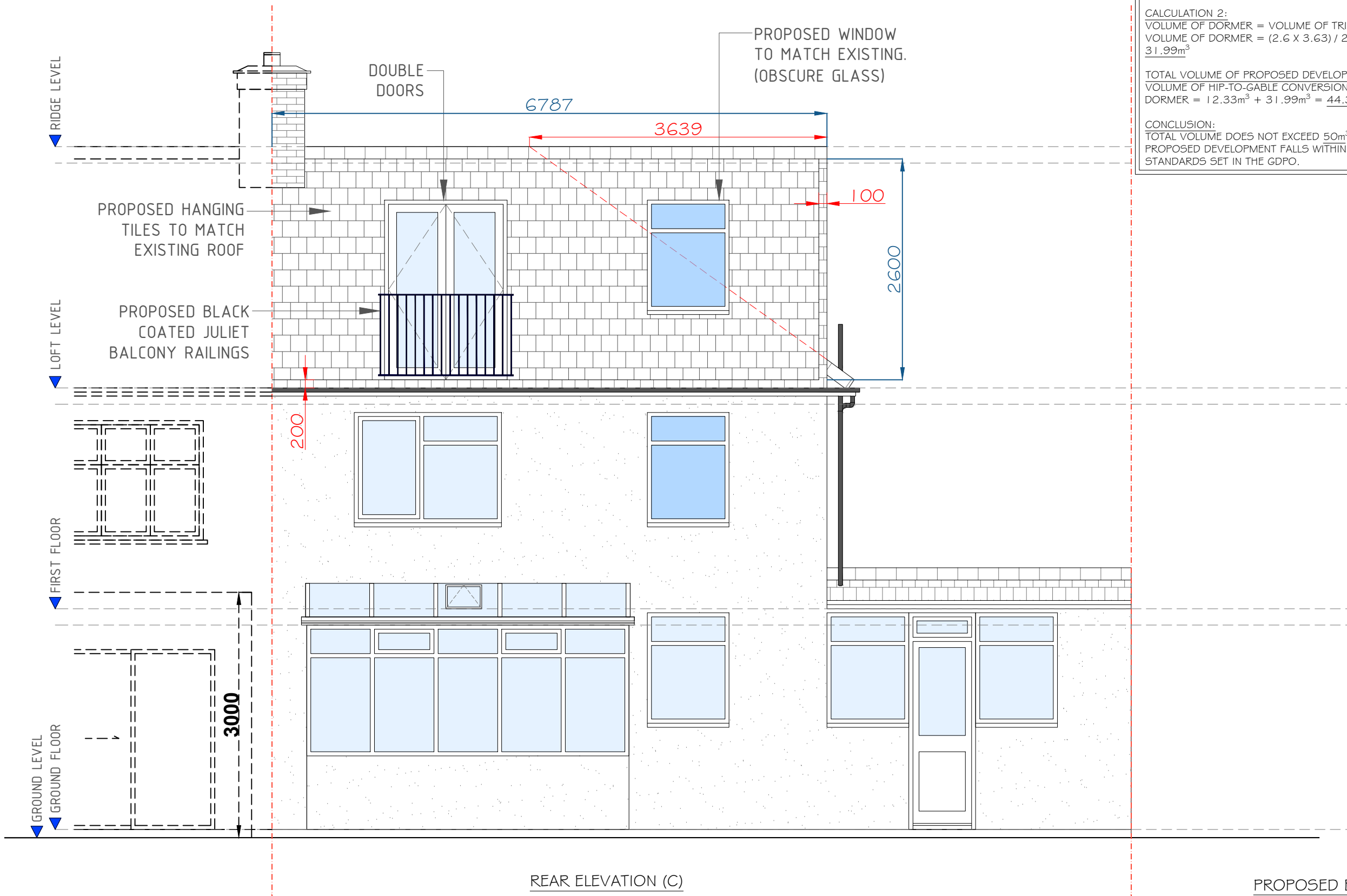


GENERAL NOTES:
REFER TO DRAWING P-5 FOR
ELEVATION INDICATIONS



SCALE: 1:50 0 2.5m

VOLUME CALCULATION FOR LOFT CONVERSION:

WE OBSERVE THAT THE PERMITTED VOLUME SET UNDER THE GDPO FOR THIS PROPERTY (A SEMI-DETACHED PROPERTY) = $50m^3$.

