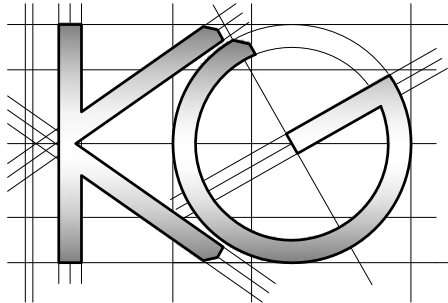
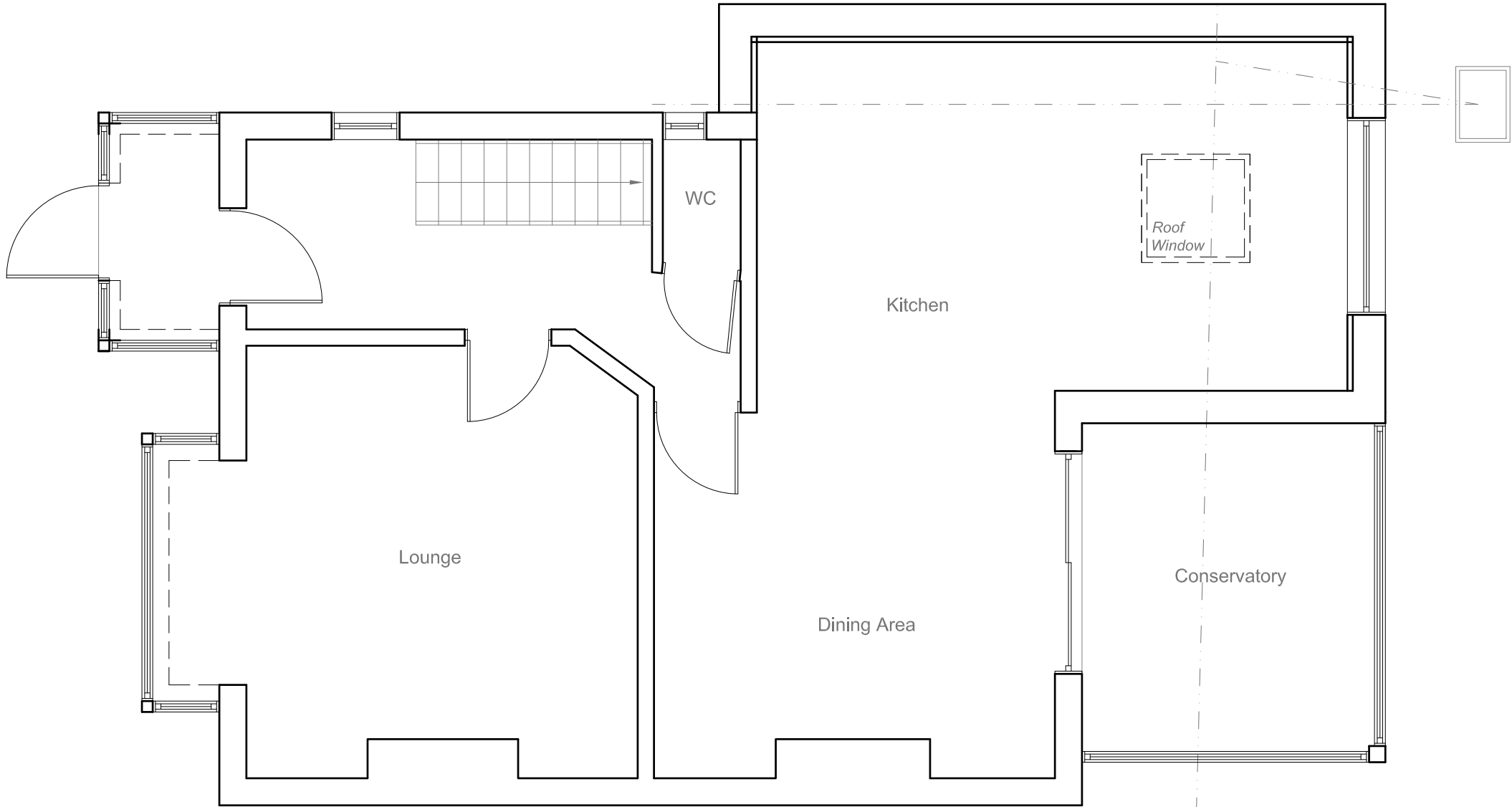


