WITH P-5 (ELEVATION INDICATION PLANS & EXTENSION AREA)

A	Issue For Approval	03/25
No	Revision / Issue	Date

Site :

15 Boldmere Road
Pinner
HA5 1PJ

Project Title :

Planning Application for a Rear
Loft Dormer Extension & Internal
Re-Configuration Under
Certificate of Lawfulness Planning
Application

Client :

Mr. Hinesh Pindoria
15 Boldmere Road
Pinner
HA5 1PJ

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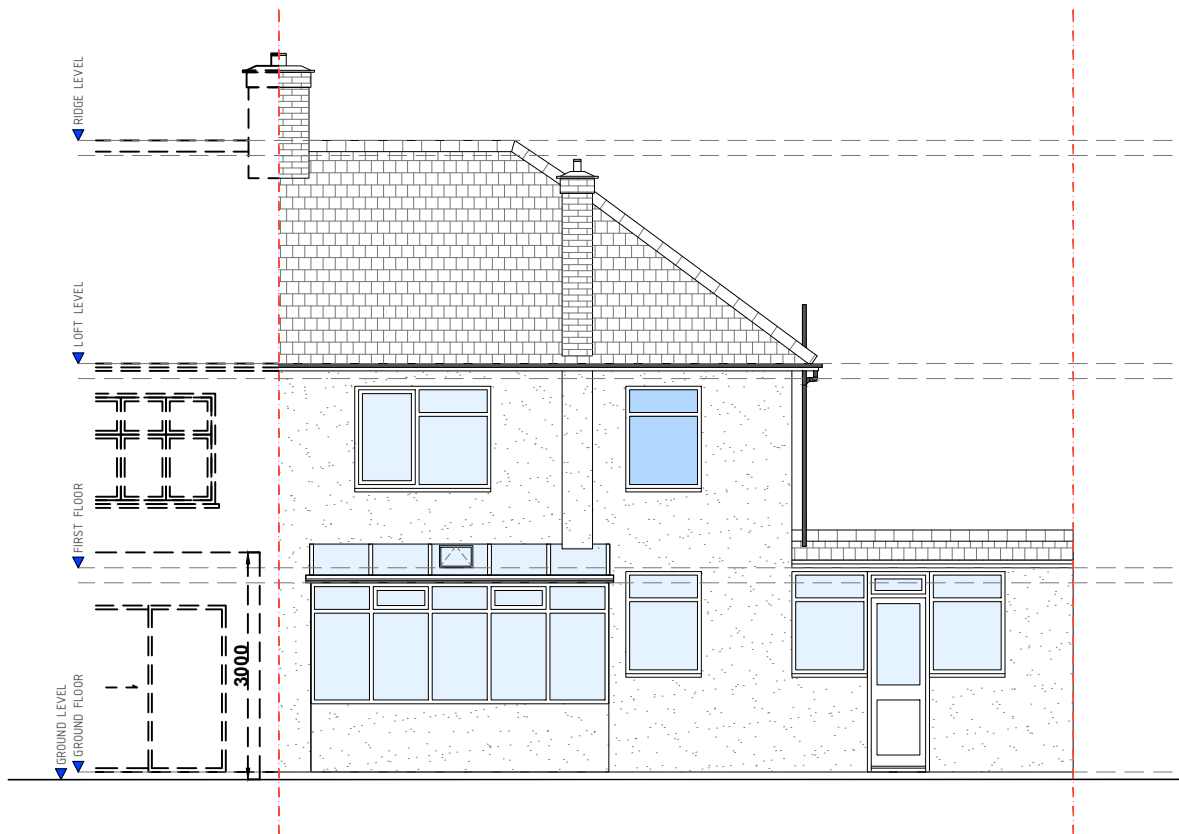
Project Ref No : ABP-BRP15-01	Sheet No : P-6
Date : March 2025	Drawn By : ABP
Scale : 1:100 @ A-3	



