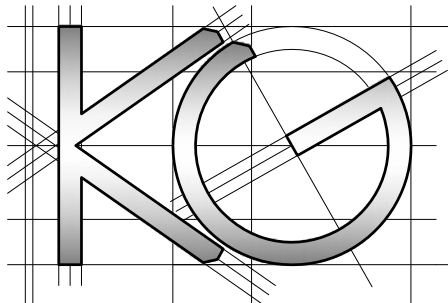
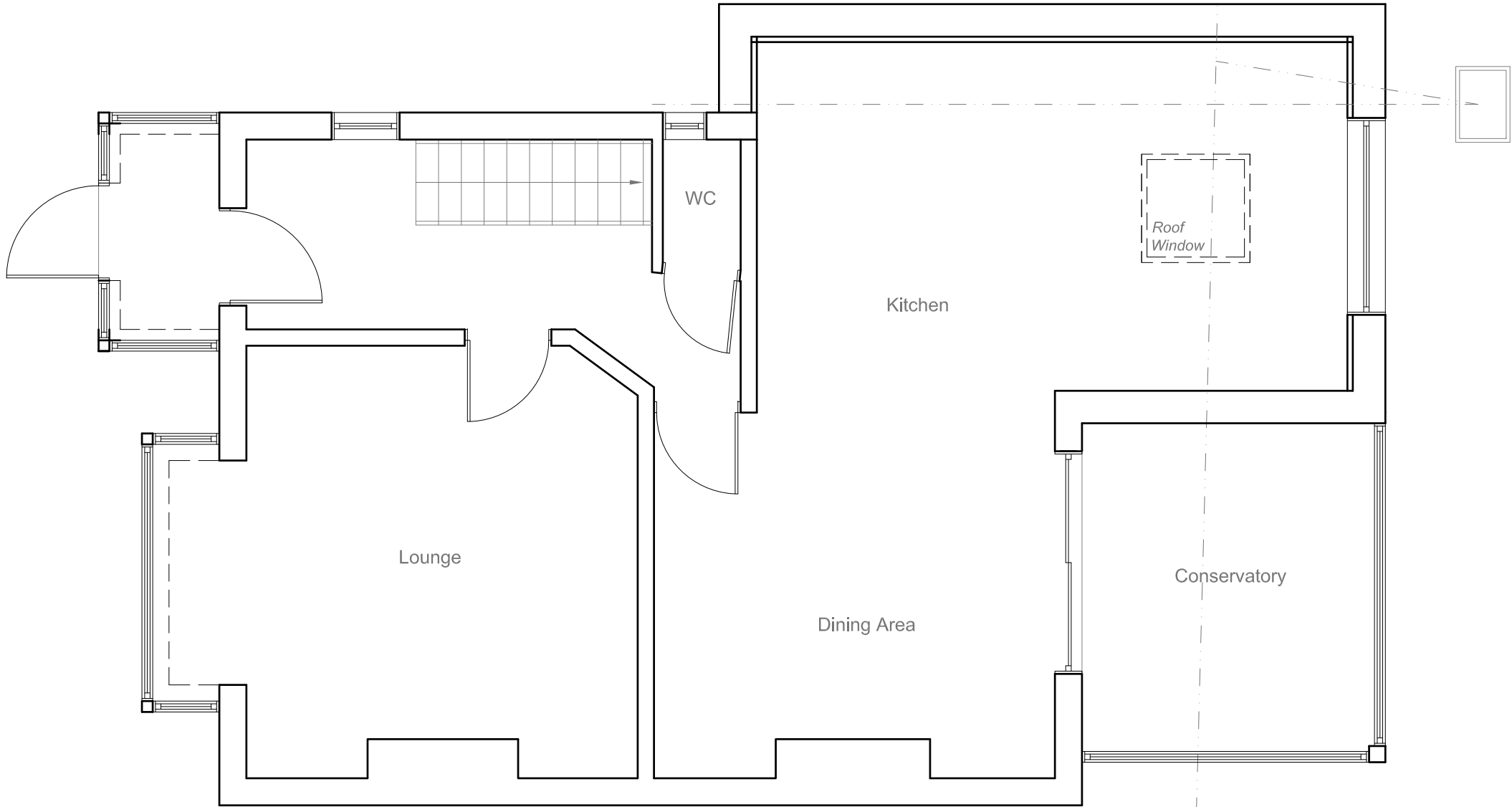


