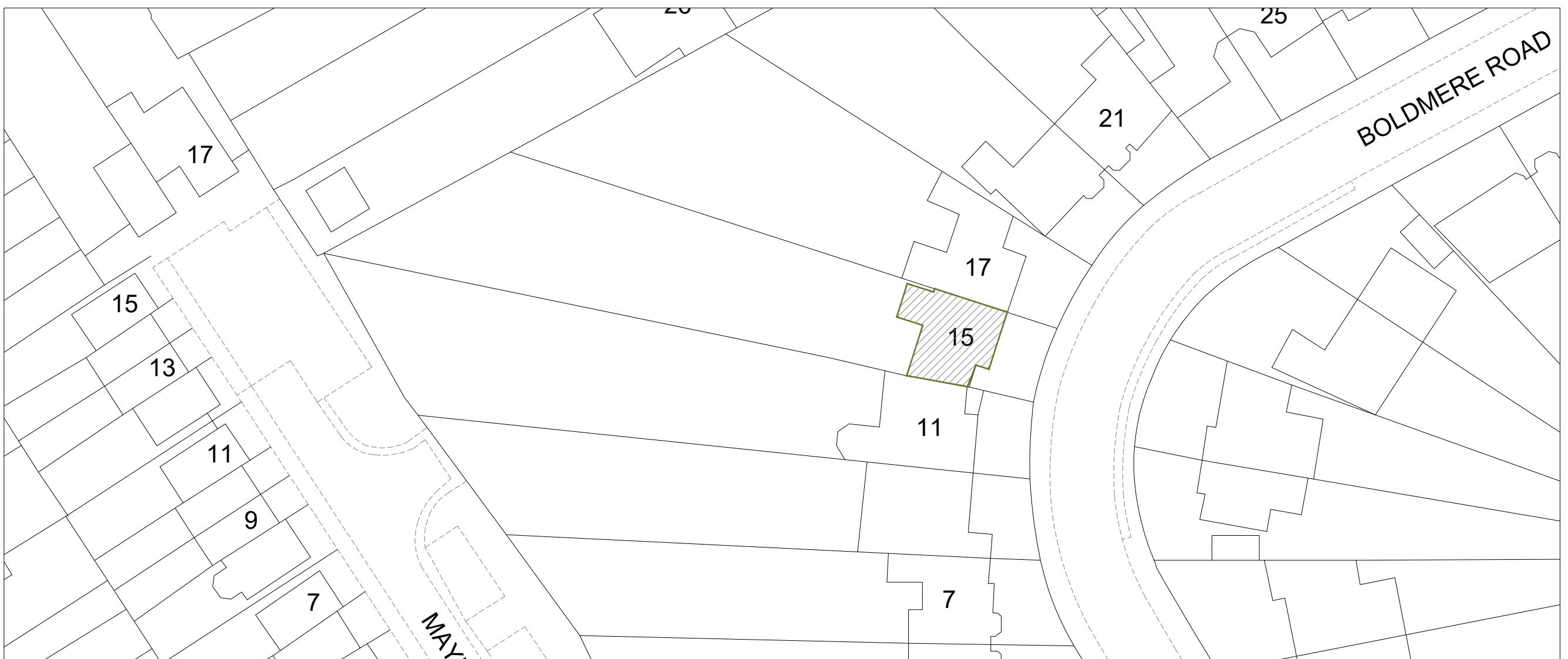


LOCATION PLAN

Scale: 1/1250



BUILDING BOUNDARY

Scale: 1/500

SCALE: 1:500 0 25m

SCALE: 1:1250 0 50m

ABP ARCHITECTURAL SERVICES

GENERAL NOTES:

KEY:

- BUILDING - (15 BOLDMERE ROAD)
- SITE BOUNDARY
- BUILDING BOUNDARY

A	Issue For Approval	03/25
No	Revision / Issue	Date

Site :

15 Boldmere Road
Pinner
HA5 1PJ

Project Title :

Planning Application for a Rear Loft Dormer Extension & Internal Re-Configuration Under Certificate of Lawfulness Planning Application

Client :

Mr. Hinesh Pindoria
15 Boldmere Road
Pinner
HA5 1PJ

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Project Ref No :
ABP-BRP15-01

Date :
March 2025

Scale :
VARIES @ A-3

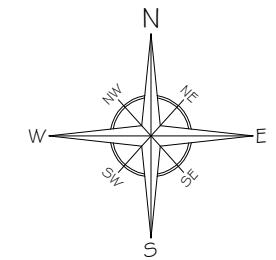
Sheet No :
P-O

Drawn By :
ABP

GENERAL NOTES:

KEY:

— SITE BOUNDARY



A	Issue For Approval	03/25
No	Revision / Issue	Date

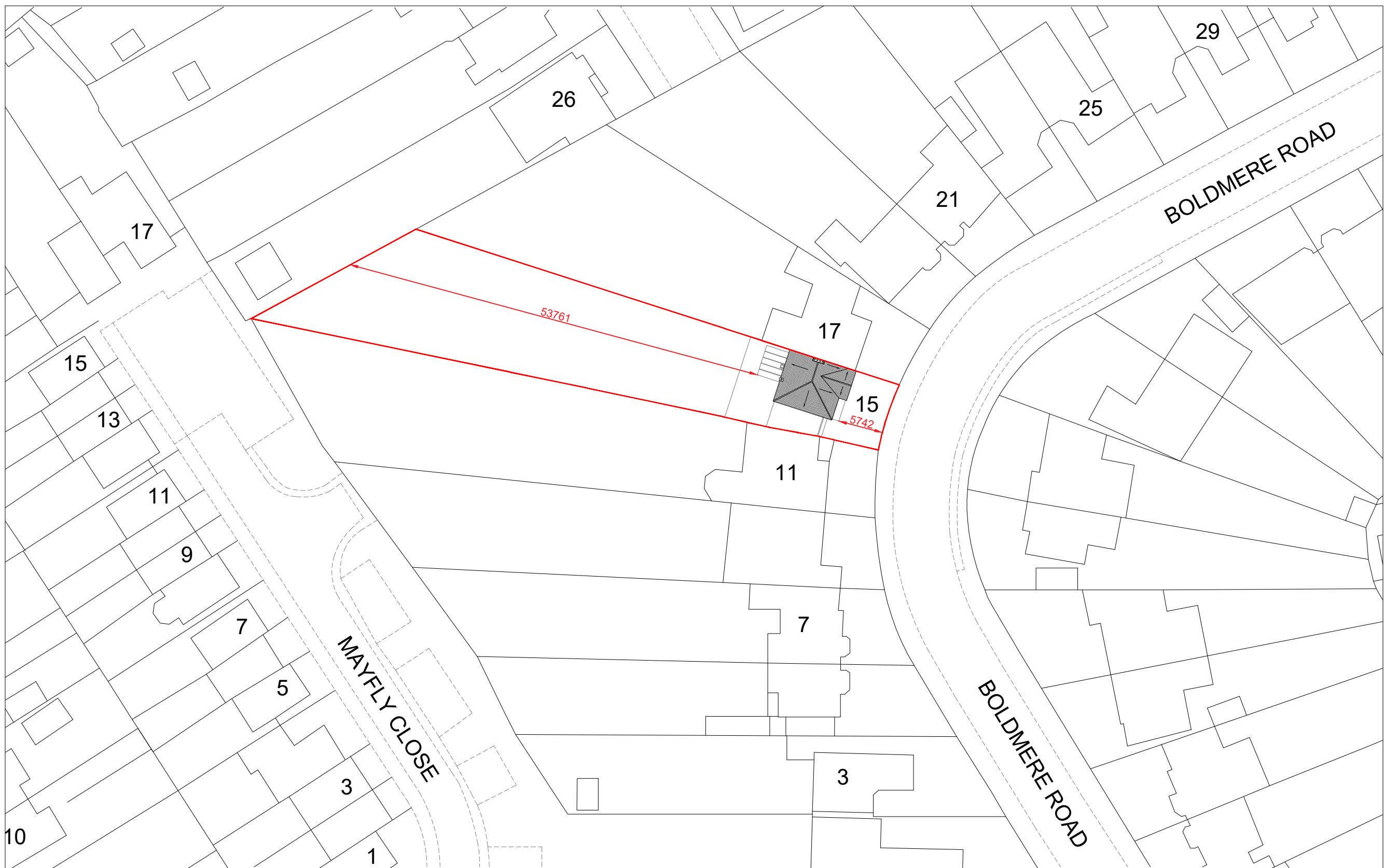
Site :
15 Boldmere Road
Pinner
HA5 1PJ

Project Title :
Planning Application for a Rear
Loft Dormer Extension & Internal
Re-Configuration Under
Certificate of Lawfulness Planning
Application