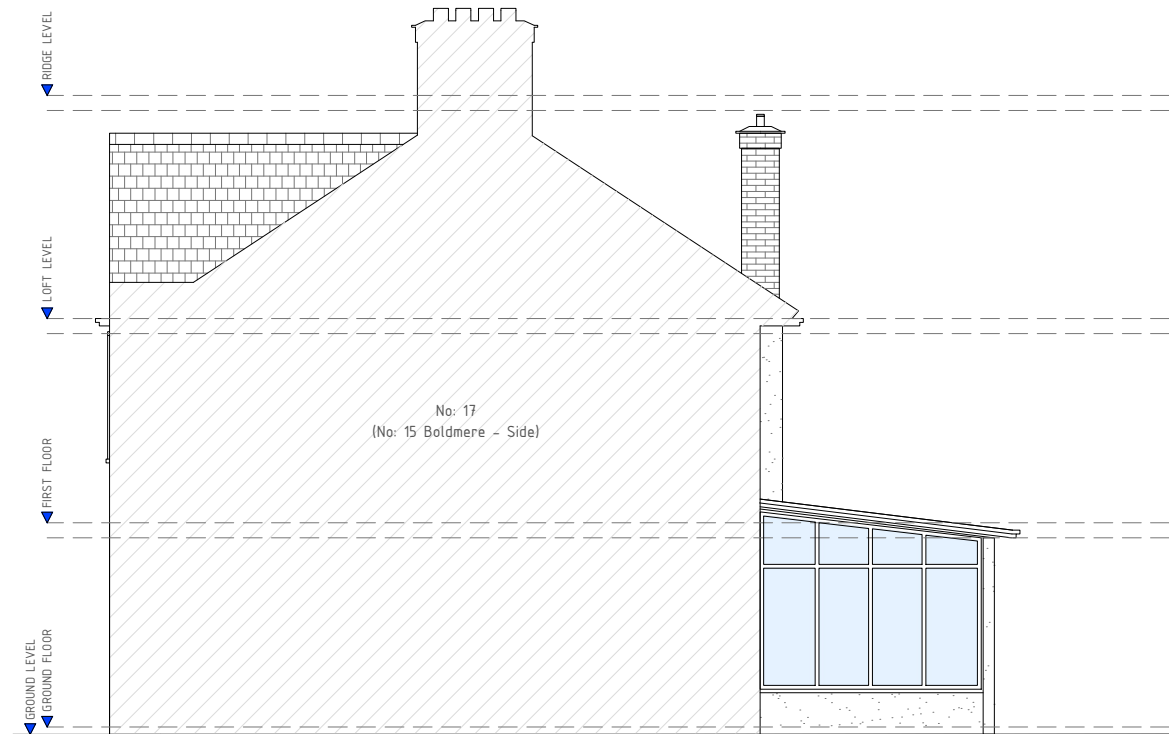
FRONT ELEVATION (A)



FLANK ELEVATION (B)
[LEFT SIDE]



REAR ELEVATION (C)