All work to comply with current building regulations and codes of practice

Do not scale from drawings
all dimensions to be checked on site before the start of any work

All Proposed External Materials to Match Existing External Materials

Any Proposed Windows to Flank wall to be Obscure Glazed and Non-Opening below 1.7m from FFL



Site Address:
68 Money Lane
West Drayton
UB7 7NX

Drawing Content:
Existing Ground Floor Plan

Drawings No:
68moneylane/2025/01

Date Drawn:
19th May 2025

Planning Issue

Drawings Scale:
1:50

Drawn By:
KG

Revision:

1:50

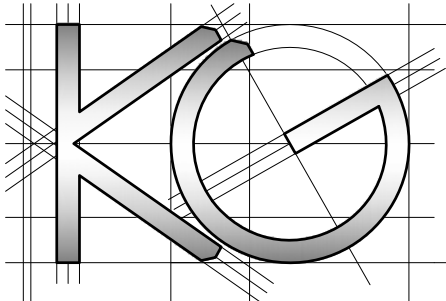
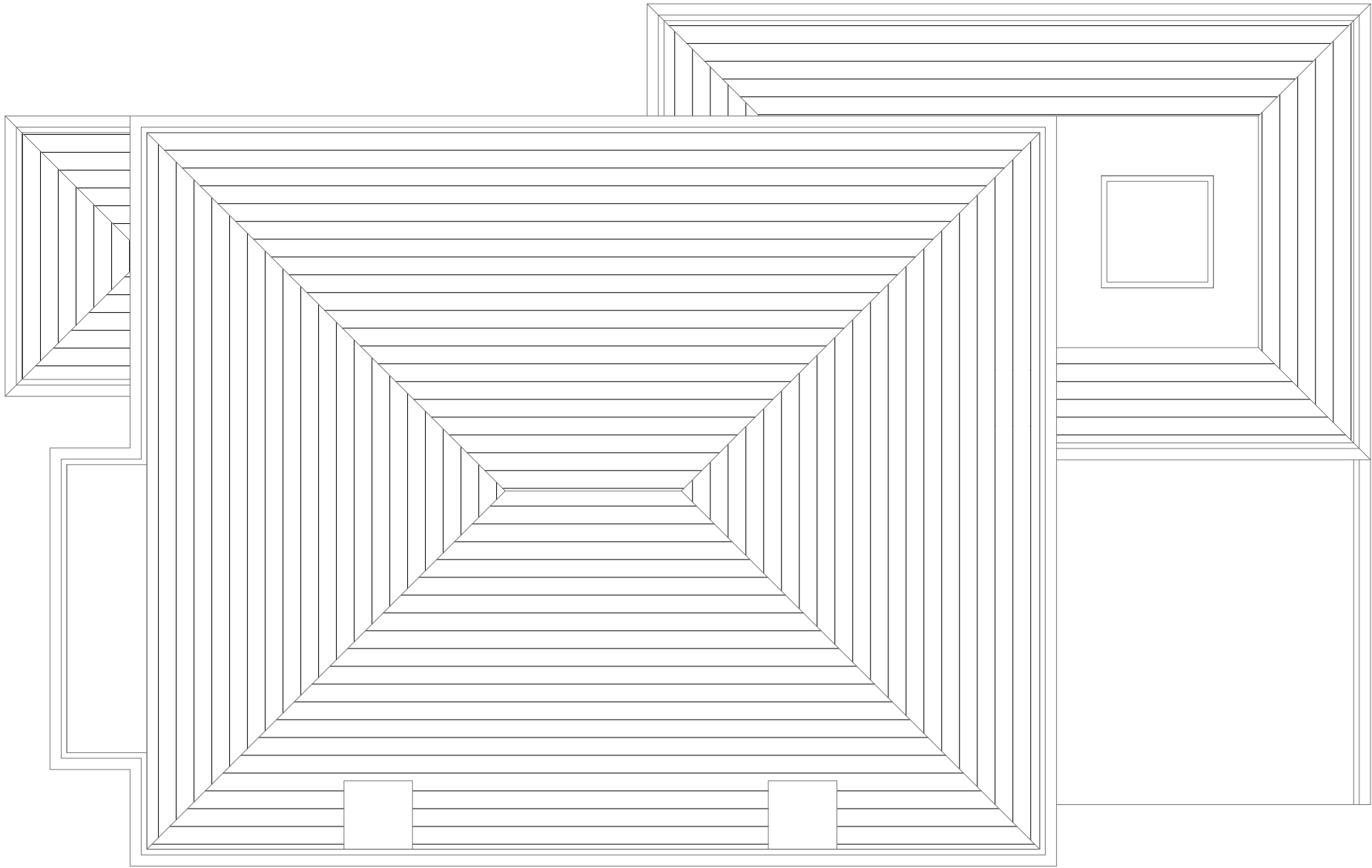
10 Meter