Client :
Mr. Hinesh Pindoria
15 Boldmere Road
Pinner
HA5 1PJ

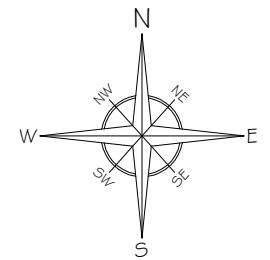
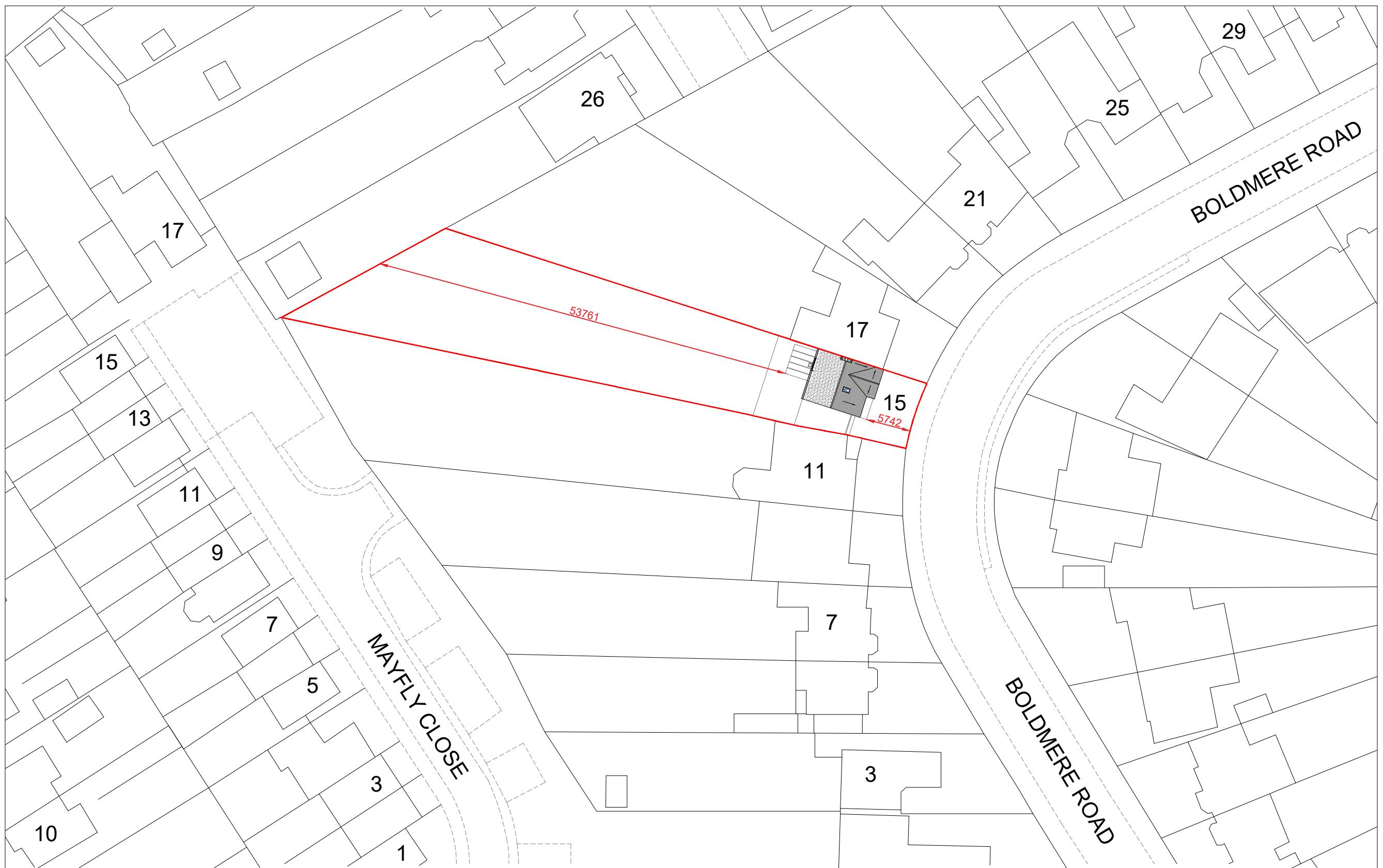
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Project Ref No : ABP-BRP15-O1	Sheet No : P-O-1
Date : March 2025	
Scale : 1:500 @ A-3	Drawn By : ABP



EXISTING BLOCK PLAN
Scale: 1/500

GENERAL NOTES:
KEY:



A	Issue For Approval	03/25
No	Revision / Issue	Date

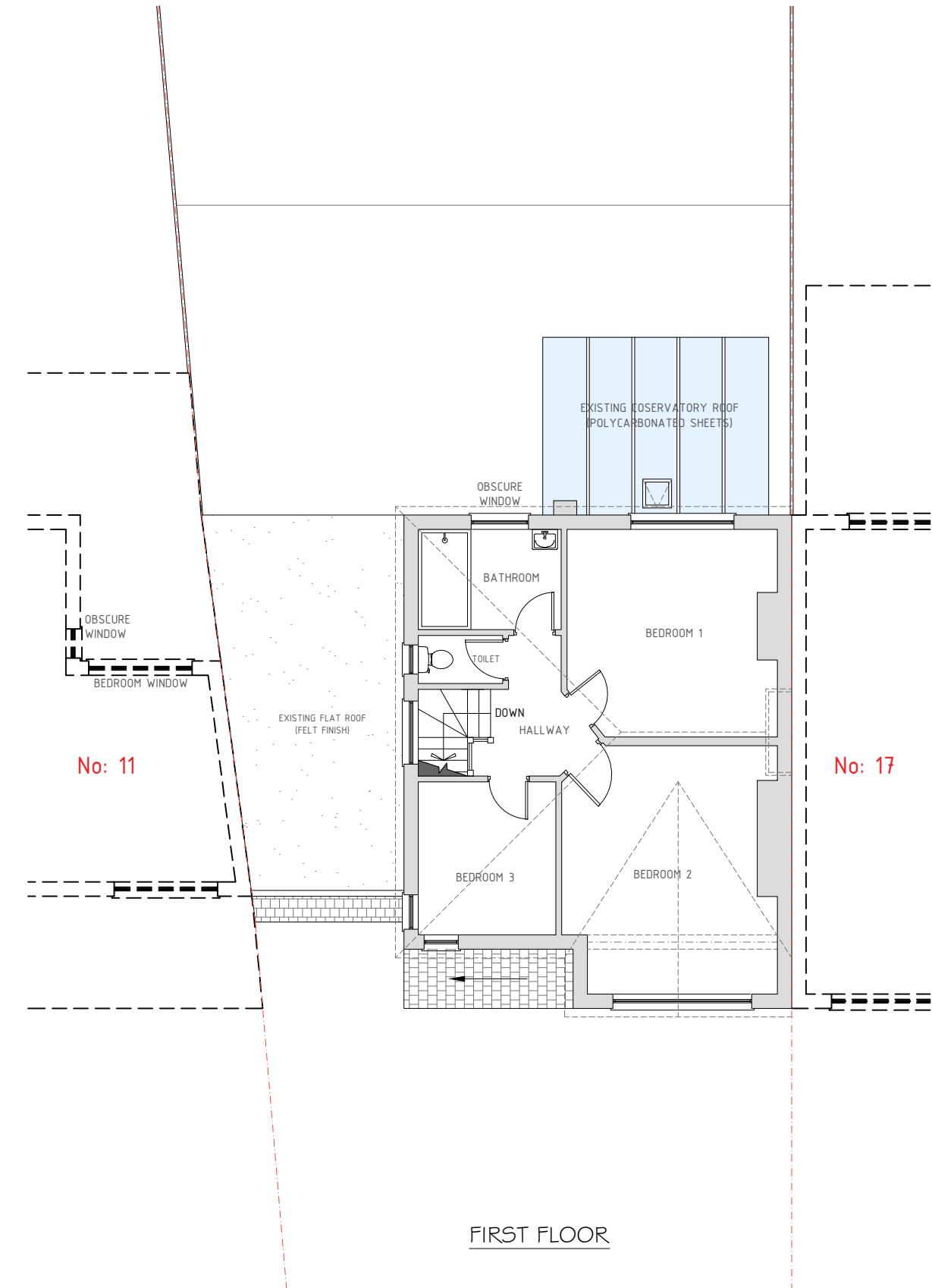
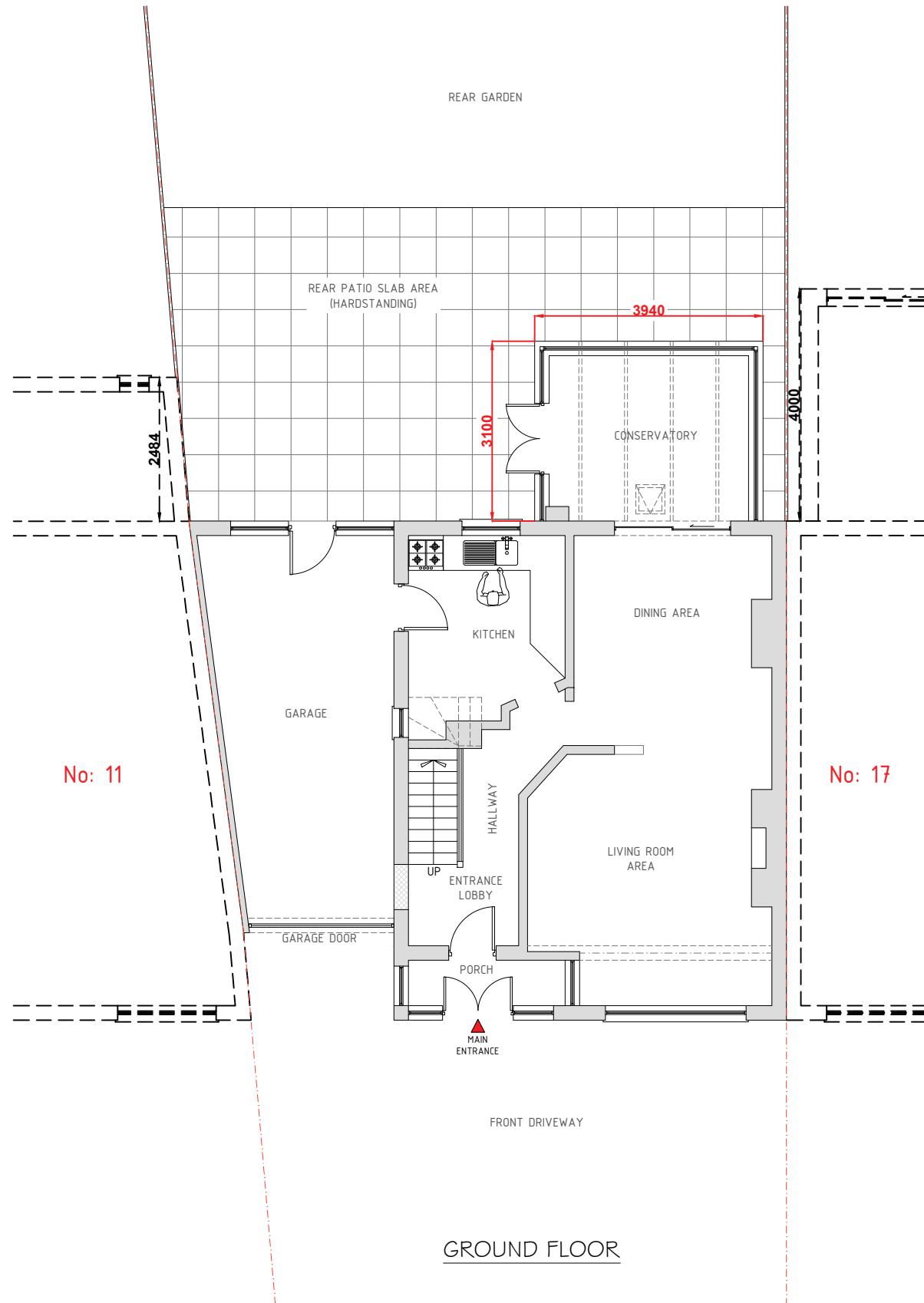
Site :
15 Boldmere Road
Pinner
HA5 1PJ