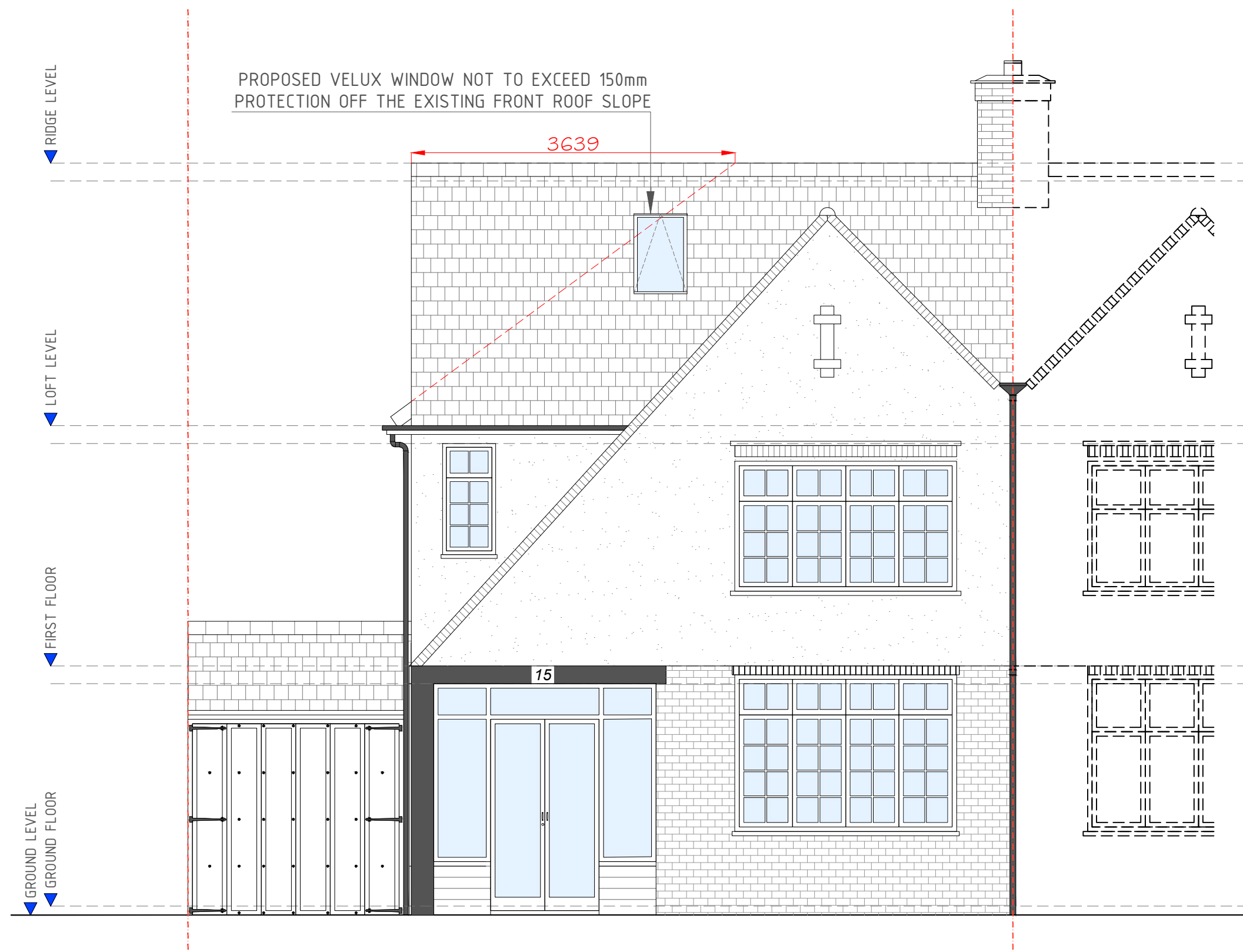


FLANK ELEVATION (D)
[RIGHT SIDE]

SCALE: 1:100 0 5m

EXISTING ELEVATIONS
Scale: 1/100

GENERAL NOTES:
REFER TO DRAWING P-5 FOR
ELEVATION INDICATIONS



PROPOSED VELUX WINDOW NOT TO EXCEED 150mm
PROTECTION OFF THE EXISTING FRONT ROOF SLOPE

3639

FRONT ELEVATION (A)

SCALE: 1:50 0 2.5m

VOLUME CALCULATION FOR LOFT CONVERSION:

WE OBSERVE THAT THE PERMITTED VOLUME SET UNDER THE GDPO FOR THIS PROPERTY (A SEMI-DETACHED PROPERTY) = $50m^3$.

COMPLIANCE IS THEREFORE ACHIEVED WHERE VOLUME OF THE HIP-TO-GABLE CONVERSION + VOLUME OF REAR DORMER IS NO GREATER THAN $50m^3$.

CALCULATION 1:
VOLUME OF HIP-TO-GABLE CONVERSION = VOLUME OF A PYRAMID
VOLUME OF HIP-TO-GABLE CONVERSION = $((2.7 \times 7.55) / 2) \times 3.63 / 3 = 12.33m^3$

CALCULATION 2:
VOLUME OF DORMER = VOLUME OF TRIANGULAR PRISM
VOLUME OF DORMER = $(2.6 \times 3.63) / 2 \times 6.78 = 31.99m^3$

TOTAL VOLUME OF PROPOSED DEVELOPMENT:
VOLUME OF HIP-TO-GABLE CONVERSION + VOLUME OF DORMER = $12.33m^3 + 31.99m^3 = 44.32m^3$

CONCLUSION:
TOTAL VOLUME DOES NOT EXCEED $50m^3$. THEREFORE THE PROPOSED DEVELOPMENT FALLS WITHIN THE VOLUME STANDARDS SET IN THE GDPO.

GENERAL NOTES:

DEPARTMENT FOR COMMUNITIES & LOCAL GOVERNMENT, 'Permitted Development for Householders'. Loft Conversion to Comply with the mention document & is noted in the points below:

1) Ref: 'Class B, B.1 (a)', Works on the Loft Dormer will NOT exceed the highest part of the existing roof.

2) Ref: 'Class B, B.1 (c)', The cubic content of the resulting roof space would exceed the cubic of the original roof space by more than (i) 50 cubic metres in the case of a detached house. In this case we are achieving $44.32m^3$ within the requirements.

3) Ref: 'Class B, B.2 (a), point 1', Flat roof of dormer windows will not have any visual impact, so Lead will be used for the flat roof of the dormer.

4) Ref: 'Class B, B.2 (b), (aa)', The eaves of the original roof maintained and NOT altered in any way.

