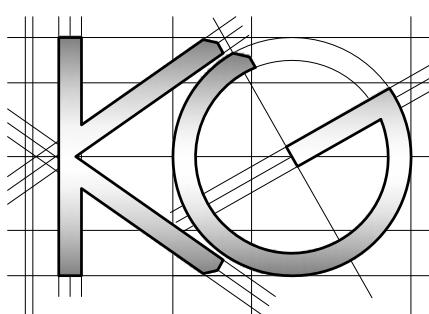
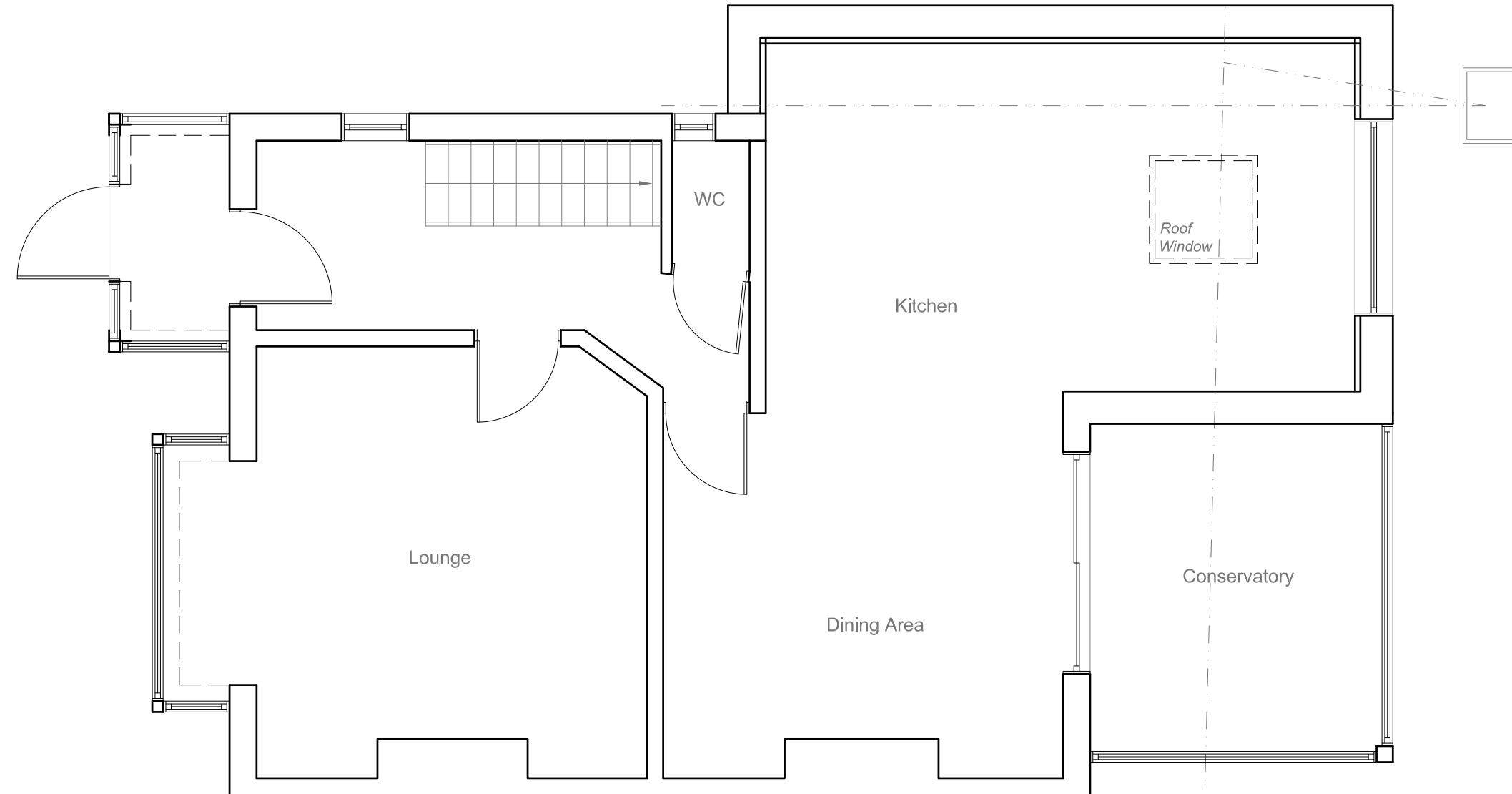


All work to comply with  
current building regulations  
and codes of practice

Do not scale from drawings  
all dimensions to be checked  
on site before the start of  
any work

All Proposed External Materials to Match  
Existing External Materials

Any Proposed Windows to Flank wall to be  
Obscure Glazed and Non-Opening below  
1.7m from FFL