Project Title :
Planning Application for a Rear
Loft Dormer Extension & Internal
Re-Configuration Under
Certificate of Lawfulness Planning
Application

Client :
Mr. Hinesh Pindoria
15 Boldmere Road
Pinner
HA5 1PJ

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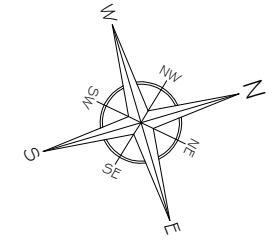
Project Ref No : ABP-BRP15-O1	Sheet No : P-O-2
Date : March 2025	
Scale : 1:500 @ A-3	Drawn By : ABP



EXISTING FLOOR PLANS
Scale: 1:100

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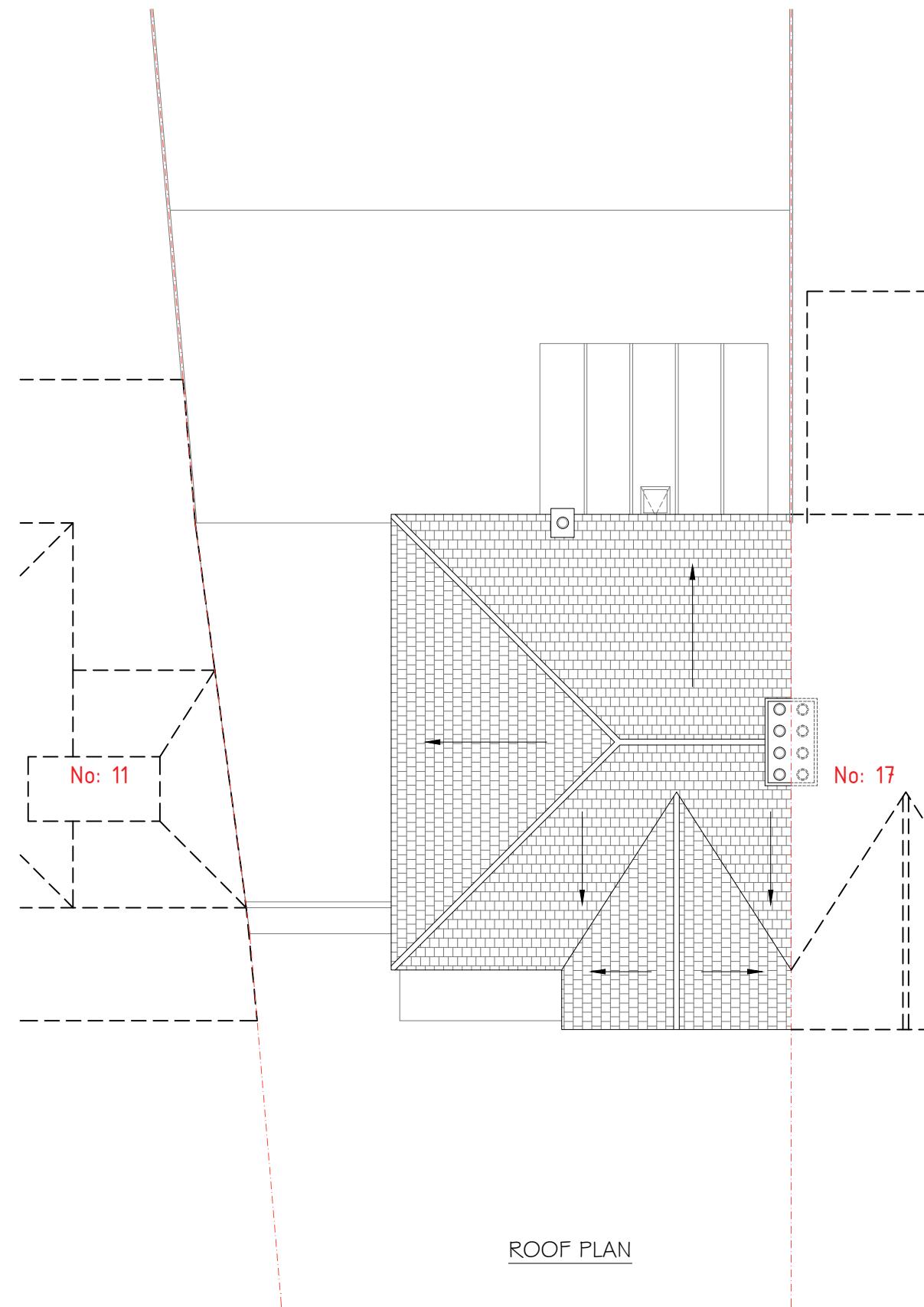
Project Ref No : ABP-BRP15-O1	Sheet No : P-1
Date : March 2025	
Scale : 1:100 @ A-3	Drawn By : ABP



Site :
15 Boldmere Road
Pinner
HA5 1PJ

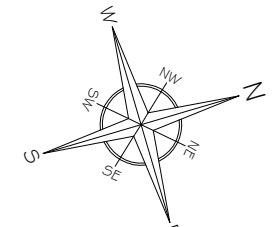
Project Title :
Planning Application for a Rear
Loft Dormer Extension & Internal
Re-Configuration Under
Certificate of Lawfulness Planning
Application

