

2 Truesdale Drive, Harefield, UB9 6AY

November 2024

Introduction Letter

Dear Hillingdon Council Planning Officer

This application seeks householder planning permission for a single-storey ground floor rear, side and front (porch) extension to 2 Truesdale Drive, Harefield, UB9 6AY. The property is not within a conservation area and is not listed.

The proposed works are modest in scale, and carefully consider the existing context. The proposed rear extension extends slightly beyond the existing rear extension, but is still of similar depth to the adjacent neighbouring extension. The ridge height matches the existing extension.

The proposed alterations and materials are in keeping with the character of the area, and its design, scale and layout would safeguard the amenities of neighbouring residents and adjoining land users. There are many examples of planning precedents for extensions of a similar and larger scale in the close vicinity and the wider area.

Please refer to the following pages, along with the planning drawings, to understand the proposal in context. We would also be very happy to discuss or confirm any information that you require: Please call on 07767 302318.

Yours sincerely,

Michael Morgan
MArch

Design & Access Statement

Existing Property

- The original house is a semi-detached property of residential use.
- The original house has an inner kitchen which lacks natural daylight, and there is no suitable designated dining area

Use

- The proposal does not change the property's existing use as a single-family home.
- The extensions would not create, or be capable of creating a separate dwelling.

Layout

- On the ground floor a larger open plan layout to the rear is created, connecting the kitchen and dining spaces along with a small seating area.
- A small Utility room, WC and Study fit neatly in the side extension

Amount & Scale

- The volume is subservient to, and in-keeping with, the scale of the existing property and its garden, as well as the surrounding dwellings.
- The extension is similar in size and form to many others in the area.
- The eaves are below the permitted development 3-meter limit.
- Being only single storey and of similar height and depth to the adjoining neighbours rear extension (to the south), it would have little to no impact on the southern neighbouring property.
- The side extension has no impact of the neighbour to the north.
- There will be no adverse effect on character or appearance of the area or the street.

Appearance

- All the extension materials are to match the existing building.
- The envelope will be highly insulated and utilise high quality, durable materials which match the existing context.
- All new windows and doors with glazing are to match the existing and be double or triple glazed and achieve the current building regulation u-values.
- The new pitched rooflight will be low profile and double glazed.

Access

- The proposed works retain the existing driveway and parking provisions.
- The proposal has no impact on the existing access arrangements to the property – with there still being adequate side access.
- The internal circulation has been created at maximum feasible widths to enable ease of movement.

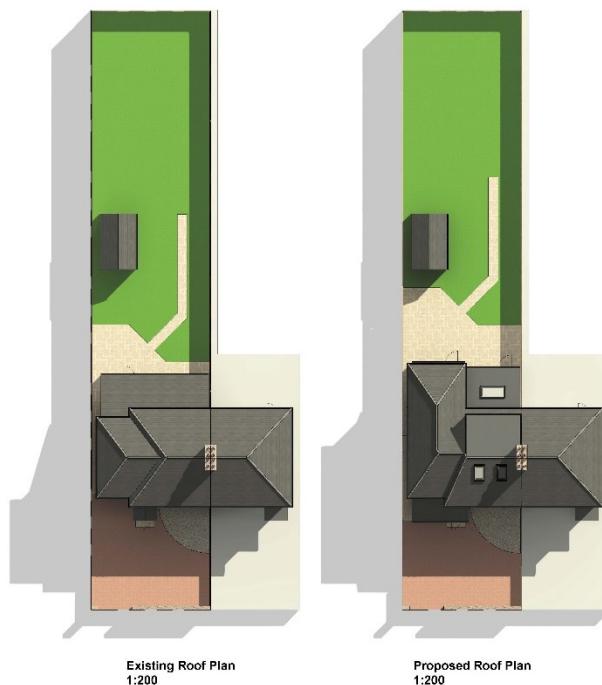
Planning Precedents

6 Truesdale Drive: Conversion of roofspace to habitable use to include raising ridge, a rear dormer and 2 front roof lights. Erection of a part single and part double storey rear/side extension. Conversion of garage to habitable use with erection of a single storey front extension and amendments to fenestrations