Site Address:  
68 Money Lane  
West Drayton  
UB7 7NX

Drawing Content:  
Existing Ground Floor Plan

1

Drawings No:  
68moneylane/2025/01

Drawings Scale:  
1:50

2

Date Drawn:  
19th May 2025

Drawn By:  
KG

3

Planning Issue

7

Revision:

6

1:50

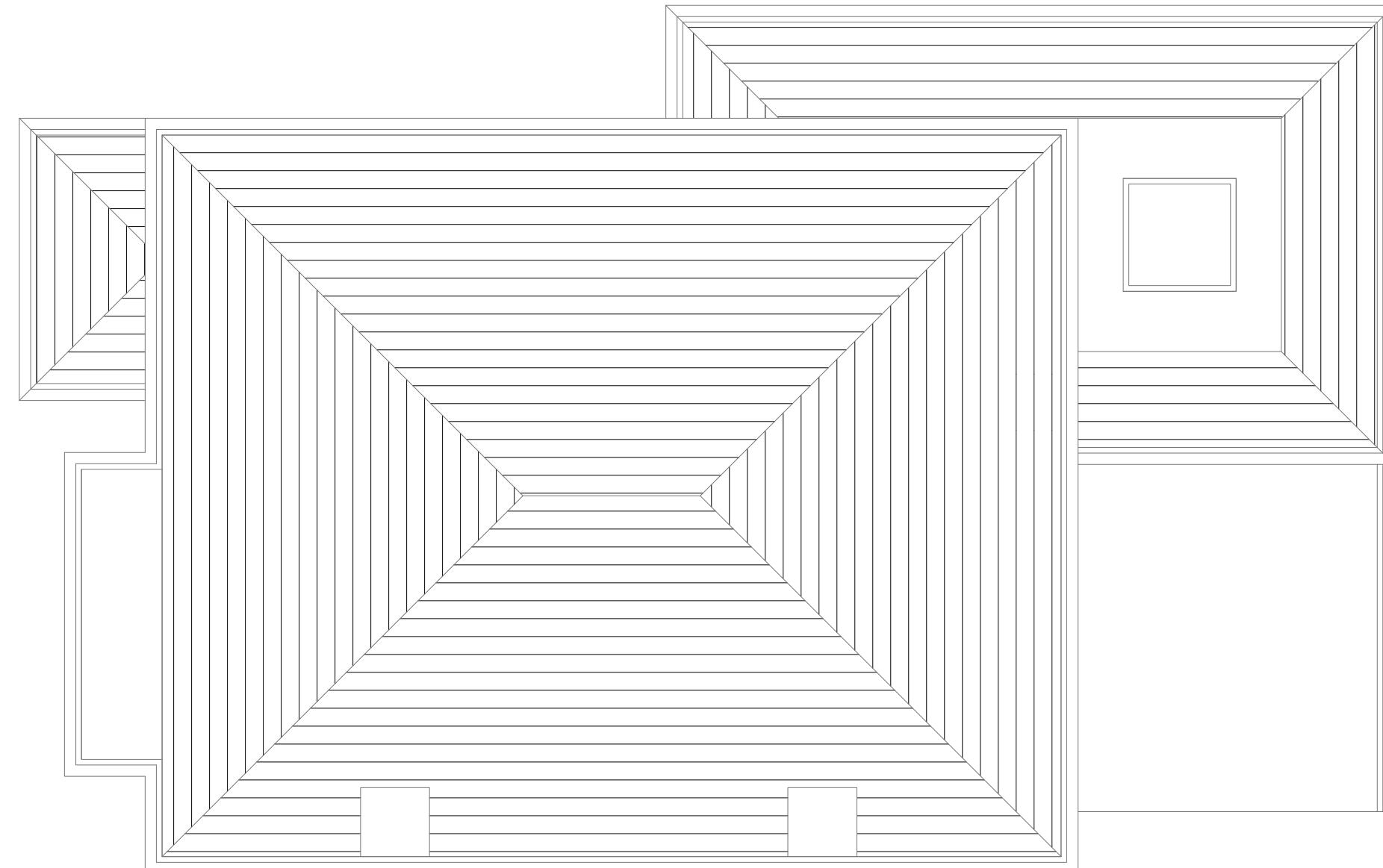
10 Meter

All work to comply with  
current building regulations  
and codes of practice

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All Proposed External Materials to Match  
Existing External Materials

Any Proposed Windows to Flank wall to be  
Obscure Glazed and Non-Opening below  
1.7m from FFL