Client :
Mr. Himesh Pindoria
15 Boldmere Road
Pinner
HA5 1PJ



ROOF PLAN

SCALE: 1:100 0 5m

 EXISTING FLOOR PLANS
 Scale: 1:100


A	Issue For Approval	03/25
No	Revision / Issue	Date

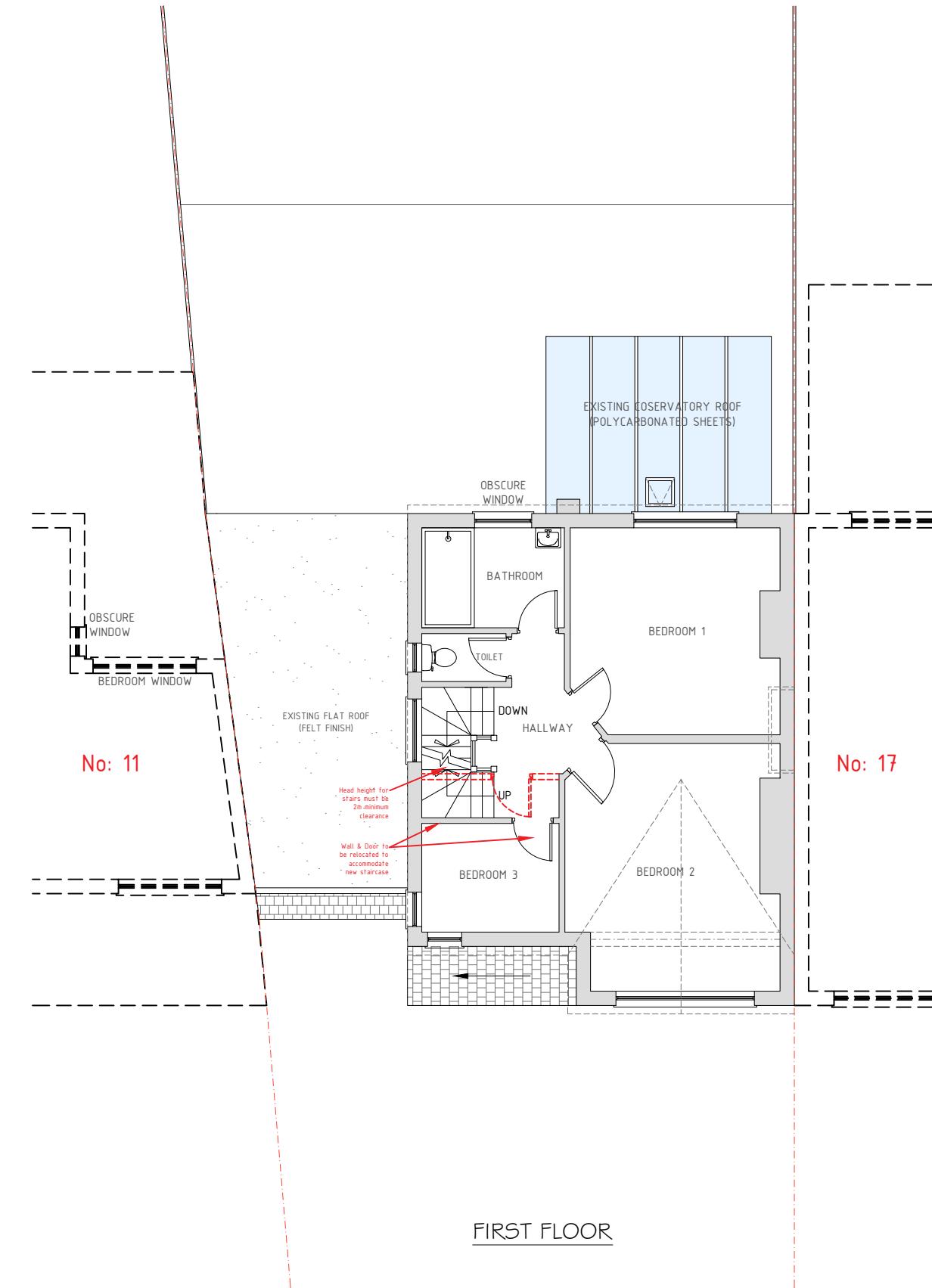
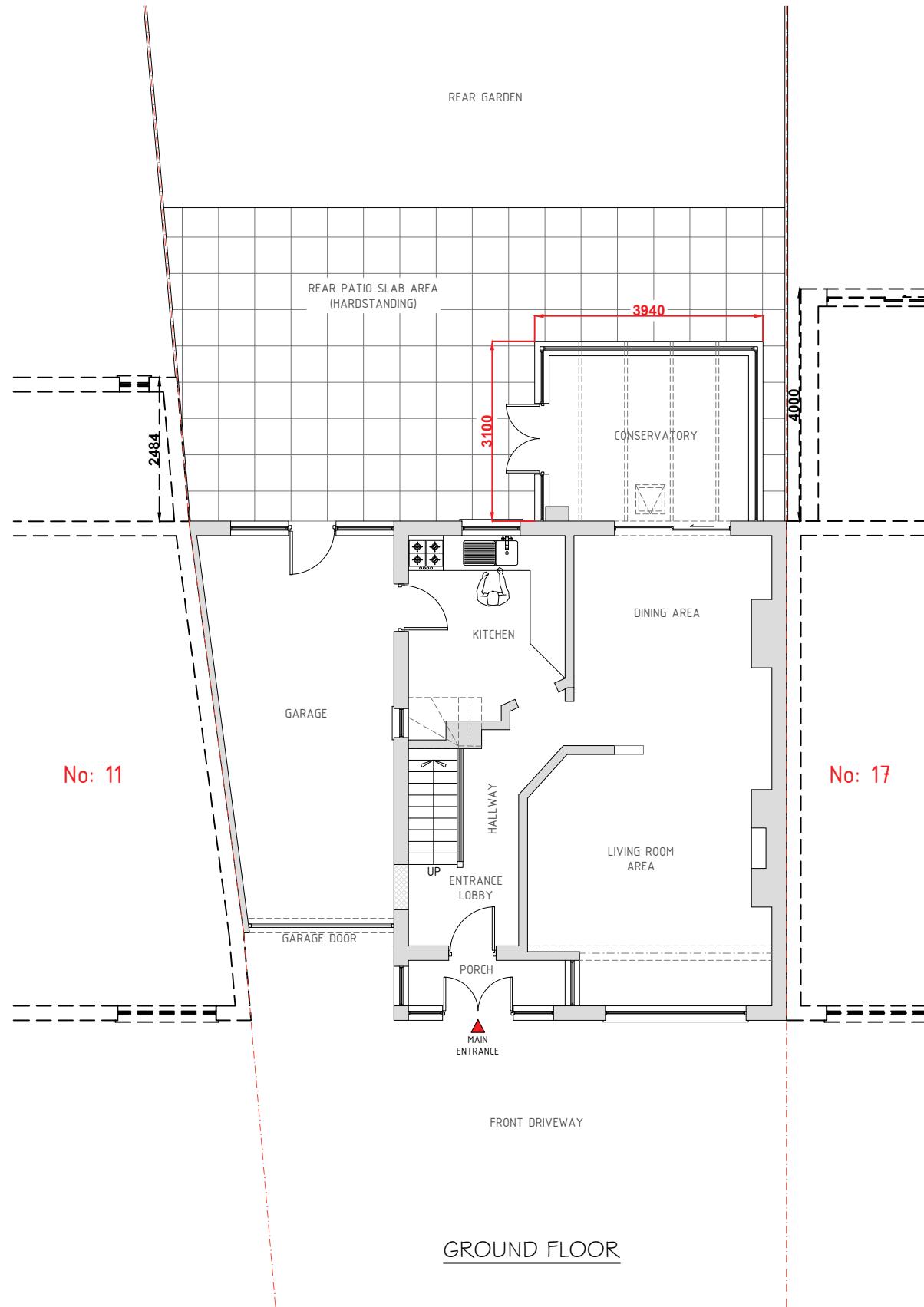
Site :
 15 Boldmere Road
 Pinner
 HA5 1PJ

Project Title :
 Planning Application for a Rear
 Loft Dormer Extension & Internal
 Re-Configuration Under
 Certificate of Lawfulness Planning
 Application

Client :
 Mr. Himesh Pindoria
 15 Boldmere Road
 Pinner
 HA5 1PJ

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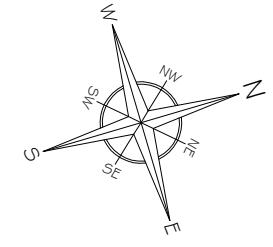
Project Ref No : ABP-BRP15-01	Sheet No : P-2
Date : March 2025	
Scale : 1:100 @ A-3	Drawn By : ABP



PROPOSED FLOOR PLANS
Scale: 1:100

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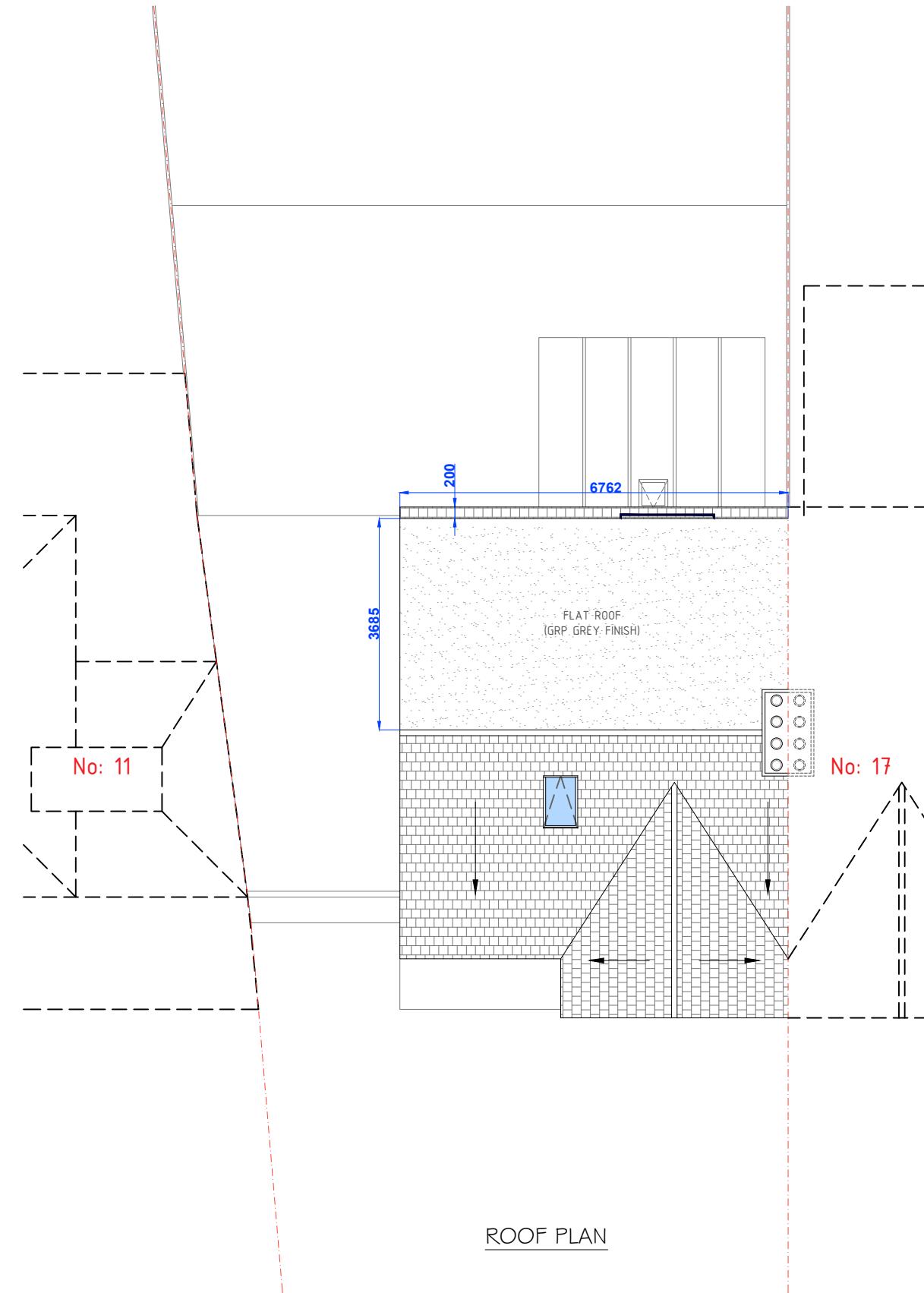
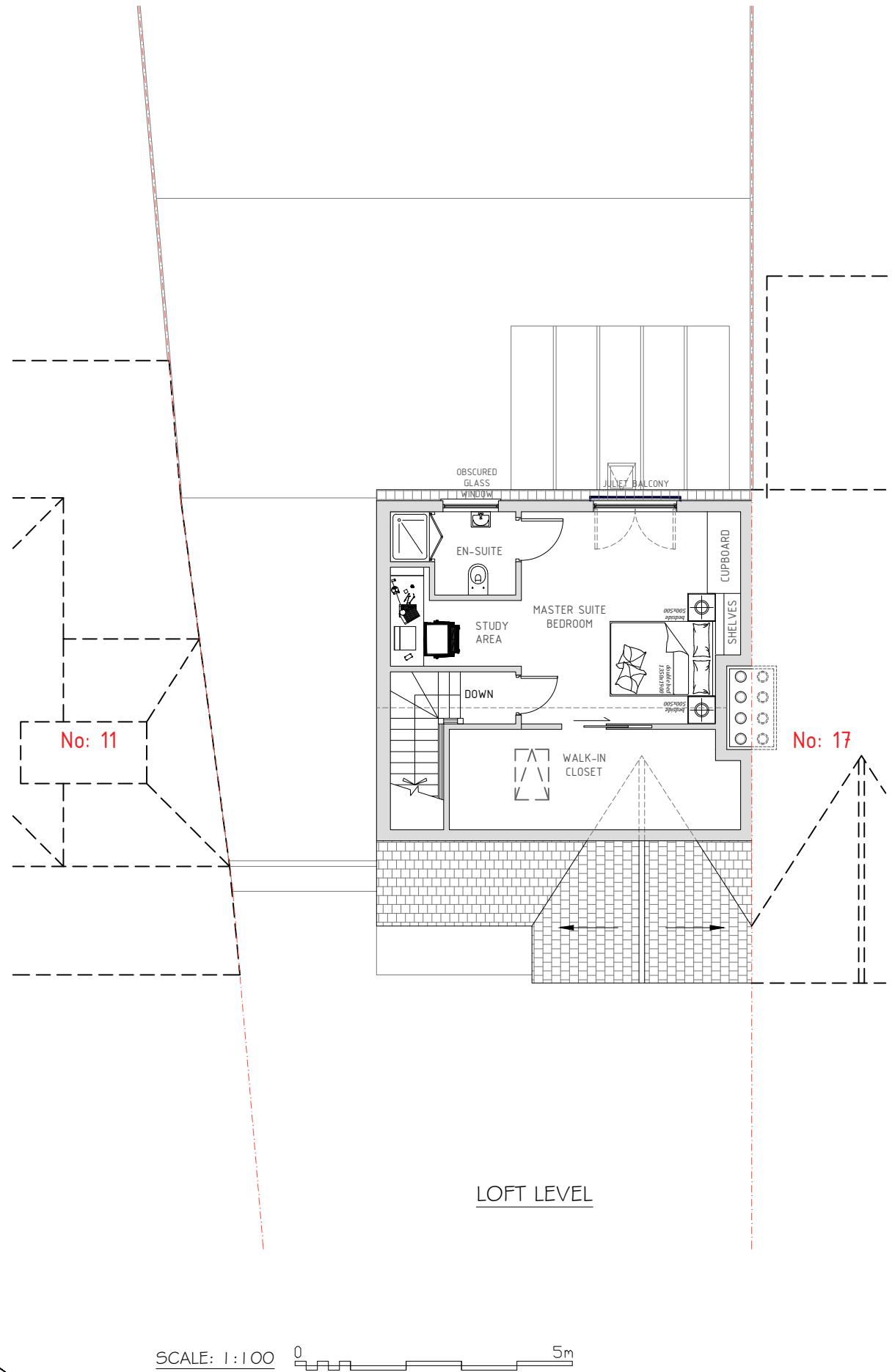
Project Ref No : ABP-BRP15-O1	Sheet No : P-3
Date : March 2025	
Scale : 1:100 @ A-3	Drawn By : ABP