All work to comply with current building regulations and codes of practice

Do not scale from drawings
all dimensions to be checked on site before the start of any work

All Proposed External Materials to Match Existing External Materials

Any Proposed Windows to Flank wall to be Obscure Glazed and Non-Opening below 1.7m from FFL



Site Address:
68 Money Lane
West Drayton
UB7 7NX

Drawing Content:
Existing Ground Floor Plan

Drawings No:
68moneylane/2025/01

Date Drawn:
19th May 2025

Planning Issue

Drawings Scale:
1:50

Drawn By:
KG

Revision:

						7
						8

1:50

10 Meter

5

2

1

0

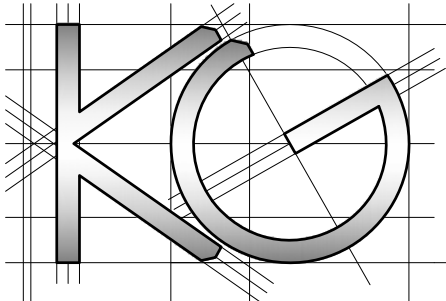
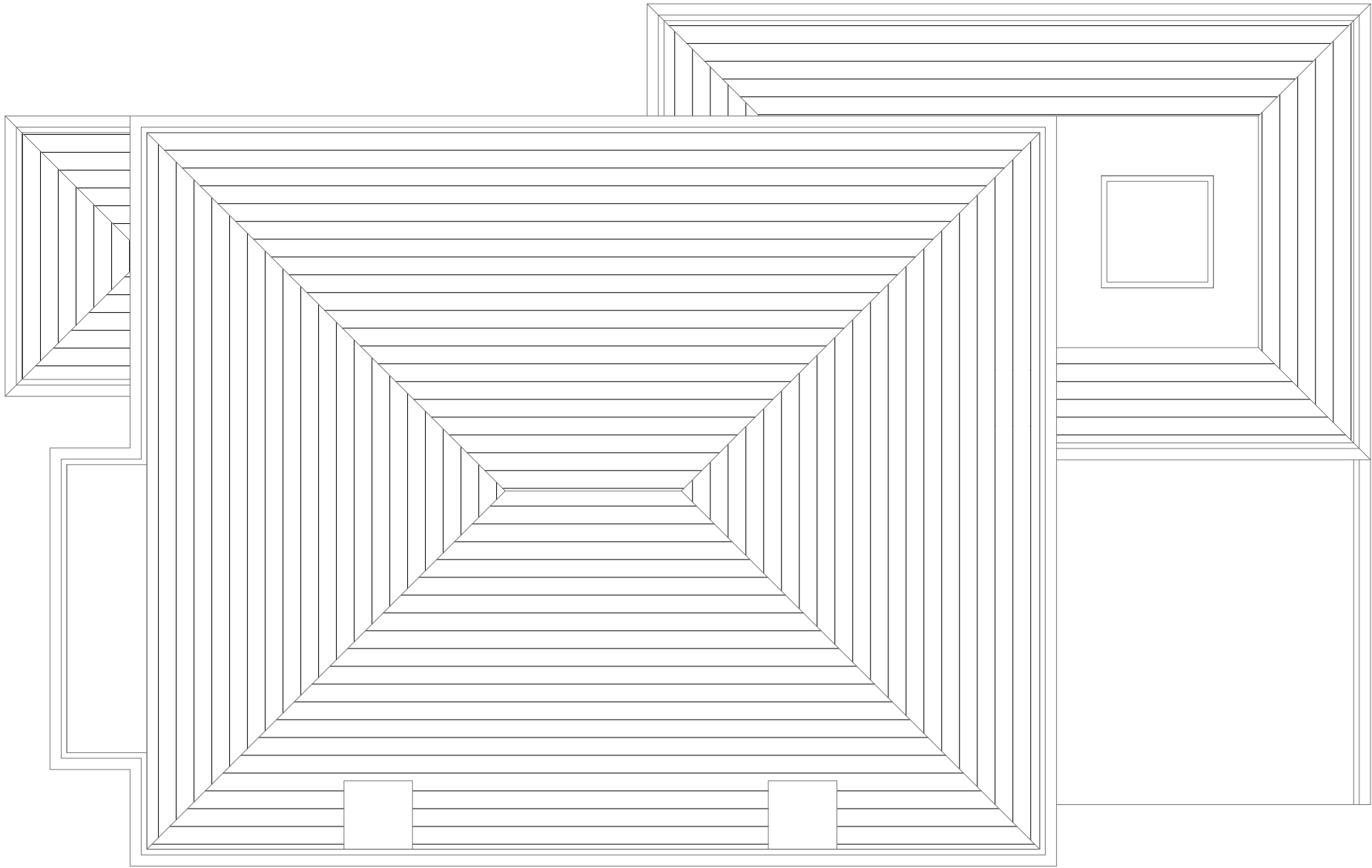
All work to comply with current building regulations and codes of practice