5) Ref: 'Class B, B.2 (b), (bb)', 200mm will be achieved from the outside edge of the eaves, to comply with the minimum 20cm requirement for a rear loft extension.

6) Ref: 'Class C, C.1 (a)', New skylight windows will be inserted on the existing loft roof slop, which will NOT exceed over 150mm beyond the plane of the slope.

A	Issue For Approval	03/25
No	Revision / Issue	Date

Site :
15 Boldmere Road
Pinner
HA5 1PJ

Project Title :
Planning Application for a Rear Loft Dormer Extension & Internal Re-Configuration Under Certificate of Lawfulness Planning Application

Client :
Mr. Hinesh Pindoria
15 Boldmere Road
Pinner
HA5 1PJ

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Project Ref No : ABP-BRP15-01	Sheet No : P-7
Date : March 2025	Drawn By : ABP
Scale : 1:50 @ A-3	

PROPOSED ELEVATIONS
Scale: 1/50

GENERAL NOTES:
REFER TO DRAWING P-5 FOR
ELEVATION INDICATIONS

VOLUME CALCULATION FOR LOFT CONVERSION:

WE OBSERVE THAT THE PERMITTED VOLUME SET UNDER
THE GDPO FOR THIS PROPERTY (A SEMI-DETACHED
PROPERTY) = 50m^3 .

COMPLIANCE IS THEREFORE ACHIEVED WHERE VOLUME
OF THE HIP-TO-GABLE CONVERSION + VOLUME OF REAR
DORMER IS NO GREATER THAN 50m^3 .

CALCULATION 1:
VOLUME OF HIP-TO-GABLE CONVERSION = VOLUME OF A
PYRAMID
VOLUME OF HIP-TO-GABLE CONVERSION = $((2.7 \times 7.55) / 2) \times 3.63 / 3 = 12.33\text{m}^3$

CALCULATION 2:
VOLUME OF DORMER = VOLUME OF TRIANGULAR PRISM
VOLUME OF DORMER = $(2.6 \times 3.63) / 2 \times 6.78 = 31.99\text{m}^3$

TOTAL VOLUME OF PROPOSED DEVELOPMENT:
VOLUME OF HIP-TO-GABLE CONVERSION + VOLUME OF
DORMER = $12.33\text{m}^3 + 31.99\text{m}^3 = 44.32\text{m}^3$

CONCLUSION:
TOTAL VOLUME DOES NOT EXCEED 50m^3 . THEREFORE THE
PROPOSED DEVELOPMENT FALLS WITHIN THE VOLUME
STANDARDS SET IN THE GDPO.



GENERAL NOTES:

DEPARTMENT FOR COMMUNITIES
& LOCAL GOVERNMENT,
'Permitted Development for
Householders'. Loft Conversion to
Comply with the mention document
& is noted in the points below:

1) Ref: 'Class B, B.1 (a)', Works
on the Loft Dormer will NOT
exceed the highest part of the
existing roof.

2) Ref: 'Class B, B.1 (c)', The
cubic content of the resulting roof
space would exceed the cubic of
the original roof space by more
than (i) 50 cubic metres in the
case of a detached house. In this
case we are achieving 44.32m^3
within the requirements.

3) Ref: 'Class B, B.2 (a), point 1',
Flat roof of dormer windows will
not have any visual impact, so Lead
will be used for the flat roof of the
dormer.

4) Ref: 'Class B, B.2 (b), (aa)', The
eaves of the original roof
maintained and NOT altered in any
way.

5) Ref: 'Class B, B.2 (b), (bb)',
200mm will be achieved from the
outside edge of the eaves, to
comply with the minimum 20cm
requirement for a rear loft
extension.

6) Ref: 'Class C, C.1 (a)', New
skylight windows will be inserted
on the existing loft roof slop,
which will NOT exceed over
150mm beyond the plane of the
slope.

A	Issue For Approval	03/25
No	Revision / Issue	Date

Site :

15 Boldmere Road
Pinner
HA5 1PJ

Project Title :