Site :
15 Boldmere Road
Pinner
HA5 1PJ

Project Title :
Planning Application for a Rear
Loft Dormer Extension & Internal
Re-Configuration Under
Certificate of Lawfulness Planning
Application

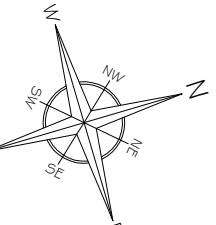
Client :
Mr. Himesh Pindoria
15 Boldmere Road
Pinner
HA5 1PJ



PROPOSED FLOOR PLANS
Scale: 1:100

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Project Ref No : ABP-BRP15-01 Sheet No : P-4
Date : March 2025
Scale : 1:100 @ A-3 Drawn By : ABP



A	Issue For Approval	03/25
No	Revision / Issue	Date

Site :
15 Boldmere Road
Pinner
HA5 1PJ

Project Title :
Planning Application for a Rear
Loft Dormer Extension & Internal
Re-Configuration Under
Certificate of Lawfulness Planning
Application

Client :
Mr. Hinesh Pindoria
15 Boldmere Road
Pinner
HA5 1PJ

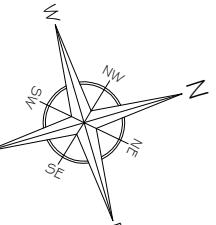


SCALE: 1:200 0 10m

EXISTING & PROPOSED ELEVATION INDICATIONS
Scale: 1/200

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Project Ref No : ABP-BRP15-01	Sheet No : P-5
Date : March 2025	
Scale : 1:200 @ A-3	Drawn By : ABP



Site :
15 Boldmere Road
Pinner
HA5 1PJ

Project Title :
Planning Application for a Rear
Loft Dormer Extension & Internal
Re-Configuration Under
Certificate of Lawfulness Planning
Application

Client :
Mr. Hinesh Pindoria
15 Boldmere Road
Pinner
HA5 1PJ

GENERAL NOTES:

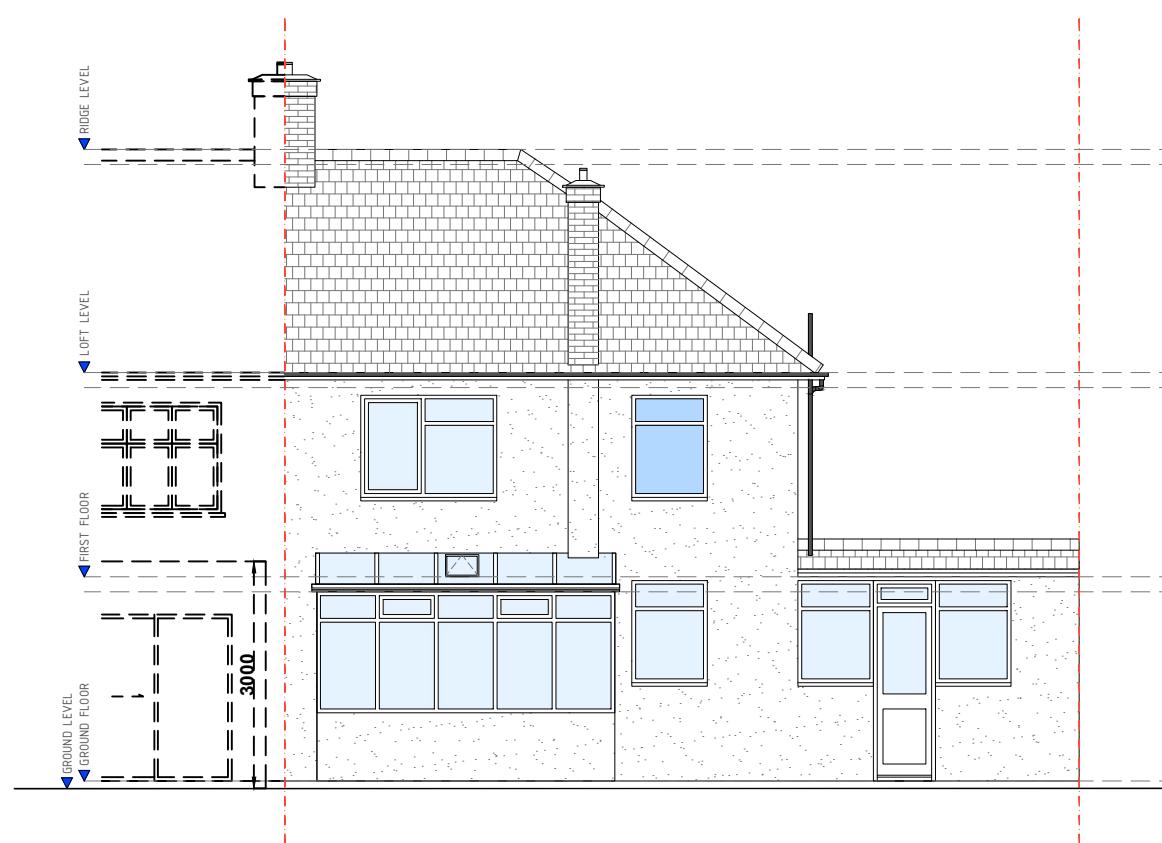
- THIS DRAWING IS READ IN CONJUNCTION WITH P-5 (ELEVATION INDICATION PLANS & EXTENSION AREA)



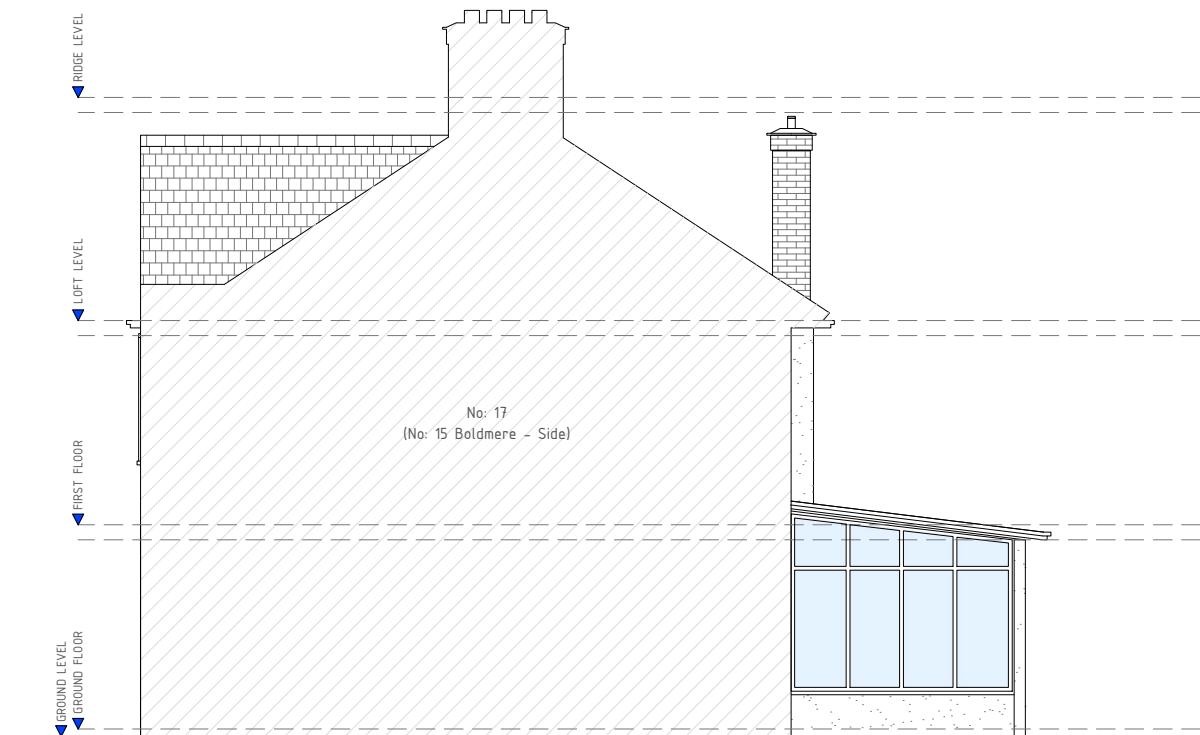
FRONT ELEVATION (A)