Do not scale from drawings

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All Proposed External Materials to Match Existing External Materials

Any Proposed Windows to Flank wall to be Obscure Glazed and Non-Opening below 1.7m from FFL



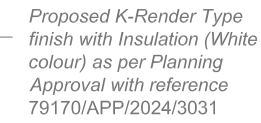
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		3		5		7	
		<u>Drawings Scale:</u> 1:50		<u>Drawn By:</u> KG		<u>Revision:</u>	
1	2	4	6	8			

Any Proposed Windows to Flank wall to be
Obscure Glazed and Non-Opening below
1.7m from FFL

A diagram of a 10-meter race track. The track is represented as a horizontal bar divided into segments. The segments are labeled with numbers: 0, 1, 2, 5, and 10 Meter. The segments are colored in a repeating pattern of white and grey. The segments are: 0 (white), 1 (grey), 2 (white), 5 (grey), and 10 Meter (white).



Existing Rear Elevation
Scale 1:100



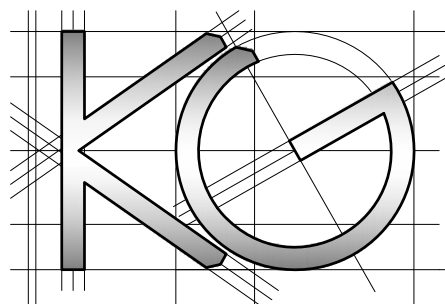
Existing Side Elevation
Scale 1:100



Existing Side Elevation
Scale 1:100



Existing Front Elevation
Scale 1:100



<u>Site Address:</u>	<u>Drawing Content:</u>	<u>Drawings No:</u>	<u>Date Drawn:</u>	Planning Issue						
68 Money Lane West Drayton UB7 7NX	Existing Elevations	68moneylane/2025/03	19th May 2025	7						
1	2	<u>Drawings Scale:</u>	<u>Drawn By:</u>	<u>Revision:</u>						
		1:100	KG						8	