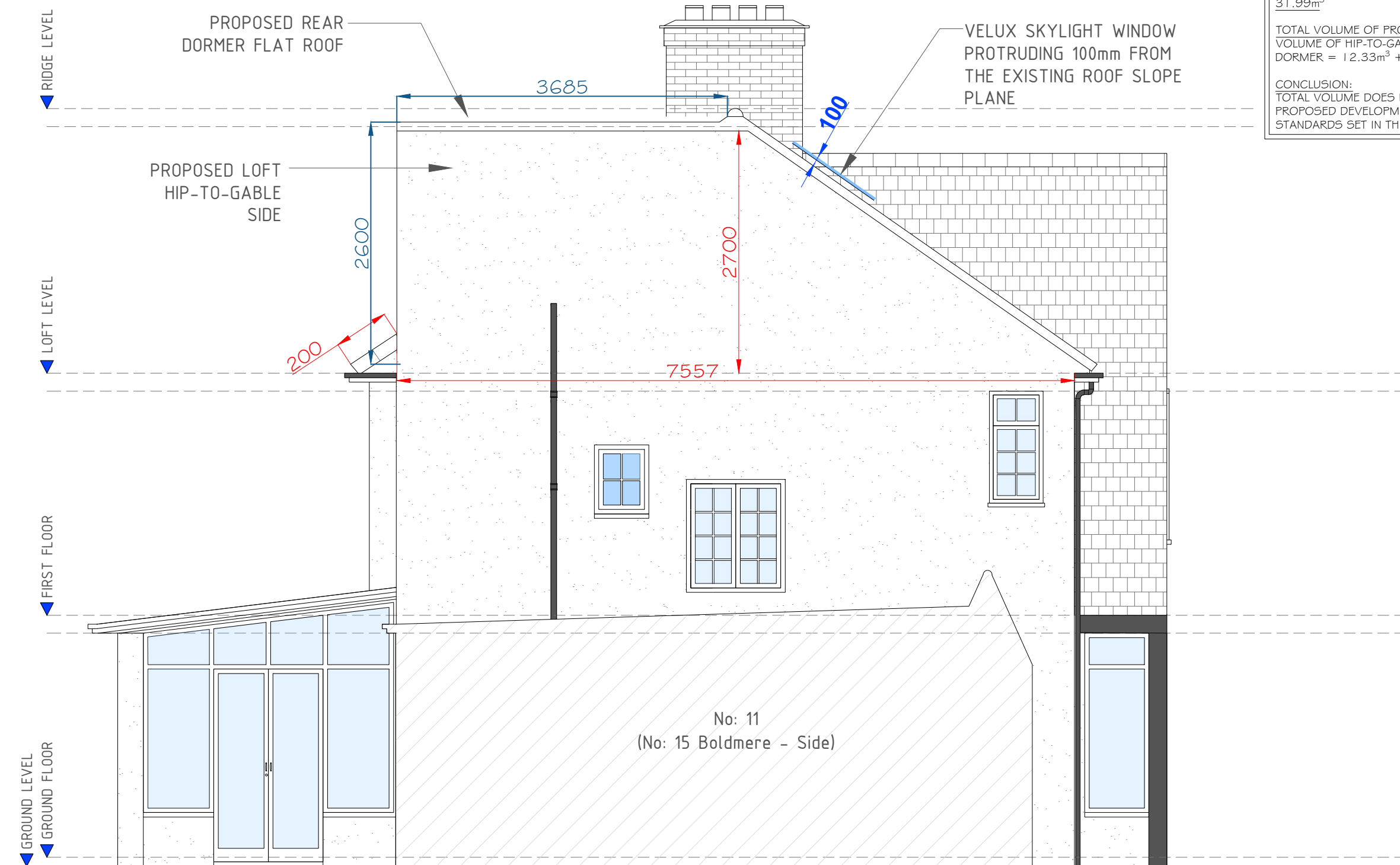
Planning Application for a Rear
Loft Dormer Extension & Internal
Re-Configuration Under
Certificate of Lawfulness Planning
Application

Client :

Mr. Hinesh Pindoria
15 Boldmere Road
Pinner
HA5 1PJ

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and onsite dimensions.

Project Ref No : ABP-BRP15-01	Sheet No : P-8
Date : March 2025	Drawn By : ABP
Scale : 1:50 @ A-3	