All work to comply with current building regulations and codes of practice

Do not scale from drawings
all dimensions to be checked on site before the start of any work

All Proposed External Materials to Match Existing External Materials

Any Proposed Windows to Flank wall to be Obscure Glazed and Non-Opening below 1.7m from FFL



<u>Site Address:</u> 68 Money Lane West Drayton UB7 7NX	<u>Drawing Content:</u> Existing Roof Plan	<u>Drawings No:</u> 68moneylane/2025/02		<u>Date Drawn:</u> 19th May 2025		Planning Issue	
		3		5		7	
		<u>Drawings Scale:</u> 1:50		<u>Drawn By:</u> KG		<u>Revision:</u>	
1	2	4	6				8

All work to comply with current building regulations and codes of practice

Do not scale from drawings
all dimensions to be checked on site before the start of any work

All Proposed External Materials to Match Existing External Materials

Any Proposed Windows to Flank wall to be Obscure Glazed and Non-Opening below 1.7m from FFL

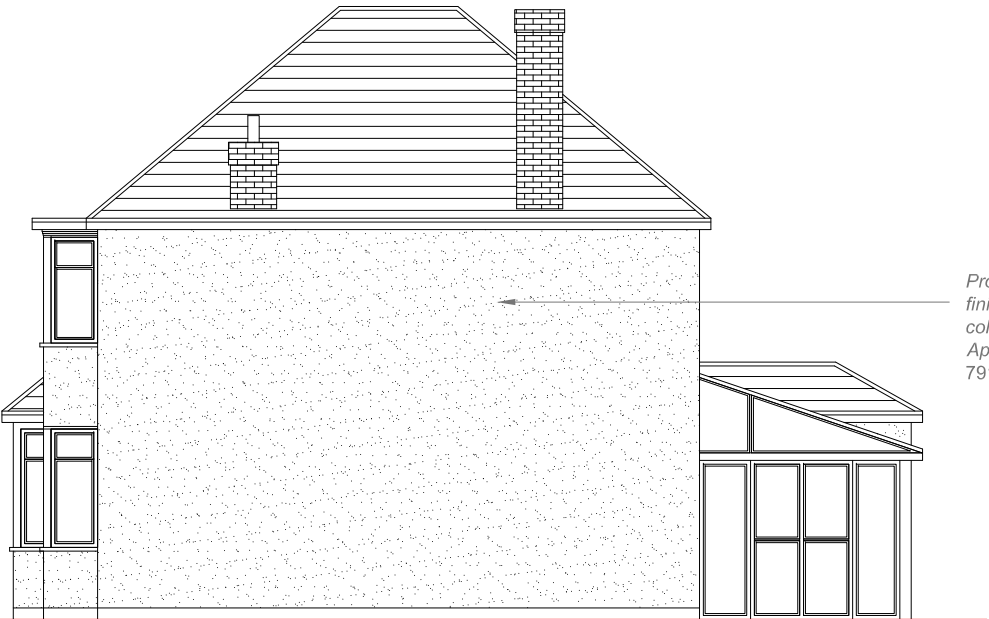


Existing Pebble-Rash finish

Proposed Plaster finish
(White colour) as per
Planning Approval with
reference
79170/APP/2024/3031



Existing Rear Elevation
Scale 1:100



Proposed K-Render Type
finish with Insulation (White
colour) as per Planning
Approval with reference
79170/APP/2024/3031

Existing Side Elevation
Scale 1:100

Proposed K-Render Type
finish with Insulation (White
colour) as per Planning
Approval with reference
79170/APP/2024/3031

Proposed Plaster
finish (White colour)
as per Planning
Approval with
reference
79170/APP/2024/3031



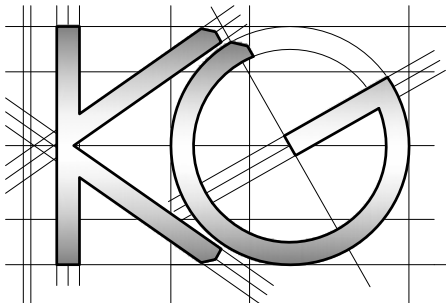
Existing Side Elevation
Scale 1:100



Proposed K-Render Type
finish with Insulation (White
colour) as per Planning
Approval with reference
79170/APP/2024/3031

Existing facing Brick finish

Existing Front Elevation
Scale 1:100



Site Address:

68 Money Lane
West Drayton
UB7 7NX

Drawing Content:

Existing Elevations

Drawings No:

68moneylane/2025/03

Date Drawn:

19th May 2025

Planning Issue

7

Drawings Scale:

1:100

Drawn By:

KG

Revision:

8

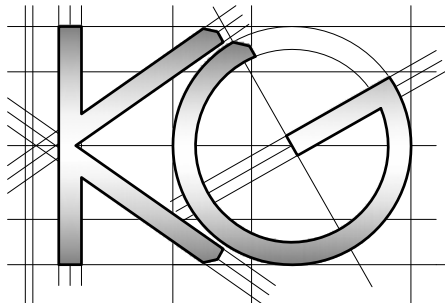
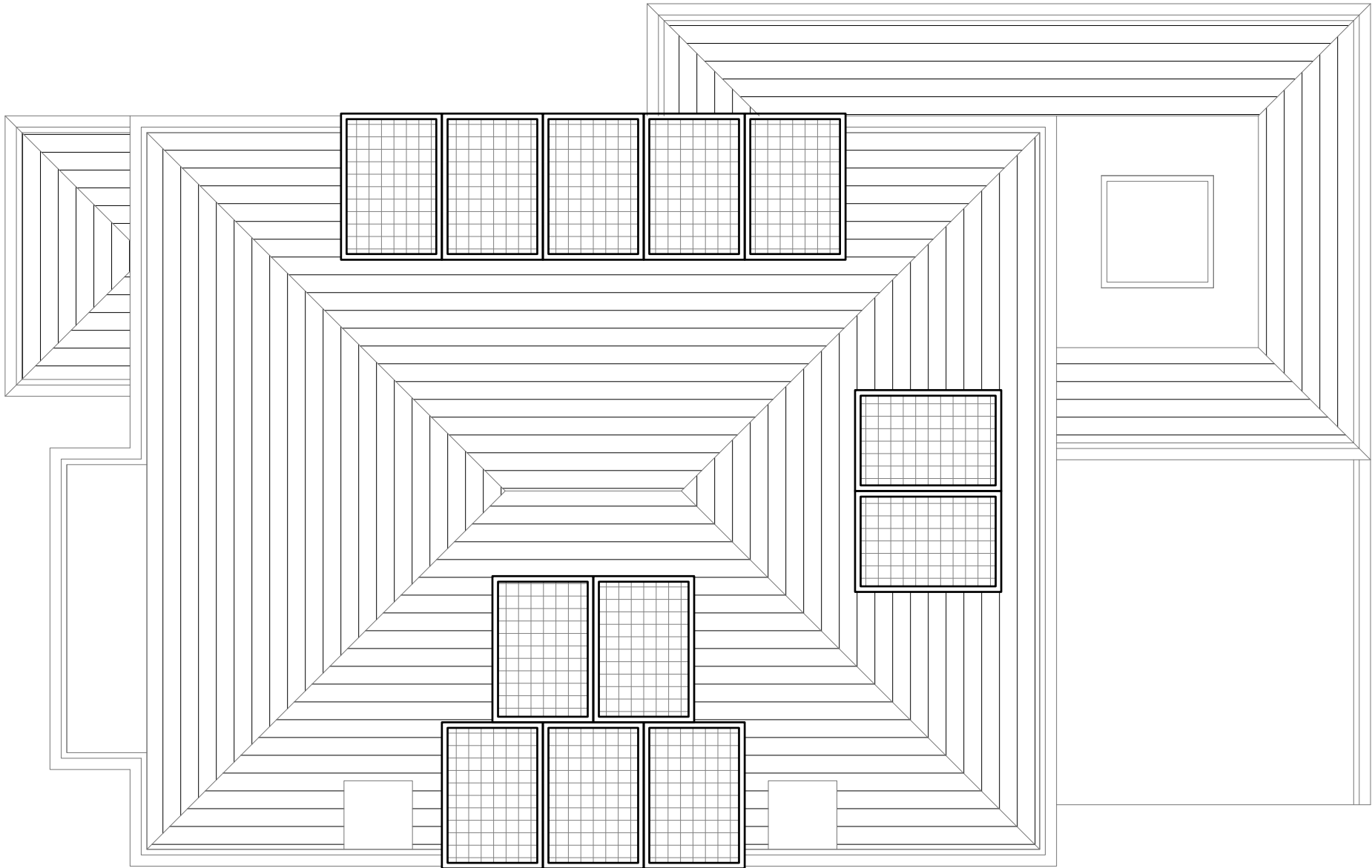
All work to comply with current building regulations and codes of practice

Do not scale from drawings

all dimensions to be checked on site before the start of any work

All Proposed External Materials to Match Existing External Materials

Any Proposed Windows to Flank wall to be Obscure Glazed and Non-Opening below 1.7m from FFL



<u>Site Address:</u>	<u>Drawing Content:</u>	<u>Drawings No:</u>	<u>Date Drawn:</u>	Planning Issue					
68 Money Lane West Drayton UB7 7NX	Proposed Roof Plan	68moneylane/2025/04	19th May 2025	7					
1		<u>Drawings Scale:</u>	<u>Drawn By:</u>	<u>Revision:</u>	A				
	2	1:50	KG		10 25				8