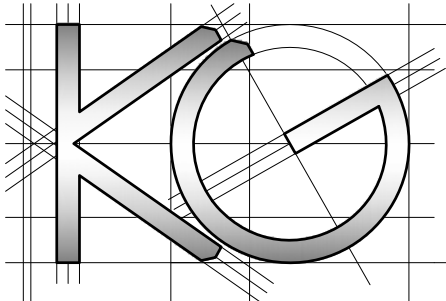
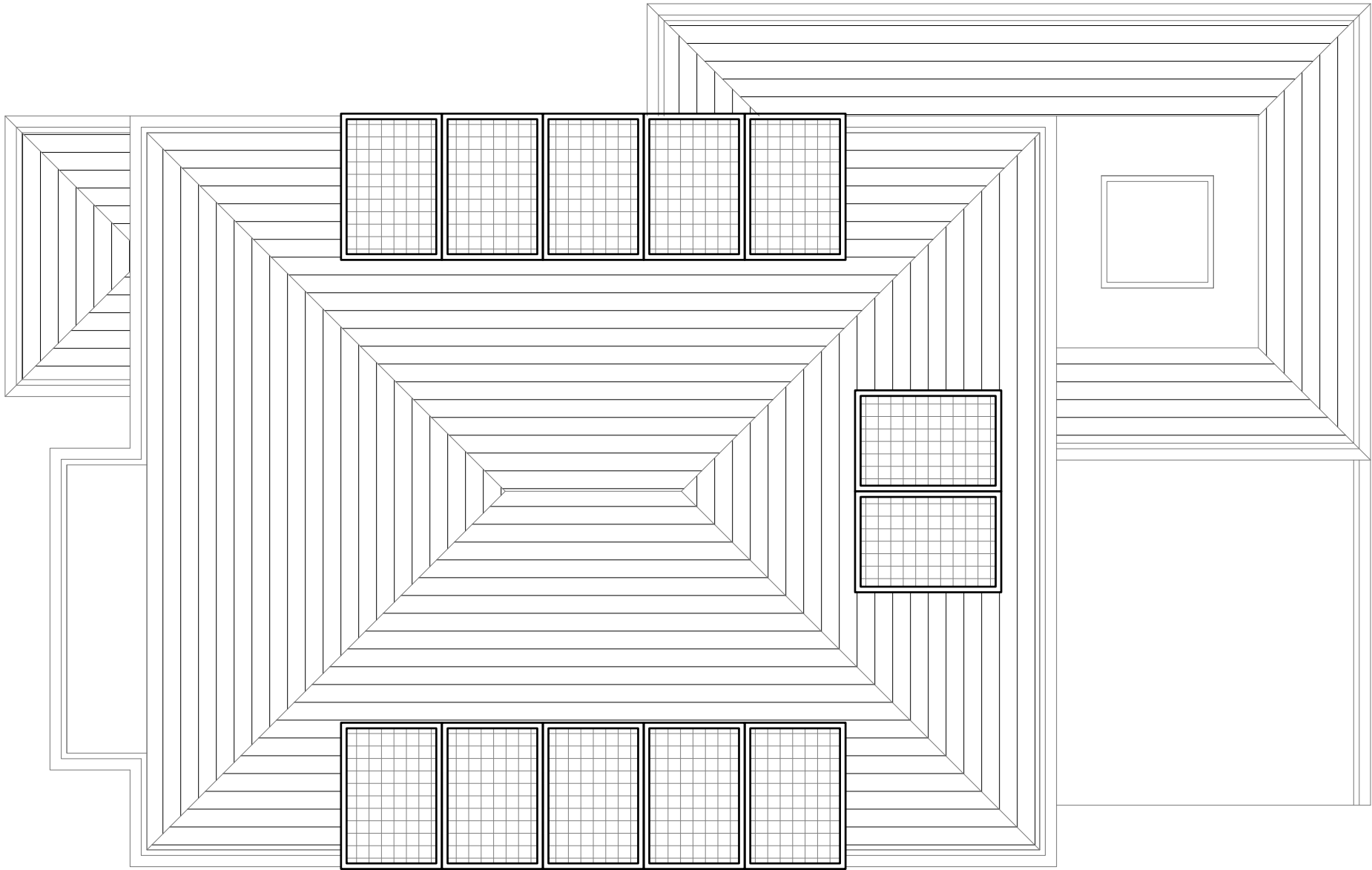
All work to comply with current building regulations and codes of practice