FLANK ELEVATION (B)
[LEFT SIDE]



REAR ELEVATION (C)



FLANK ELEVATION (D)
[RIGHT SIDE]

EXISTING ELEVATIONS
Scale: 1:100

SCALE: 1:100 0 5m

Site :
15 Boldmere Road
Pinner
HA5 1PJ

Project Title :
Planning Application for a Rear
Loft Dormer Extension & Internal
Re-Configuration Under
Certificate of Lawfulness Planning
Application

Client :
Mr. Hinesh Pindoria
15 Boldmere Road
Pinner
HA5 1PJ

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Project Ref No : ABP-BRP15-O1	Sheet No : P-6
Date : March 2025	
Scale : 1:100 @ A-3	Drawn By : ABP

GENERAL NOTES:
REFER TO DRAWING P-5 FOR ELEVATION INDICATIONS

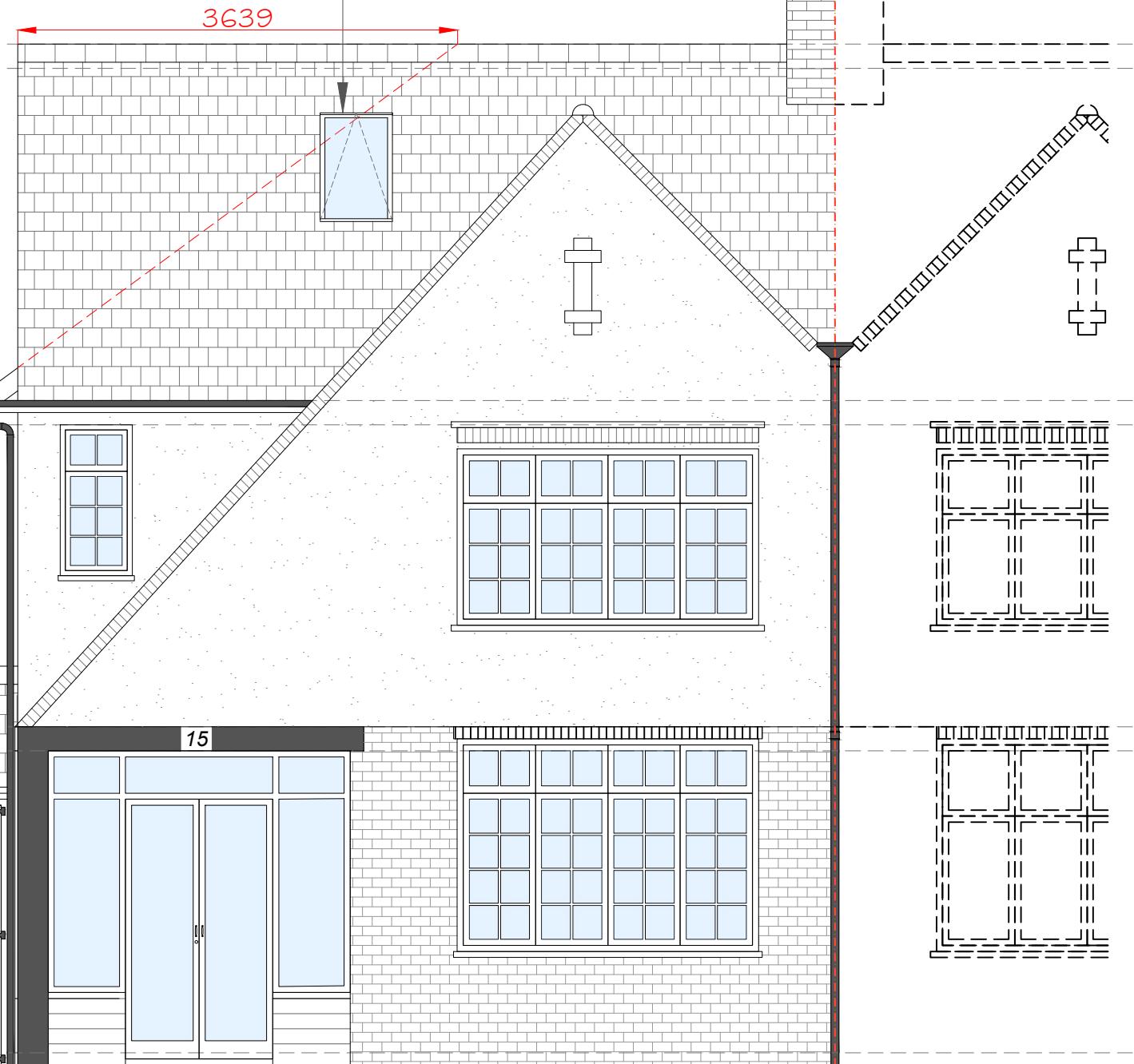
▼ RIDGE LEVEL

▼ LOFT LEVEL

▼ FIRST FLOOR

▼ GROUND FLOOR

PROPOSED VELUX WINDOW NOT TO EXCEED 150mm
PROTECTION OFF THE EXISTING FRONT ROOF SLOPE



SCALE: 1:50 0 2.5m

FRONT ELEVATION (A)

PROPOSED ELEVATIONS

Scale: 1:50

VOLUME CALCULATION FOR LOFT CONVERSION:

WE OBSERVE THAT THE PERMITTED VOLUME SET UNDER THE GDPO FOR THIS PROPERTY (A SEMI-DETACHED PROPERTY) = 50m³.

COMPLIANCE IS THEREFORE ACHIEVED WHERE VOLUME OF THE HIP-TO-GABLE CONVERSION + VOLUME OF REAR DORMER IS NO GREATER THAN 50m³.

CALCULATION 1:

VOLUME OF HIP-TO-GABLE CONVERSION = VOLUME OF A PYRAMID
VOLUME OF HIP-TO-GABLE CONVERSION = $((2.7 \times 7.55) / 2) \times 3.63 / 3 = 12.33m^3$

CALCULATION 2:

VOLUME OF DORMER = VOLUME OF TRIANGULAR PRISM
VOLUME OF DORMER = $(2.6 \times 3.63) / 2 \times 6.78 = 31.99m^3$

TOTAL VOLUME OF PROPOSED DEVELOPMENT:
VOLUME OF HIP-TO-GABLE CONVERSION + VOLUME OF DORMER = $12.33m^3 + 31.99m^3 = 44.32m^3$

CONCLUSION:

TOTAL VOLUME DOES NOT EXCEED 50m³. THEREFORE THE PROPOSED DEVELOPMENT FALLS WITHIN THE VOLUME STANDARDS SET IN THE GDPO.



GENERAL NOTES:

DEPARTMENT FOR COMMUNITIES & LOCAL GOVERNMENT,
'Permitted Development for Householders', Loft Conversion to Comply with the mention document & is noted in the points below:

1) Ref: 'Class B, B. I (a)', Works on the Loft Dormer will NOT exceed the highest part of the existing roof.

2) Ref: 'Class B, B. I (c)', The cubic content of the resulting roof space would exceed the cubic of the original roof space by more than (i) 50 cubic metres in the case of a detached house. In this case we are achieving 44.32m³ within the requirements.

3) Ref: 'Class B, B.2 (a)', Point 1', Flat roof of dormer windows will not have any visual impact, so Lead will be used for the flat roof of the dormer.

4) Ref: 'Class B, B.2 (b), (aa)', The eaves of the original roof maintained and NOT altered in any way.

5) Ref: 'Class B, B.2 (b), (bb)', 200mm will be achieved from the outside edge of the eaves, to comply with the minimum 20cm requirement for a rear loft extension.

6) Ref: 'Class C, C.1 (a)', New skylight windows will be inserted on the existing loft roof slope, which will NOT exceed over 150mm beyond the plane of the slope.

A	Issue For Approval	03/25
No	Revision / Issue	Date

Site :
15 Boldmere Road
Pinner
HA5 1PJ

Project Title :
Planning Application for a Rear Loft Dormer Extension & Internal Re-Configuration Under Certificate of Lawfulness Planning Application