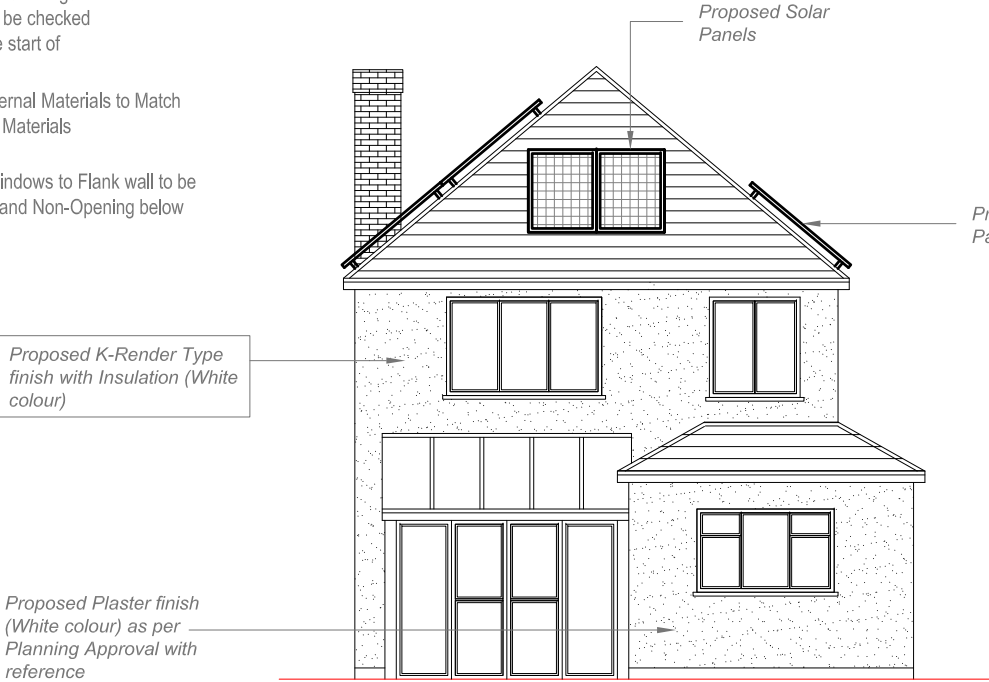
1:50

All work to comply with current building regulations and codes of practice

Do not scale from drawings all dimensions to be checked on site before the start of any work

All Proposed External Materials to Match Existing External Materials

Any Proposed Windows to Flank wall to be Obscure Glazed and Non-Opening below 1.7m from FFL



Proposed Rear Elevation
Scale 1:100



Proposed Side Elevation
Scale 1:100



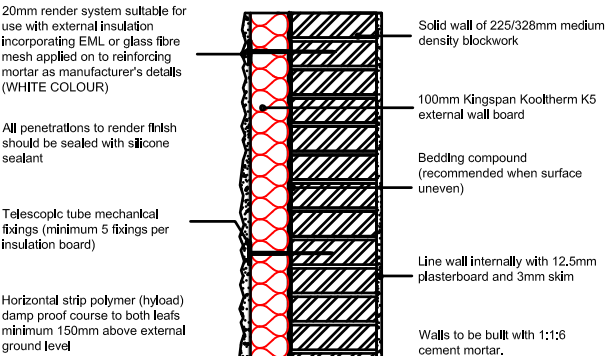
Proposed Side Elevation
Scale 1:100



Proposed Front Elevation
Scale 1:100

Proposed K-Render Type finish with Insulation (White colour) as per Planning Approval with reference 79170/APP/2024/3031

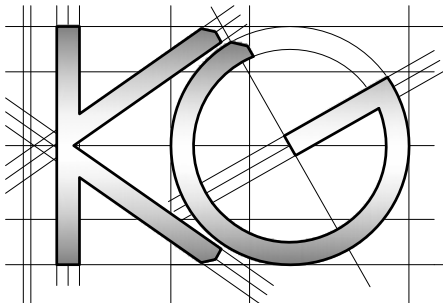
EXTERNAL INSULATION TO RENDERED SOLID WALL
Scale 1:20



SOLID BLOCK WALL WITH EXTERNAL INSULATION

To achieve minimum U Value of 0.18 W/m²K Mechanically fix 100mm Kingspan Kooltherm K5 external wall board to 215mm medium density block wall built using 1:1:6 cement mortar. Insulation boards fixed using thermally broken proprietary telescopic tube fasteners at max 1m centres driven into pre-drilled holes, ensure a minimum of 5 fixings per insulation board.