Do not scale from drawings

all dimensions to be checked on site before the start of any work

All Proposed External Materials to Match Existing External Materials

Any Proposed Windows to Flank wall to be Obscure Glazed and Non-Opening below 1.7m from FFL



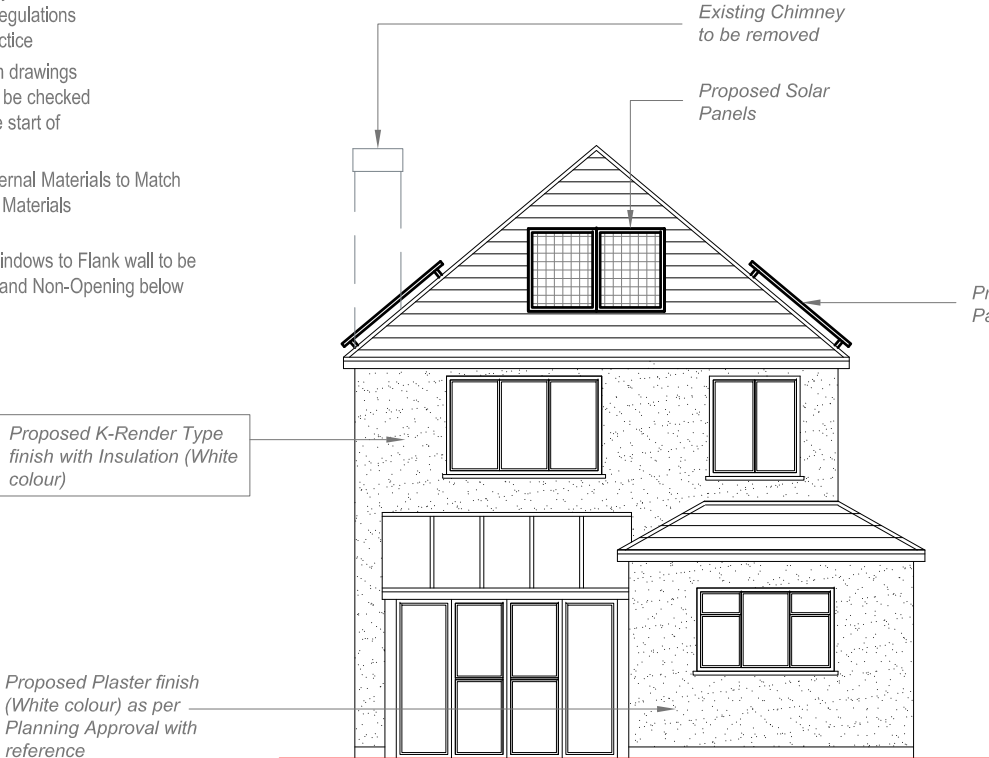
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		3		5		7	
		<u>Drawings Scale:</u> 1:50		<u>Drawn By:</u> KG		<u>Revision:</u>	
1	2	4	6				8