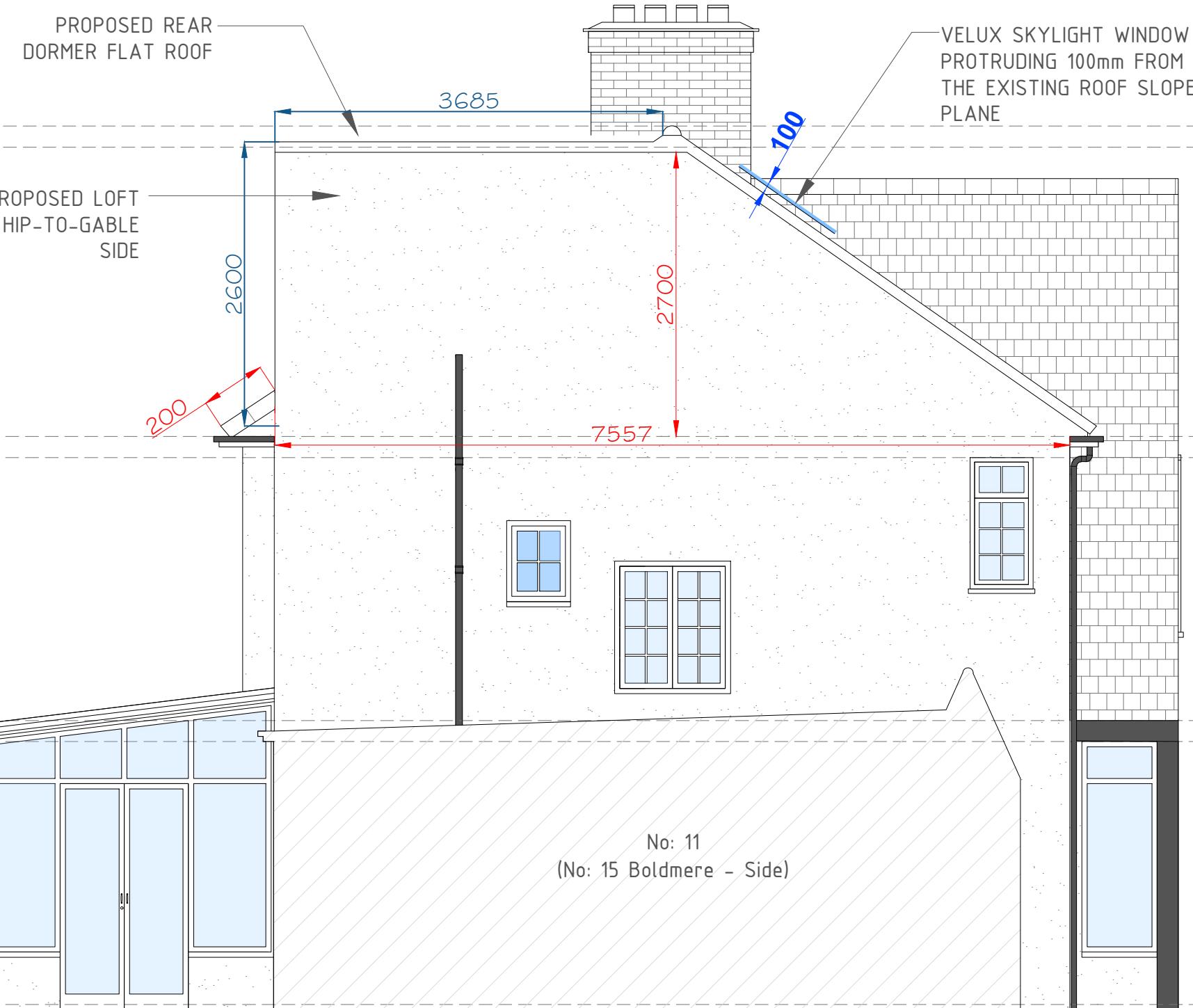
Client :
Mr. Hinesh Pindoria
15 Boldmere Road
Pinner
HA5 1PJ

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Project Ref No : ABP-BRP15-01	Sheet No : P-7
Date : March 2025	
Scale : 1:50 @ A-3	Drawn By : ABP

GENERAL NOTES:
REFER TO DRAWING P-5 FOR ELEVATION INDICATIONS

RIDGE LEVEL
LOFT LEVEL
FIRST FLOOR
GROUND FLOOR



VOLUME CALCULATION FOR LOFT CONVERSION:
WE OBSERVE THAT THE PERMITTED VOLUME SET UNDER THE GDPO FOR THIS PROPERTY (A SEMI-DETACHED PROPERTY) = 50m³.
COMPLIANCE IS THEREFORE ACHIEVED WHERE VOLUME OF THE HIP-TO-GABLE CONVERSION + VOLUME OF REAR DORMER IS NO GREATER THAN 50m³.
CALCULATION 1:
VOLUME OF HIP-TO-GABLE CONVERSION = VOLUME OF A PYRAMID
VOLUME OF HIP-TO-GABLE CONVERSION = $((2.7 \times 7.55) / 2) \times 3.63 / 3 = 12.33m^3$
CALCULATION 2:
VOLUME OF DORMER = VOLUME OF TRIANGULAR PRISM
VOLUME OF DORMER = $(2.6 \times 3.63) / 2 \times 6.78 = 31.99m^3$
TOTAL VOLUME OF PROPOSED DEVELOPMENT:
VOLUME OF HIP-TO-GABLE CONVERSION + VOLUME OF DORMER = $12.33m^3 + 31.99m^3 = 44.32m^3$
CONCLUSION:
TOTAL VOLUME DOES NOT EXCEED 50m³. THEREFORE THE PROPOSED DEVELOPMENT FALLS WITHIN THE VOLUME STANDARDS SET IN THE GDPO.



GENERAL NOTES:
DEPARTMENT FOR COMMUNITIES & LOCAL GOVERNMENT,
'Permitted Development for Householders', Loft Conversion to Comply with the mention document & is noted in the points below:

1) Ref: 'Class B, B. I (a)', Works on the Loft Dormer will NOT exceed the highest part of the existing roof.

2) Ref: 'Class B, B. I (c)', The cubic content of the resulting roof space would exceed the cubic of the original roof space by more than (i) 50 cubic metres in the case of a detached house. In this case we are achieving 44.32m³ within the requirements.

3) Ref: 'Class B, B.2 (a)', Flat roof of dormer windows will not have any visual impact, so Lead will be used for the flat roof of the dormer.

4) Ref: 'Class B, B.2 (b), (aa)', The eaves of the original roof maintained and NOT altered in any way.

5) Ref: 'Class B, B.2 (b), (bb)', 200mm will be achieved from the outside edge of the eaves, to comply with the minimum 20cm requirement for a rear loft extension.

6) Ref: 'Class C, C.1 (a)', New skylight windows will be inserted on the existing loft roof slope, which will NOT exceed over 150mm beyond the plane of the slope.

A	Issue For Approval	03/25
No	Revision / Issue	Date

Site :
15 Boldmere Road
Pinner
HA5 1PJ

Project Title :
Planning Application for a Rear Loft Dormer Extension & Internal Re-Configuration Under Certificate of Lawfulness Planning Application

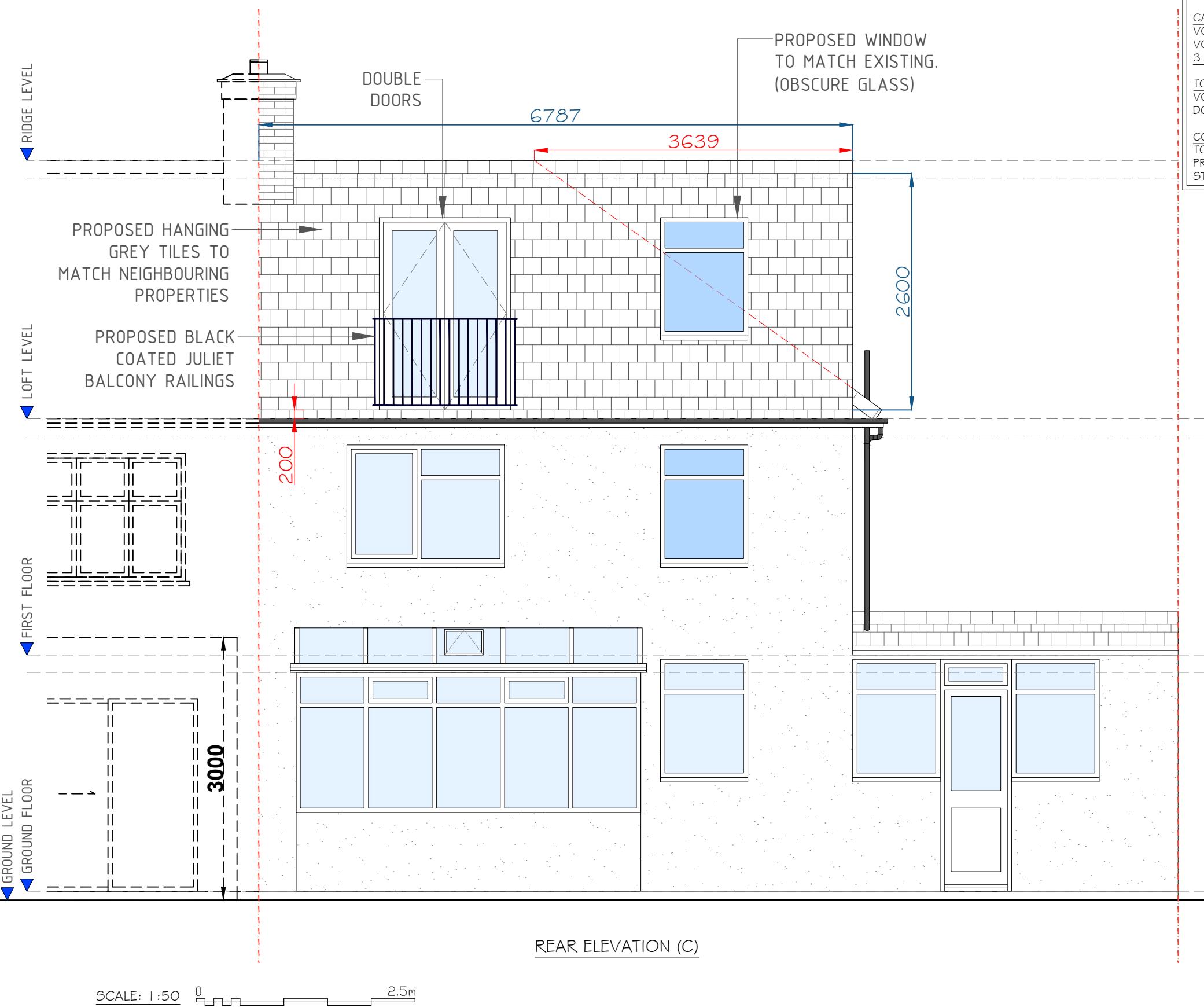
Client :
Mr. Hinesh Pindoria
15 Boldmere Road
Pinner
HA5 1PJ

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Project Ref No :
ABP-BRP15-01
Sheet No :
P-8
Date :
March 2025
Scale :
1:50 @ A-3
Drawn By :
ABP

PROPOSED ELEVATIONS
Scale: 1/50

GENERAL NOTES:
REFER TO DRAWING P-5 FOR ELEVATION INDICATIONS



VOLUME CALCULATION FOR LOFT CONVERSION:

WE OBSERVE THAT THE PERMITTED VOLUME SET UNDER THE GDPO FOR THIS PROPERTY (A SEMI-DETACHED PROPERTY) = 50m³.