Apply 20mm of suitable reinforced render with waterproof additive with a scraped or textured finish. Render to be applied directly to the insulation incorporating eml or glass fibre mesh. Movement joints to be provided compatible with the render system. All work to be in accordance with render manufacturer's details and BS EN 13914-1. Where surface is uneven it is recommended that a bedding compound be applied prior to fixing the insulation boards. Line wall internally with 12.5mm plasterboard and 3mm skim



Site Address:

68 Money Lane
West Drayton
UB7 7NX

Drawing Content:

Proposed Elevations

Drawings No:

68moneylane/2025/05

Date Drawn:

19th May 2025

Planning Issue

Drawings Scale:

1:100

Drawn By:

KG

Revision:

A

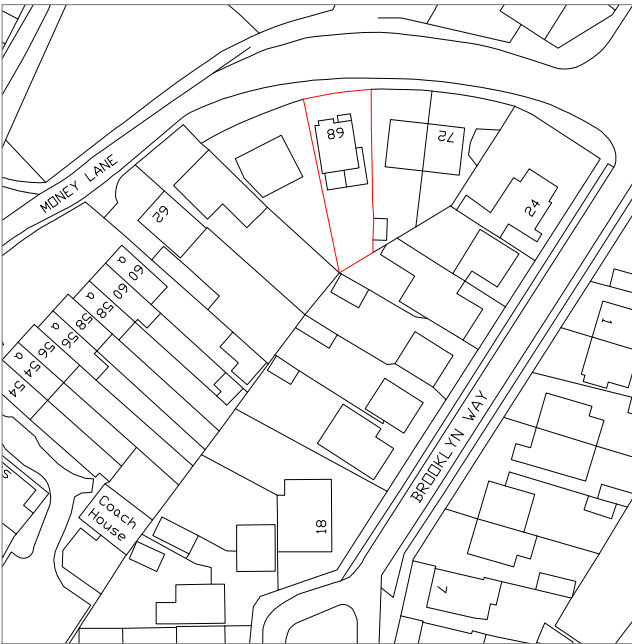
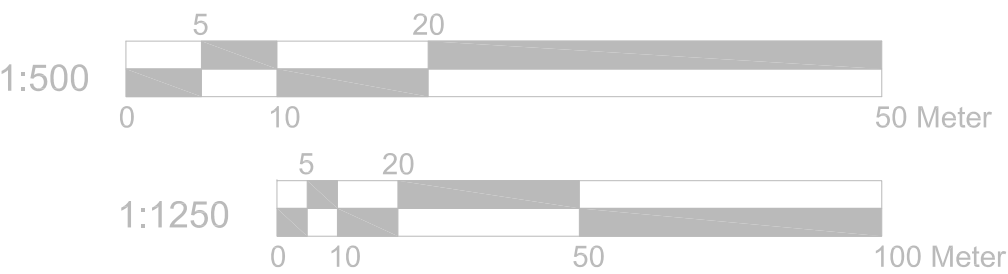
10/25

All work to comply with current building regulations and codes of practice

Do not scale from drawings
all dimensions to be checked on site before the start of any work

All Proposed External Materials to Match Existing External Materials

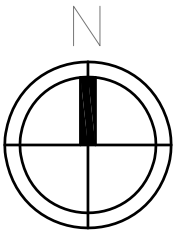
Any Proposed Windows to Flank wall to be Obscure Glazed and Non-Opening below 1.7m from FFL



Location Plan Scale 1:1250



Location Plan Scale 1:1250



	<u>Site Address:</u> 68 Money Lane West Drayton UB7 7NX	<u>Drawing Content:</u> Location Plan Block Plan	<u>Drawings No:</u> 68moneylane/2025/06	<u>Date Drawn:</u> 19th May 2025	Planning Issue	
	1	2	3	5	7	
			<u>Drawings Scale:</u> 1:1250/500	<u>Drawn By:</u> KG	<u>Revision:</u>	
			4	6		8