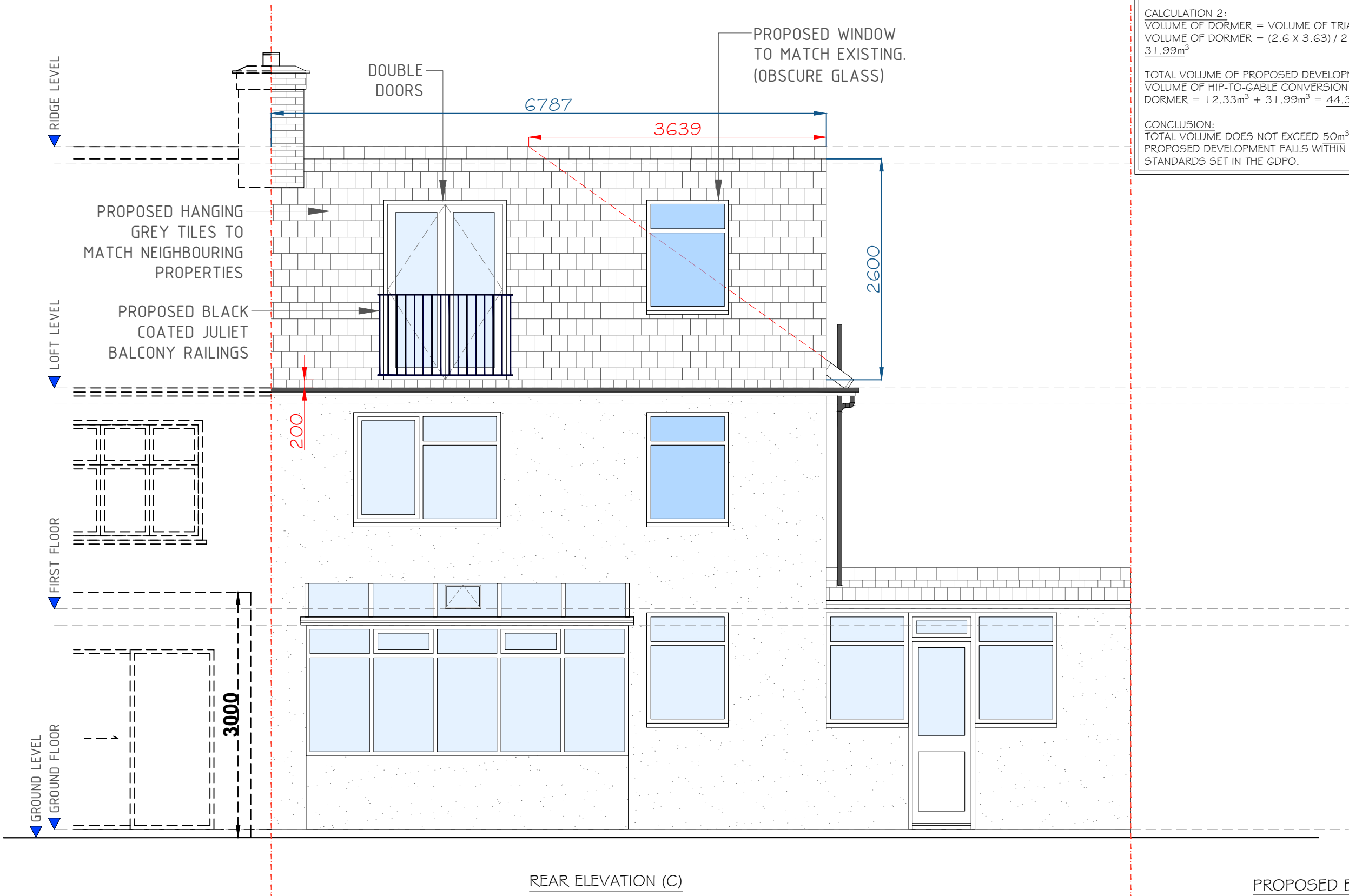


FLANK ELEVATION (B)

PROPOSED ELEVATIONS
Scale: 1/50

SCALE: 1:50 0 2.5m

GENERAL NOTES:
REFER TO DRAWING P-5 FOR
ELEVATION INDICATIONS



SCALE: 1:50 0 2.5m

REAR ELEVATION (C)

VOLUME CALCULATION FOR LOFT CONVERSION:

WE OBSERVE THAT THE PERMITTED VOLUME SET UNDER THE GDPO FOR THIS PROPERTY (A SEMI-DETACHED PROPERTY) = 50m³.

COMPLIANCE IS THEREFORE ACHIEVED WHERE VOLUME OF THE HIP-TO-GABLE CONVERSION + VOLUME OF REAR DORMER IS NO GREATER THAN 50m³.

CALCULATION 1:
VOLUME OF HIP-TO-GABLE CONVERSION = VOLUME OF A PYRAMID
VOLUME OF HIP-TO-GABLE CONVERSION = (((2.7 X 7.55) / 2) X 3.63) / 3 = 12.33m³

CALCULATION 2:
VOLUME OF DORMER = VOLUME OF TRIANGULAR PRISM
VOLUME OF DORMER = (2.6 X 3.63) / 2 X 6.78 = 31.99m³

TOTAL VOLUME OF PROPOSED DEVELOPMENT:
VOLUME OF HIP-TO-GABLE CONVERSION + VOLUME OF DORMER = 12.33m³ + 31.99m³ = 44.32m³

CONCLUSION:
TOTAL VOLUME DOES NOT EXCEED 50m³. THEREFORE THE PROPOSED DEVELOPMENT FALLS WITHIN THE VOLUME STANDARDS SET IN THE GDPO.