All work to comply with current building regulations and codes of practice

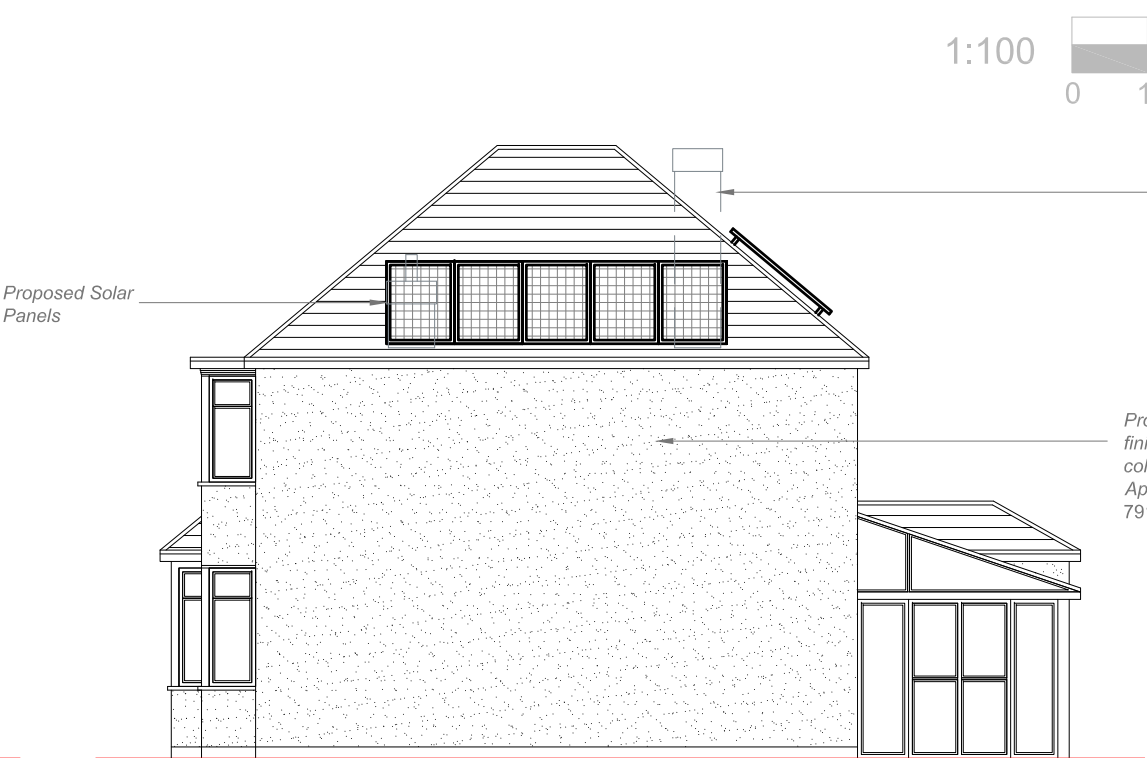
Do not scale from drawings all dimensions to be checked on site before the start of any work

All Proposed External Materials to Match Existing External Materials

Any Proposed Windows to Flank wall to be Obscure Glazed and Non-Opening below 1.7m from FFL