COMPLIANCE IS THEREFORE ACHIEVED WHERE VOLUME OF THE HIP-TO-GABLE CONVERSION + VOLUME OF REAR DORMER IS NO GREATER THAN 50m³.

CALCULATION 1:
VOLUME OF HIP-TO-GABLE CONVERSION = VOLUME OF A PYRAMID
VOLUME OF HIP-TO-GABLE CONVERSION = $((2.7 \times 7.55) / 2) \times 3.63 / 3 = 12.33m^3$

CALCULATION 2:
VOLUME OF DORMER = VOLUME OF TRIANGULAR PRISM
VOLUME OF DORMER = $(2.6 \times 3.63) / 2 \times 6.78 = 31.99m^3$

TOTAL VOLUME OF PROPOSED DEVELOPMENT:
VOLUME OF HIP-TO-GABLE CONVERSION + VOLUME OF DORMER = $12.33m^3 + 31.99m^3 = 44.32m^3$

CONCLUSION:
TOTAL VOLUME DOES NOT EXCEED 50m³. THEREFORE THE PROPOSED DEVELOPMENT FALLS WITHIN THE VOLUME STANDARDS SET IN THE GDPO.



GENERAL NOTES:
DEPARTMENT FOR COMMUNITIES & LOCAL GOVERNMENT,
'Permitted Development for Householders', Loft Conversion to Comply with the mention document & is noted in the points below:

1) Ref: 'Class B, B. I (a)', Works on the Loft Dormer will NOT exceed the highest part of the existing roof.

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3) Ref: 'Class B, B.2 (a)', Flat roof of dormer windows will not have any visual impact, so Lead will be used for the flat roof of the dormer.

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5) Ref: 'Class B, B.2 (b), (bb)', 200mm will be achieved from the outside edge of the eaves, to comply with the minimum 20cm requirement for a rear loft extension.

6) Ref: 'Class C, C.1 (a)', New skylight windows will be inserted on the existing loft roof slope, which will NOT exceed over 150mm beyond the plane of the slope.

A	Issue For Approval	03/25
No	Revision / Issue	Date

Site :
15 Boldmere Road
Pinner
HA5 1PJ

Project Title :
Planning Application for a Rear Loft Dormer Extension & Internal Re-Configuration Under Certificate of Lawfulness Planning Application

Client :
Mr. Hinesh Pindoria
15 Boldmere Road
Pinner
HA5 1PJ

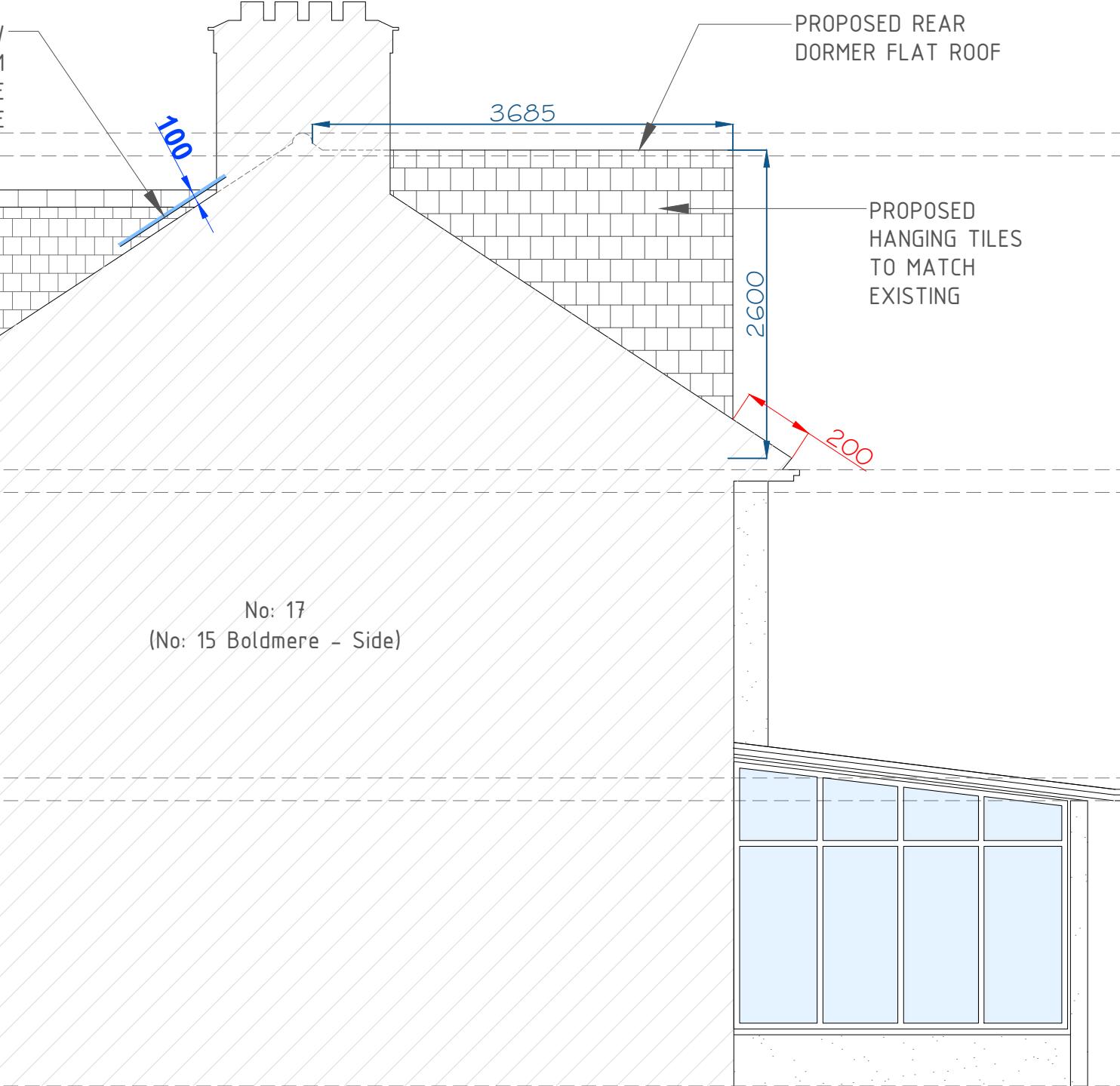
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Project Ref No : ABP-BRP15-01
Sheet No : P-9
Date : March 2025
Scale : 1:50 @ A-3
Drawn By : ABP

GENERAL NOTES:
REFER TO DRAWING P-5 FOR ELEVATION INDICATIONS

▼ RIDGE LEVEL

VELUX SKYLIGHT WINDOW
PROTRUDING 100mm FROM
THE EXISTING ROOF SLOPE
PLANE



SCALE: 1:50 0 2.5m

FLANK ELEVATION (D)

PROPOSED ELEVATIONS

Scale: 1:50

VOLUME CALCULATION FOR LOFT CONVERSION:

WE OBSERVE THAT THE PERMITTED VOLUME SET UNDER THE GDPO FOR THIS PROPERTY (A SEMI-DETACHED PROPERTY) = 50m³.

COMPLIANCE IS THEREFORE ACHIEVED WHERE VOLUME OF THE HIP-TO-GABLE CONVERSION + VOLUME OF REAR DORMER IS NO GREATER THAN 50m³.

CALCULATION 1:

VOLUME OF HIP-TO-GABLE CONVERSION = VOLUME OF A PYRAMID
VOLUME OF HIP-TO-GABLE CONVERSION = $((2.7 \times 7.55) / 2) \times 3.63 / 3 = 12.33m^3$

CALCULATION 2:

VOLUME OF DORMER = VOLUME OF TRIANGULAR PRISM
VOLUME OF DORMER = $(2.6 \times 3.63) / 2 \times 6.78 = 31.99m^3$

TOTAL VOLUME OF PROPOSED DEVELOPMENT:
VOLUME OF HIP-TO-GABLE CONVERSION + VOLUME OF DORMER = $12.33m^3 + 31.99m^3 = 44.32m^3$

CONCLUSION:

TOTAL VOLUME DOES NOT EXCEED 50m³. THEREFORE THE PROPOSED DEVELOPMENT FALLS WITHIN THE VOLUME STANDARDS SET IN THE GDPO.

ABP
ARCHITECTURAL SERVICES

GENERAL NOTES:

DEPARTMENT FOR COMMUNITIES & LOCAL GOVERNMENT,
'Permitted Development for Householders', Loft Conversion to Comply with the mention document & is noted in the points below:

1) Ref: 'Class B, B. I (a)', Works on the Loft Dormer will NOT exceed the highest part of the existing roof.

2) Ref: 'Class B, B. I (c)', The cubic content of the resulting roof space would exceed the cubic of the original roof space by more than (i) 50 cubic metres in the case of a detached house. In this case we are achieving 44.32m³ within the requirements.

3) Ref: 'Class B, B.2 (a)', Flat roof of dormer windows will not have any visual impact, so Lead will be used for the flat roof of the dormer.

4) Ref: 'Class B, B.2 (b), (aa)', The eaves of the original roof maintained and NOT altered in any way.

5) Ref: 'Class B, B.2 (b), (bb)', 200mm will be achieved from the outside edge of the eaves, to comply with the minimum 20cm requirement for a rear loft extension.

6) Ref: 'Class C, C.1 (a)', New skylight windows will be inserted on the existing loft roof slope, which will NOT exceed over 150mm beyond the plane of the slope.

A	Issue For Approval	03/25
No	Revision / Issue	Date

Site :
15 Boldmere Road
Pinner
HA5 1PJ

Project Title :
Planning Application for a Rear Loft Dormer Extension & Internal Re-Configuration Under Certificate of Lawfulness Planning Application

Client :
Mr. Himesh Pindoria
15 Boldmere Road
Pinner
HA5 1PJ

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Project Ref No :
ABP-BRP15-01
Sheet No :
P-10
Date :
March 2025
Scale :
1:50 @ A-3
Drawn By :
ABP