GENERAL NOTES:

DEPARTMENT FOR COMMUNITIES & LOCAL GOVERNMENT, 'Permitted Development for Householders'. Loft Conversion to Comply with the mention document & is noted in the points below:

1) Ref: 'Class B, B.1 (a)', Works on the Loft Dormer will NOT exceed the highest part of the existing roof.

2) Ref: 'Class B, B.1 (c)', The cubic content of the resulting roof space would exceed the cubic of the original roof space by more than (i) 50 cubic metres in the case of a detached house. In this case we are achieving 44.32m³ within the requirements.

3) Ref: 'Class B, B.2 (a), point 1', Flat roof of dormer windows will not have any visual impact, so Lead will be used for the flat roof of the dormer.

4) Ref: 'Class B, B.2 (b), (aa)', The eaves of the original roof maintained and NOT altered in any way.

5) Ref: 'Class B, B.2 (b), (bb)', 200mm will be achieved from the outside edge of the eaves, to comply with the minimum 20cm requirement for a rear loft extension.

6) Ref: 'Class C, C.1 (a)', New skylight windows will be inserted on the existing loft roof slop, which will NOT exceed over 150mm beyond the plane of the slope.

A	Issue For Approval	03/25
No	Revision / Issue	Date

Site :
15 Boldmere Road
Pinner
HA5 1PJ

Project Title :
Planning Application for a Rear Loft Dormer Extension & Internal Re-Configuration Under Certificate of Lawfulness Planning Application

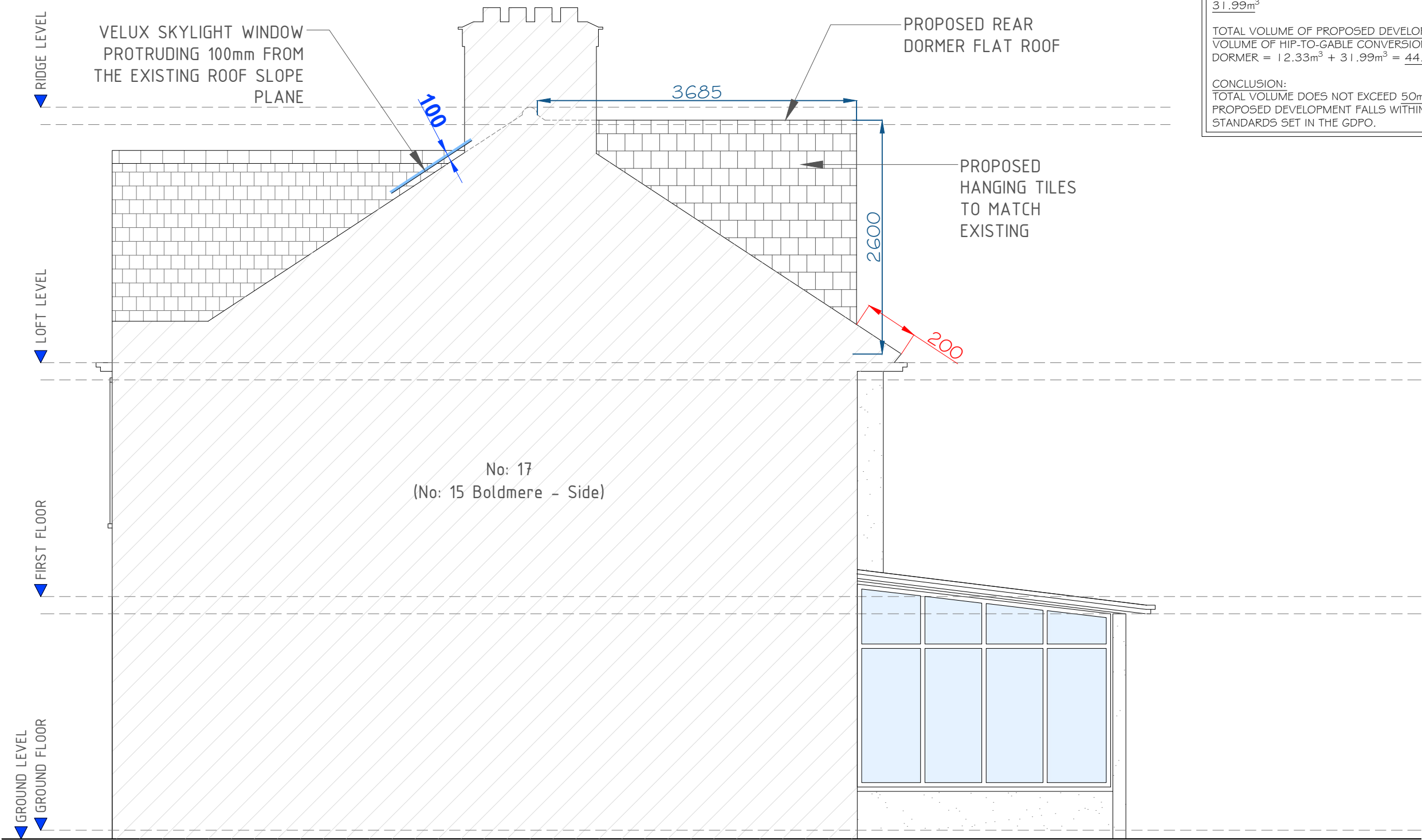
Client :
Mr. Hinesh Pindoria
15 Boldmere Road
Pinner
HA5 1PJ

