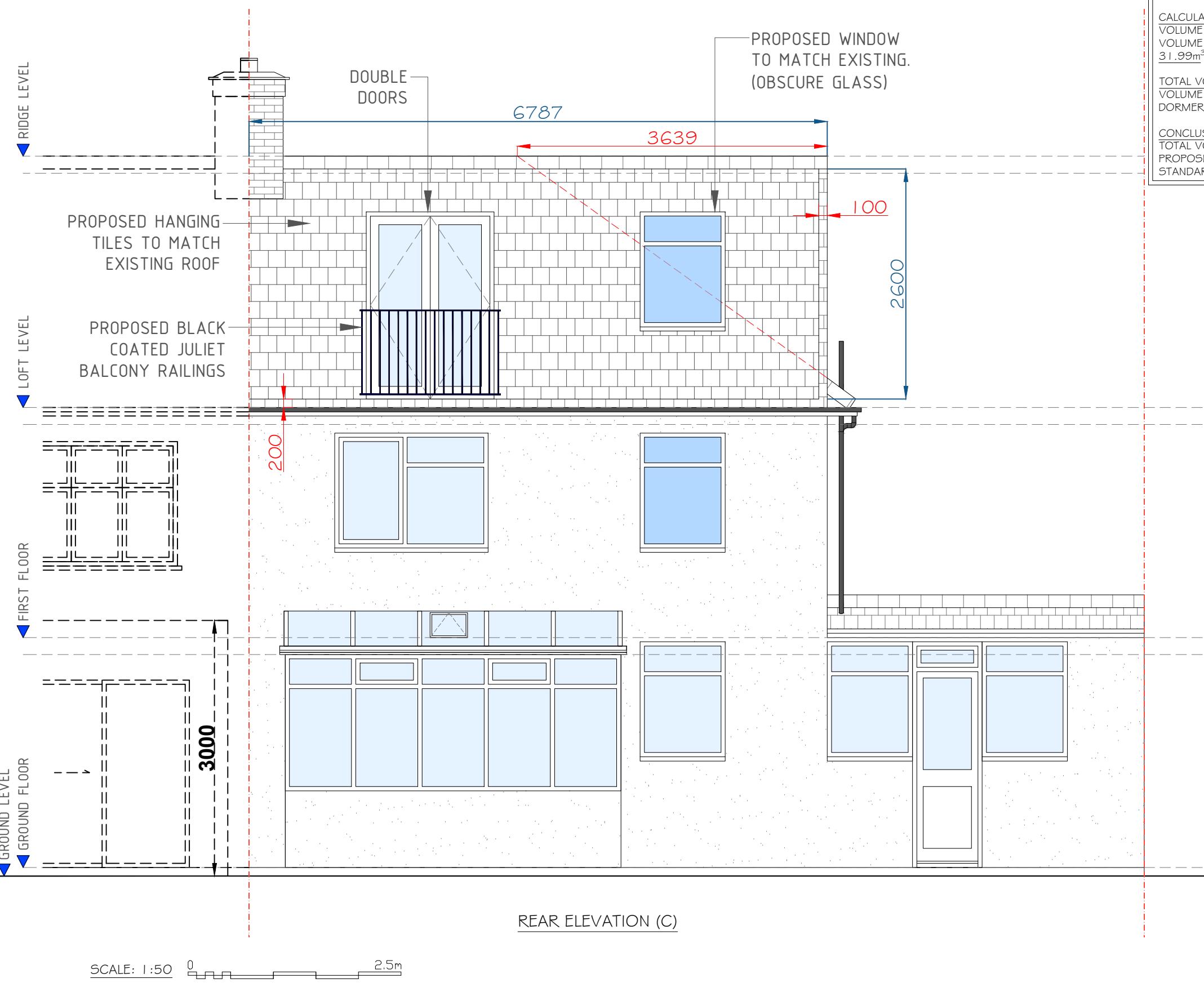


GENERAL NOTES:
REFER TO DRAWING P-5 FOR ELEVATION INDICATIONS



VOLUME CALCULATION FOR LOFT CONVERSION:
WE OBSERVE THAT THE PERMITTED VOLUME SET UNDER THE GDPO FOR THIS PROPERTY (A SEMI-DETACHED PROPERTY) = 50m³.
COMPLIANCE IS THEREFORE ACHIEVED WHERE VOLUME OF THE HIP-TO-GABLE CONVERSION + VOLUME OF REAR DORMER IS NO GREATER THAN 50m³.

CALCULATION 1:
VOLUME OF HIP-TO-GABLE CONVERSION = VOLUME OF A PYRAMID
VOLUME OF HIP-TO-GABLE CONVERSION = $((2.7 \times 7.55) / 2) \times 3.63 / 3 = 12.33m^3$

CALCULATION 2:
VOLUME OF DORMER = VOLUME OF TRIANGULAR PRISM
VOLUME OF DORMER = $(2.6 \times 3.63) / 2 \times 6.78 = 31.99m^3$

TOTAL VOLUME OF PROPOSED DEVELOPMENT:
VOLUME OF HIP-TO-GABLE CONVERSION + VOLUME OF DORMER = $12.33m^3 + 31.99m^3 = 44.32m^3$

CONCLUSION:
TOTAL VOLUME DOES NOT EXCEED 50m³. THEREFORE THE PROPOSED DEVELOPMENT FALLS WITHIN THE VOLUME STANDARDS SET IN THE GDPO.



GENERAL NOTES:
DEPARTMENT FOR COMMUNITIES & LOCAL GOVERNMENT,
'Permitted Development for Householders' Loft Conversion to Comply with the mention document & is noted in the points below:

1) Ref: 'Class B, B. I (a)', Works on the Loft Dormer will NOT exceed the highest part of the existing roof.

2) Ref: 'Class B, B. I (c)', The cubic content of the resulting roof space would exceed the cubic of the original roof space by more than (i) 50 cubic metres in the case of a detached house. In this case we are achieving 44.32m³ within the requirements.

3) Ref: 'Class B, B.2 (a)', Flat roof of dormer windows will not have any visual impact, so Lead will be used for the flat roof of the dormer.

4) Ref: 'Class B, B.2 (b), (aa)', The eaves of the original roof maintained and NOT altered in any way.

5) Ref: 'Class B, B.2 (b), (bb)', 200mm will be achieved from the outside edge of the eaves, to comply with the minimum 20cm requirement for a rear loft extension.

6) Ref: 'Class C, C.1 (a)', New skylight windows will be inserted on the existing loft roof slope, which will NOT exceed over 150mm beyond the plane of the slope.

B	Issue For Approval	05/25
A	Issue For Approval	03/25
No	Revision / Issue	Date

Site :
15 Boldmere Road
Pinner
HA5 1PJ

Project Title :
Planning Application for a Rear Loft Dormer Extension & Internal Re-Configuration Under Certificate of Lawfulness Planning Application

Client :
Mr. Hinesh Pindoria
15 Boldmere Road
Pinner
HA5 1PJ

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Project Ref No : ABP-BRP15-01	Sheet No : P-9
Date : March 2025	
Scale : 1:50 @ A-3	Revision : B Drawn By : ABP

PROPOSED ELEVATIONS
Scale: 1/50