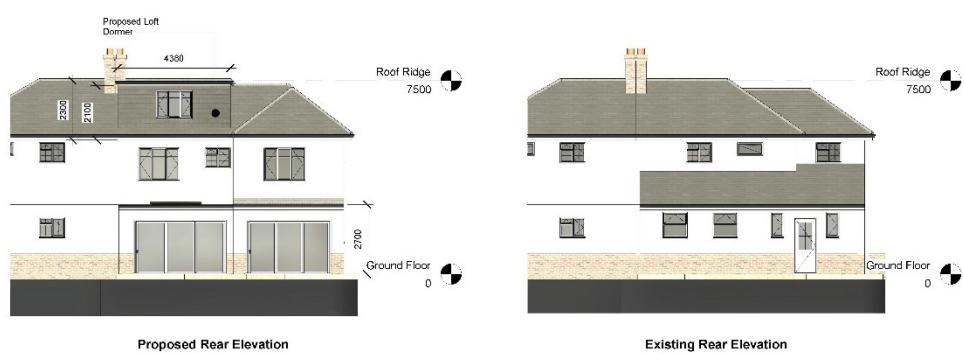
Application Ref: 47817/APP2024/777

This approved scheme is of much larger scale than the proposal.

Approved Plans



Approved Elevations

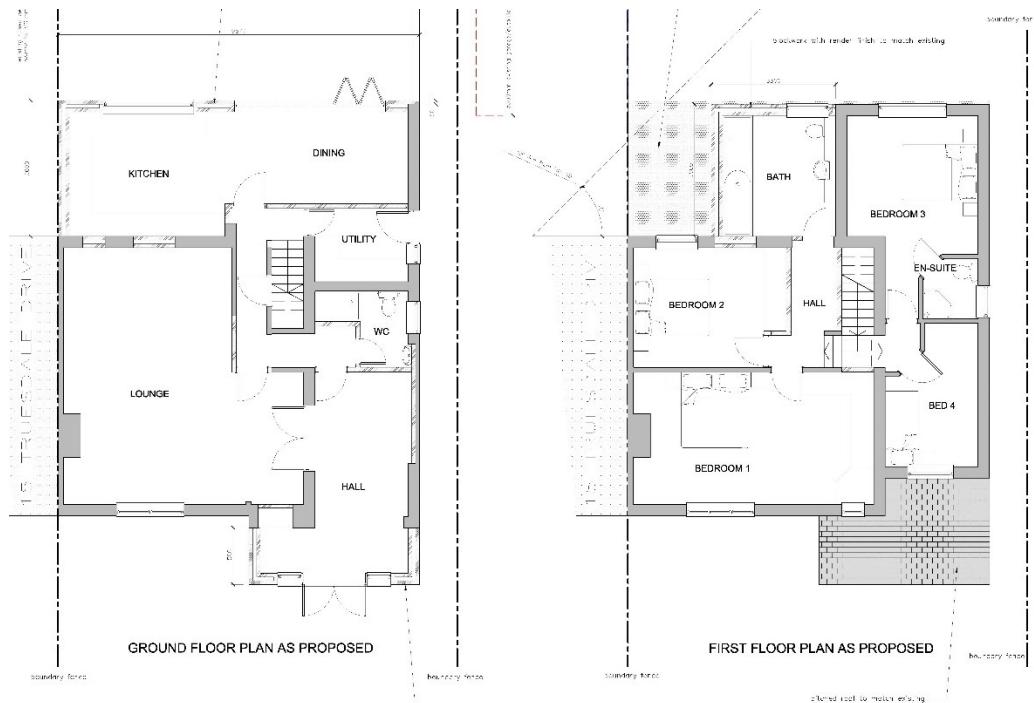


13 Truesdale Drive: Erection of a two storey rear and single storey front extension with patio

Application Ref: 60533/APP/2022/1981

This approved scheme is of much larger scale than the proposal.

Approved Plans



Approved Elevations