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Project Ref No : ABP-BRP15-01	Sheet No : P-9
Date : March 2025	Drawn By : ABP
Scale : 1:50 @ A-3	

PROPOSED ELEVATIONS
Scale: 1/50

GENERAL NOTES:
REFER TO DRAWING P-5 FOR
ELEVATION INDICATIONS



FLANK ELEVATION (D)

PROPOSED ELEVATIONS
Scale: 1/50

SCALE: 1:50 0 2.5m

VOLUME CALCULATION FOR LOFT CONVERSION:

WE OBSERVE THAT THE PERMITTED VOLUME SET UNDER THE GDPO FOR THIS PROPERTY (A SEMI-DETACHED PROPERTY) = 50m^3 .

COMPLIANCE IS THEREFORE ACHIEVED WHERE VOLUME OF THE HIP-TO-GABLE CONVERSION + VOLUME OF REAR DORMER IS NO GREATER THAN 50m^3 .

CALCULATION 1:
VOLUME OF HIP-TO-GABLE CONVERSION = VOLUME OF A PYRAMID

VOLUME OF HIP-TO-GABLE CONVERSION = $((2.7 \times 7.55) / 2) \times 3.63 / 3 = 12.33\text{m}^3$

CALCULATION 2:
VOLUME OF DORMER = VOLUME OF TRIANGULAR PRISM
VOLUME OF DORMER = $(2.6 \times 3.63) / 2 \times 6.78 = 31.99\text{m}^3$

TOTAL VOLUME OF PROPOSED DEVELOPMENT:
VOLUME OF HIP-TO-GABLE CONVERSION + VOLUME OF DORMER = $12.33\text{m}^3 + 31.99\text{m}^3 = 44.32\text{m}^3$

CONCLUSION:
TOTAL VOLUME DOES NOT EXCEED 50m^3 . THEREFORE THE PROPOSED DEVELOPMENT FALLS WITHIN THE VOLUME STANDARDS SET IN THE GDPO.



GENERAL NOTES:

DEPARTMENT FOR COMMUNITIES
LOCAL GOVERNMENT,
'Permitted Development for
Householders'. Loft Conversion to
Comply with the mention document
is noted in the points below:

1) Ref: 'Class B, B.1 (a)', Works
on the Loft Dormer will NOT
exceed the highest part of the
existing roof.

2) Ref: 'Class B, B.1 (c)', The
cubic content of the resulting roof
space would exceed the cubic of
the original roof space by more
than (i) 50 cubic metres in the
case of a detached house. In this
case we are achieving 44.32m^3
within the requirements.

3) Ref: 'Class B, B.2 (a), point 1',
Flat roof of dormer windows will
not have any visual impact, so Lead
will be used for the flat roof of the
dormer.

4) Ref: 'Class B, B.2 (b), (aa)', The
eaves of the original roof
maintained and NOT altered in any
way.

5) Ref: 'Class B, B.2 (b), (bb)',
200mm will be achieved from the
outside edge of the eaves, to
comply with the minimum 20cm
requirement for a rear loft
extension.

6) Ref: 'Class C, C.1 (a)', New
skylight windows will be inserted
on the existing loft roof slop,
which will NOT exceed over
150mm beyond the plane of the
slope.

A	Issue For Approval	03/25
No	Revision / Issue	Date

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Project Ref No : ABP-BRP15-01	Sheet No : P-10
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