COMPLIANCE IS THEREFORE ACHIEVED WHERE VOLUME OF THE HIP-TO-GABLE CONVERSION + VOLUME OF REAR DORMER IS NO GREATER THAN $50m^3$.

CALCULATION 1:
VOLUME OF HIP-TO-GABLE CONVERSION = VOLUME OF A PYRAMID
VOLUME OF HIP-TO-GABLE CONVERSION = $\frac{((2.7 \times 7.55) / 2) \times 3.63}{3} = 12.33m^3$

CALCULATION 2:
VOLUME OF DORMER = VOLUME OF TRIANGULAR PRISM
VOLUME OF DORMER = $\frac{(2.6 \times 3.63) \times 2 \times 6.78}{2} = 31.99m^3$

TOTAL VOLUME OF PROPOSED DEVELOPMENT:
VOLUME OF HIP-TO-GABLE CONVERSION + VOLUME OF DORMER = $12.33m^3 + 31.99m^3 = 44.32m^3$

CONCLUSION:
TOTAL VOLUME DOES NOT EXCEED $50m^3$. THEREFORE THE PROPOSED DEVELOPMENT FALLS WITHIN THE VOLUME STANDARDS SET IN THE GDPO.



GENERAL NOTES:

DEPARTMENT FOR COMMUNITIES & LOCAL GOVERNMENT, 'Permitted Development for Householders'. Loft Conversion to Comply with the mention document & is noted in the points below:

1) Ref: 'Class B, B.1 (a)', Works on the Loft Dormer will NOT exceed the highest part of the existing roof.

2) Ref: 'Class B, B.1 (c)', The cubic content of the resulting roof space would exceed the cubic of the original roof space by more than (i) 50 cubic metres in the case of a detached house. In this case we are achieving $44.32m^3$ within the requirements.

3) Ref: 'Class B, B.2 (a), point 1', Flat roof of dormer windows will not have any visual impact, so Lead will be used for the flat roof of the dormer.

4) Ref: 'Class B, B.2 (b), (aa)', The eaves of the original roof maintained and NOT altered in any way.

5) Ref: 'Class B, B.2 (b), (bb)', 200mm will be achieved from the outside edge of the eaves, to comply with the minimum 20cm requirement for a rear loft extension.

6) Ref: 'Class C, C.1 (a)', New skylight windows will be inserted on the existing loft roof slope, which will NOT exceed over 150mm beyond the plane of the slope.

B	Issue For Approval	05/25
A	Issue For Approval	03/25
No	Revision / Issue	Date

Site :

15 Boldmere Road
Pinner
HA5 1PJ

Project Title :

Planning Application for a Rear Loft Dormer Extension & Internal Re-Configuration Under Certificate of Lawfulness Planning Application

Client :

Mr. Hinesh Pindoria
15 Boldmere Road
Pinner
HA5 1PJ

Do not alter or amend the scale from this drawing. The information may be suitable for discussion purposes and for obtaining Planning Approval Only. This drawing is NOT for construction purposes and should not be relied upon for any other works. This drawing should not be copied or altered in any way except by way of written permission from the designers. Discrepancies may occur from onsite dimensions to this drawing issued. ABP Architectural Services Ltd will not be held liable for any discrepancies raised from this drawing and onsite dimensions.

Project Ref No : ABP-BRP15-01	Sheet No : P-9
Date : March 2025	Revision : B
Scale : 1:50 @ A-3	Drawn By : ABP

PROPOSED ELEVATIONS
Scale: 1/50