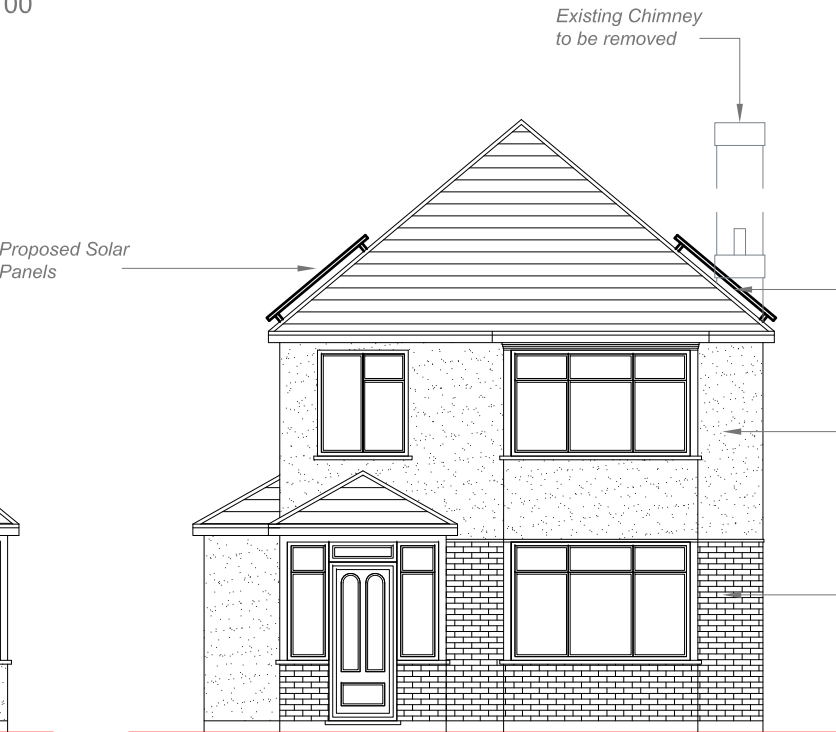
Proposed Rear Elevation
Scale 1:100



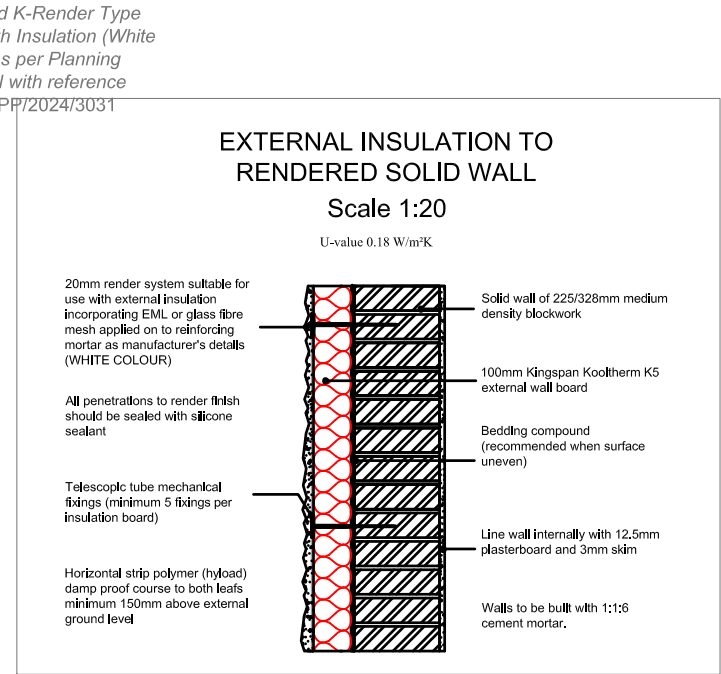
Proposed Side Elevation
Scale 1:100



Proposed Side Elevation
Scale 1:100



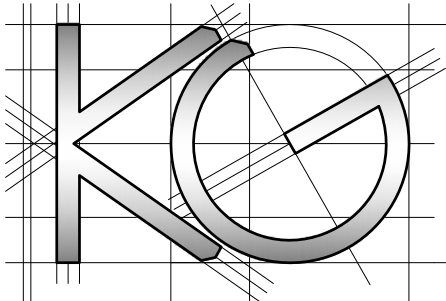
Proposed Front Elevation
Scale 1:100



SOLID BLOCK WALL WITH EXTERNAL INSULATION

To achieve minimum U Value of 0.18 W/m²K Mechanically fix 100mm Kingspan Kooltherm K5 external wall board to 215mm medium density block wall built using 1:1:6 cement mortar. Insulation boards fixed using thermally broken proprietary telescopic tube fasteners at max 1m centres driven into pre-drilled holes, ensure a minimum of 5 fixings per insulation board.

Apply 20mm of suitable reinforced render with waterproof additive with a scraped or textured finish. Render to be applied directly to the insulation incorporating eml or glass fibre mesh. Movement joints to be provided compatible with the render system. All work to be in accordance with render manufacturer's details and BS EN 13914-1. Where surface is uneven it is recommended that a bedding compound be applied prior to fixing the insulation boards. Line wall internally with 12.5mm plasterboard and 3mm skim



Site Address:
68 Money Lane
West Drayton
UB7 7NX

Drawing Content:
Proposed Elevations

Drawings No:
68moneylane/2025/05

Date Drawn:
19th May 2025

Planning Issue

Drawings Scale:
1:100

Drawn By:
KG

Revision: