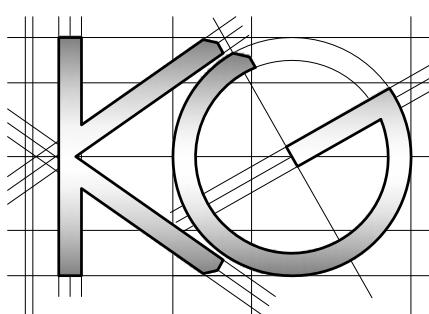
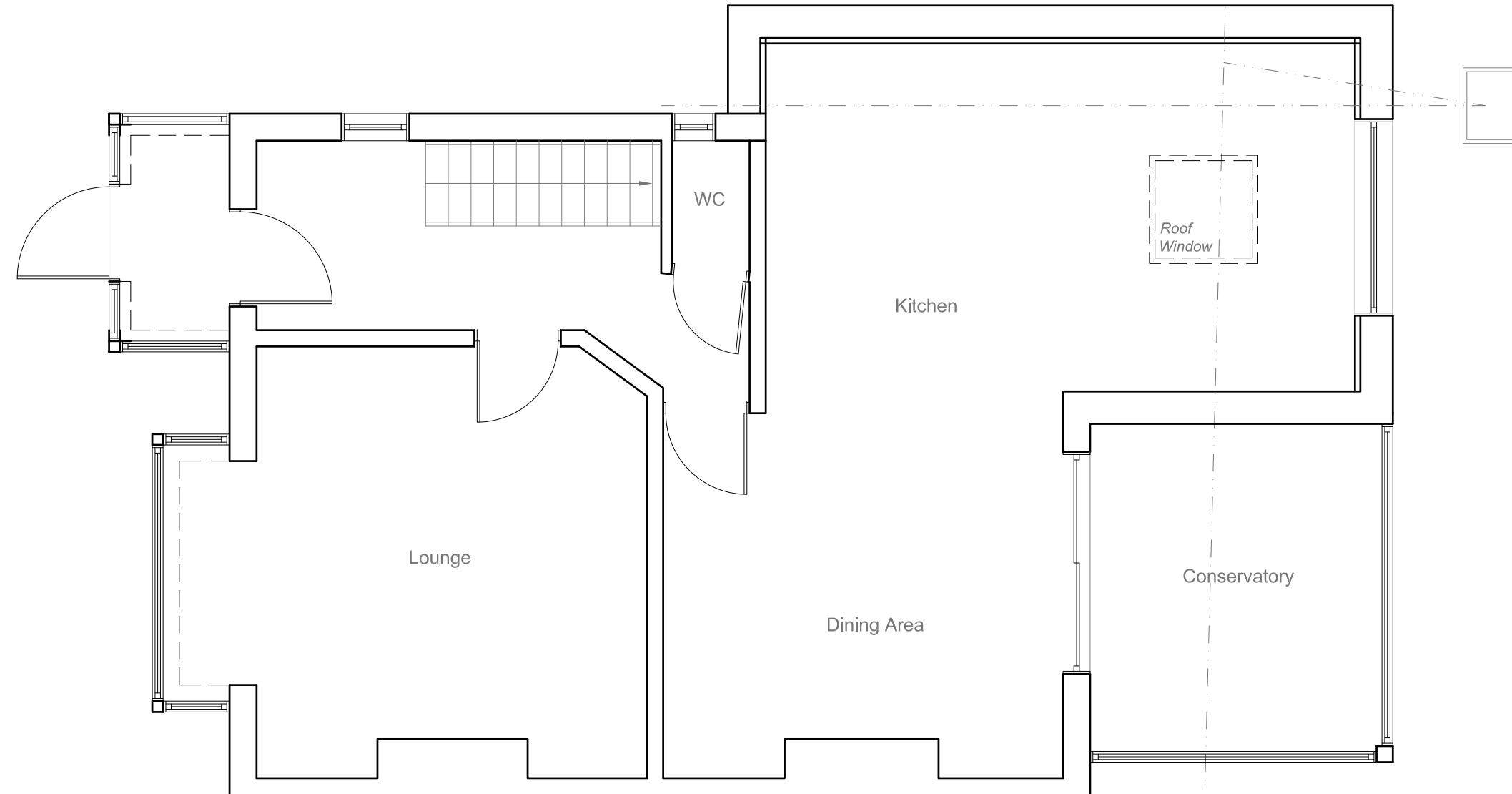


All work to comply with  
current building regulations  
and codes of practice

Do not scale from drawings  
all dimensions to be checked  
on site before the start of  
any work

All Proposed External Materials to Match  
Existing External Materials

Any Proposed Windows to Flank wall to be  
Obscure Glazed and Non-Opening below  
1.7m from FFL



Site Address:  
68 Money Lane  
West Drayton  
UB7 7NX

Drawing Content:  
Existing Ground Floor Plan

1

Drawings No:  
68moneylane/2025/01

Drawings Scale:  
1:50

2

Date Drawn:  
19th May 2025

Drawn By:  
KG

3

Planning Issue

7

Revision:

8

1:50

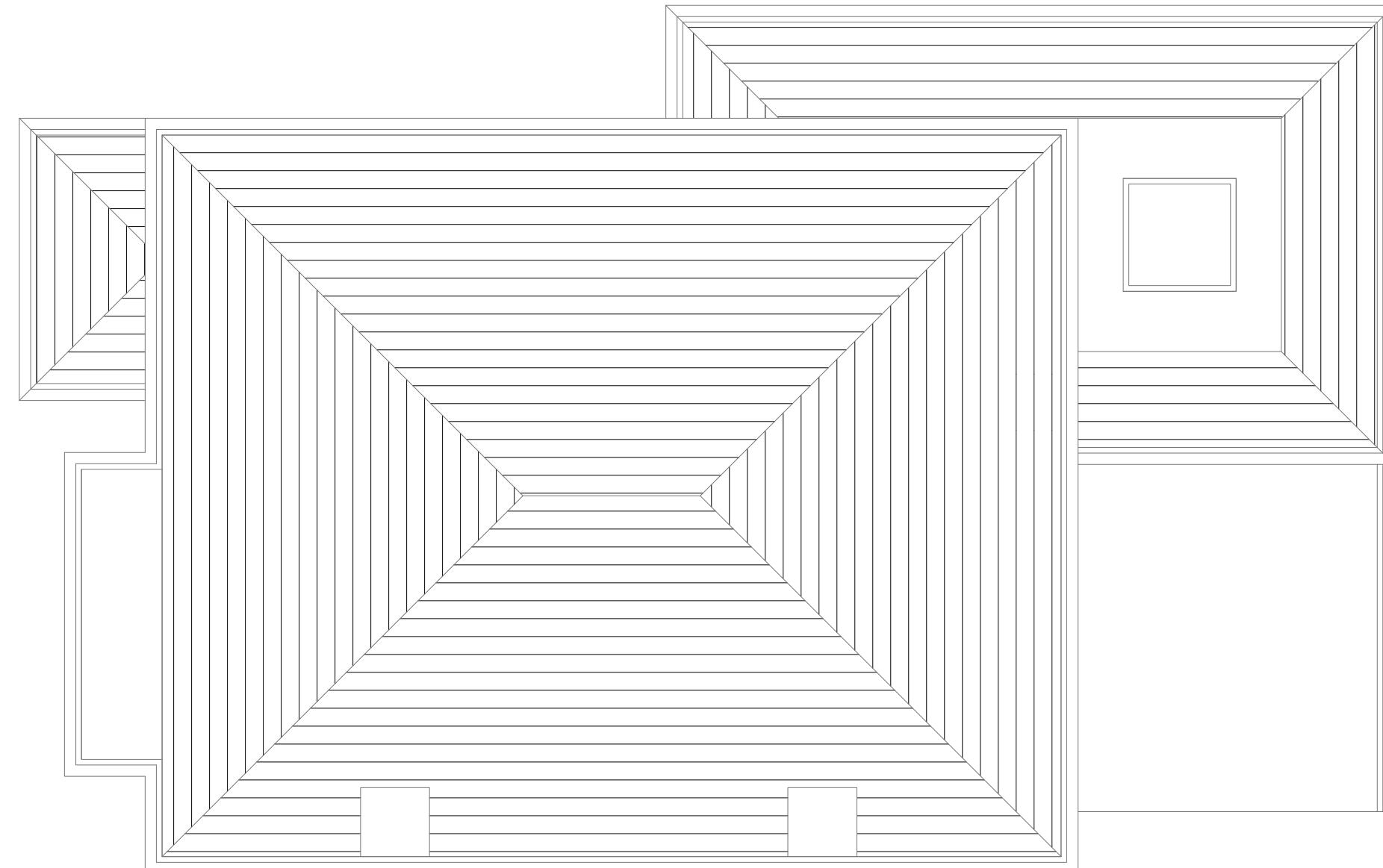
10 Meter

All work to comply with  
current building regulations  
and codes of practice

Do not scale from drawings  
all dimensions to be checked  
on site before the start of  
any work

All Proposed External Materials to Match  
Existing External Materials

Any Proposed Windows to Flank wall to be  
Obscure Glazed and Non-Opening below  
1.7m from FFL



10 Meter

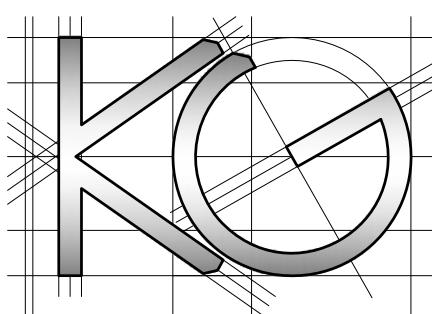
5

2

1

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1:50



Site Address:  
68 Money Lane  
West Drayton  
UB7 7NX

Drawing Content:  
Existing Roof Plan

1

Drawings No:  
68moneylane/2025/02

Date Drawn:  
19th May 2025

3

5

Planning Issue

7

Drawings Scale:  
1:50

Drawn By:  
KG

4

6

Revision:

8

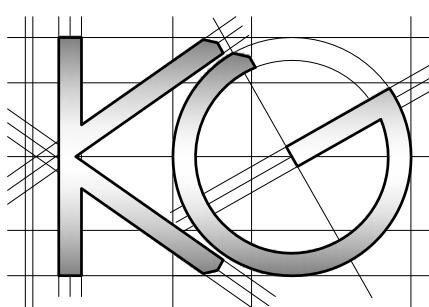
All work to comply with  
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and codes of practice

Do not scale from drawings  
all dimensions to be checked  
on site before the start of  
any work

All Proposed External Materials to Match  
Existing External Materials

Any Proposed Windows to Flank wall to be  
Obscure Glazed and Non-Opening below  
1.7m from FFL

1:100



Site Address:

68 Money Lane  
West Drayton  
UB7 7NX

Drawing Content:

Existing Elevations

1

Drawings No:

68moneylane/2025/03

Date Drawn:

19th May 2025

Planning Issue

7

Drawings Scale:

1:100

Drawn By:

KG

Revision:

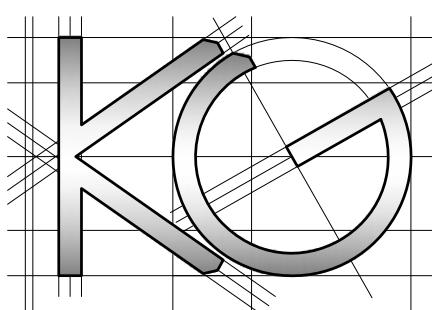
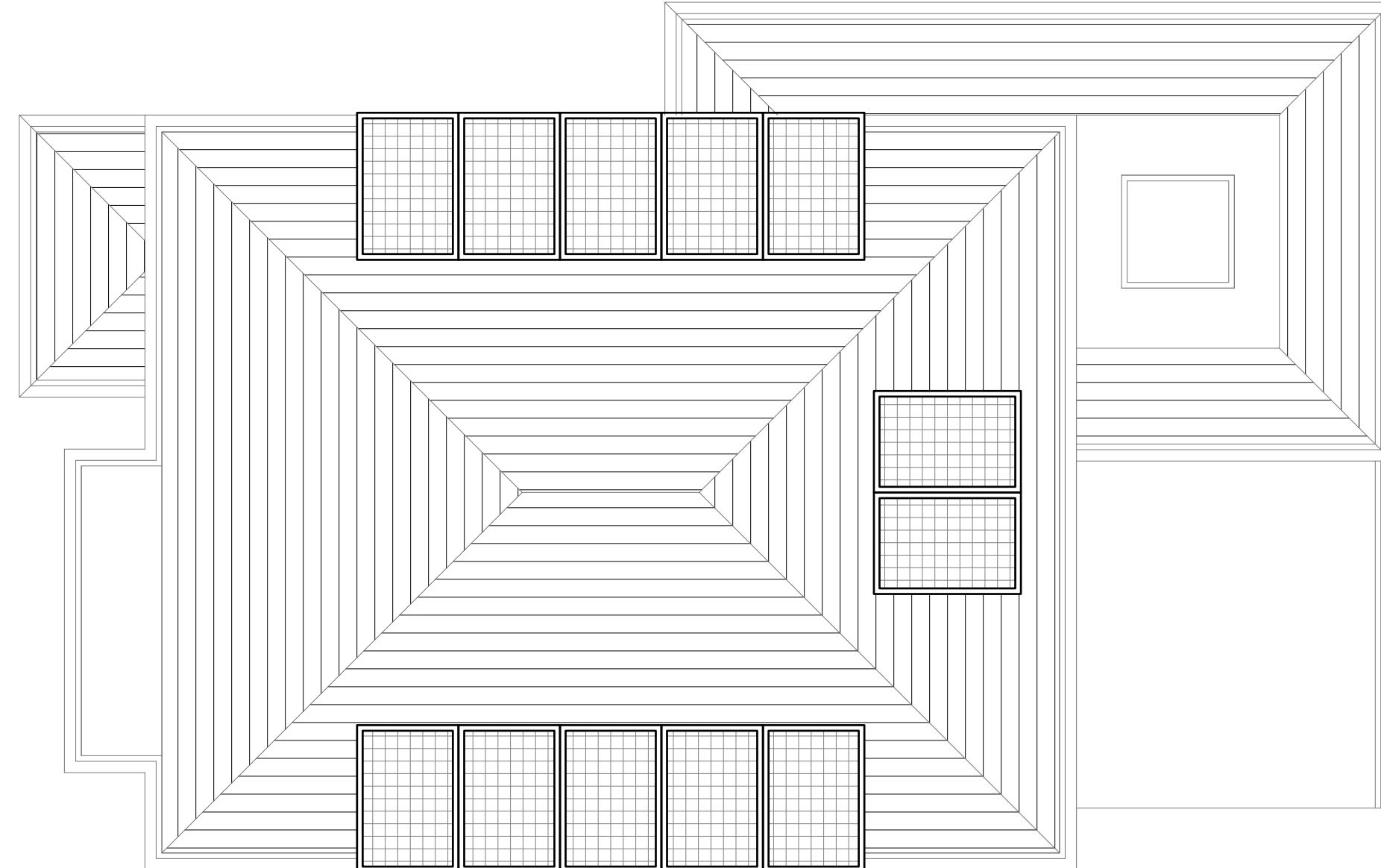
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All work to comply with  
current building regulations  
and codes of practice

Do not scale from drawings  
all dimensions to be checked  
on site before the start of  
any work

All Proposed External Materials to Match  
Existing External Materials

Any Proposed Windows to Flank wall to be  
Obscure Glazed and Non-Opening below  
1.7m from FFL



**Site Address:**  
68 Money Lane  
West Drayton  
UB7 7NX

**Drawing Content:**  
Proposed Roof Plan

1

**Drawings No:**  
68moneylane/2025/04

**Drawings Scale:**

1:50

**Date Drawn:**  
19th May 2025

**Drawn By:**

KG

**Planning Issue**

7

**Revision:**

8

1:50

10 Meter

All work to comply with  
current building regulations  
and codes of practice

Do not scale from drawings  
all dimensions to be checked  
on site before the start of  
any work

All Proposed External Materials to Match  
Existing External Materials

Any Proposed Windows to Flank wall to be  
Obscure Glazed and Non-Opening below  
1.7m from FFL



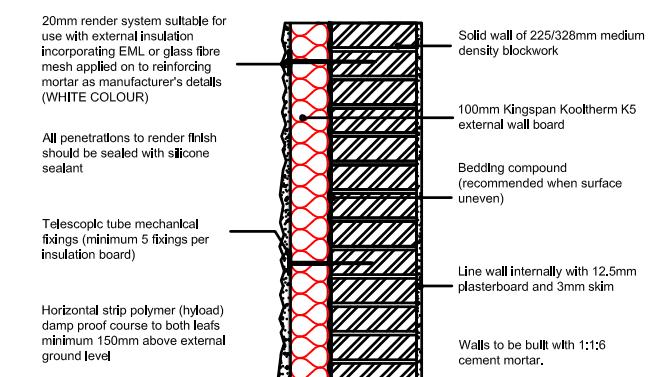
Existing Chimney  
to be removed

Proposed K-Render Type  
finish with Insulation (White  
colour) as per Planning  
Approval with reference  
79170/APP/2024/3031

#### EXTERNAL INSULATION TO RENDERED SOLID WALL

Scale 1:20

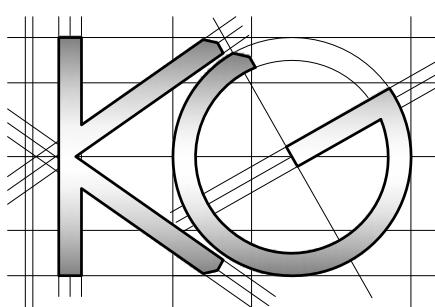
U-value 0.18 W/m<sup>2</sup>K



#### SOLID BLOCK WALL WITH EXTERNAL INSULATION

To achieve minimum U Value of 0.18 W/m<sup>2</sup>K  
Mechanically fix 100mm Kingspan Kooltherm K5 external wall board to 215mm medium density block wall built using 1:1:6 cement mortar. Insulation boards fixed using thermally broken proprietary telescopic tube fasteners at max 1m centres driven into pre-drilled holes, ensure a minimum of 5 fixings per insulation board.

Apply 20mm of suitable reinforced render with waterproof additive with a scraped or textured finish. Render to be applied directly to the insulation incorporating eml or glass fibre mesh. Movement joints to be provided compatible with the render system. All work to be in accordance with render manufacturer's details and BS EN 13914-1. Where surface is uneven it is recommended that a bedding compound be applied prior to fixing the insulation boards. Line wall internally with 12.5mm plasterboard and 3mm skim



Site Address:

68 Money Lane  
West Drayton  
UB7 7NX

Drawing Content:

Proposed Elevations

1

Drawings No:

68moneylane/2025/05

Date Drawn:

19th May 2025

Planning Issue

7

Drawings Scale:

1:100

Drawn By:

KG

Revision:

8

2

4

6