10 Meter

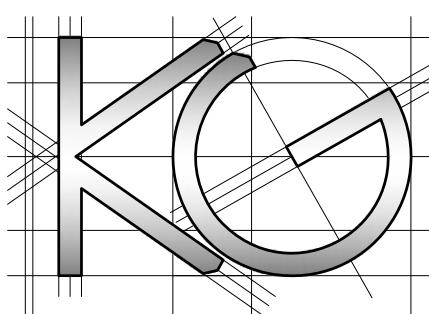
5

2

1

0

1:50



Site Address:  
68 Money Lane  
West Drayton  
UB7 7NX

Drawing Content:  
Existing Roof Plan

1

Drawings No:  
68moneylane/2025/02

Date Drawn:  
19th May 2025

3

5

Planning Issue

7

Drawings Scale:  
1:50

Drawn By:  
KG

4

6

Revision:

8

All work to comply with  
current building regulations  
and codes of practice

Do not scale from drawings  
all dimensions to be checked  
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any work

All Proposed External Materials to Match  
Existing External Materials

Any Proposed Windows to Flank wall to be  
Obscure Glazed and Non-Opening below  
1.7m from FFL

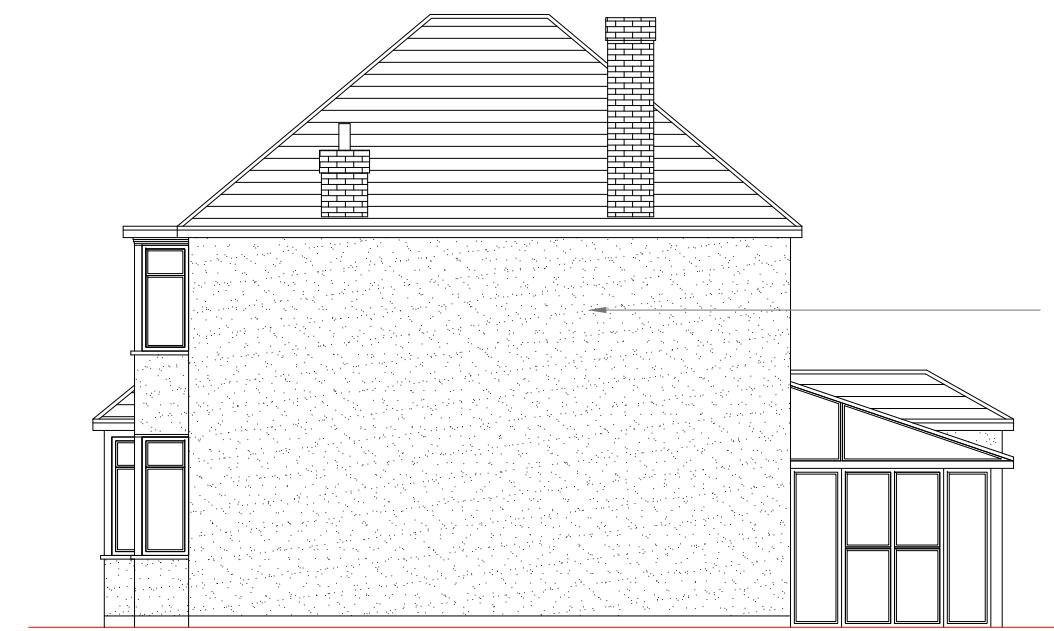
1:100



10 Meter



Existing Rear Elevation  
Scale 1:100



Existing Side Elevation  
Scale 1:100

Proposed K-Render Type  
finish with Insulation (White  
colour) as per Planning  
Approval with reference  
79170/APP/2024/3031

Proposed Plaster  
finish (White colour)  
as per Planning  
Approval with  
reference  
79170/APP/2024/3031



Existing Side Elevation  
Scale 1:100

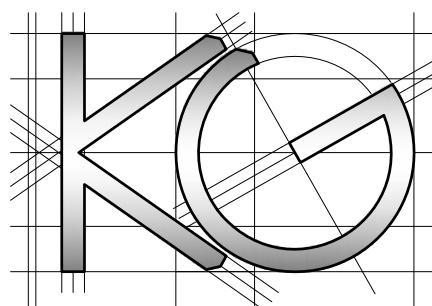
Proposed K-Render Type  
finish with Insulation (White  
colour) as per Planning  
Approval with reference  
79170/APP/2024/3031

Proposed K-Render Type  
finish with Insulation (White  
colour) as per Planning  
Approval with reference  
79170/APP/2024/3031

Existing facing Brick finish



Existing Front Elevation  
Scale 1:100



Site Address:

68 Money Lane  
West Drayton  
UB7 7NX

Drawing Content:

Existing Elevations

1

Drawings No:

68moneylane/2025/03

Date Drawn:

19th May 2025

Planning Issue

7

Drawings Scale:

1:100

Drawn By:

KG

Revision:

8

2

4

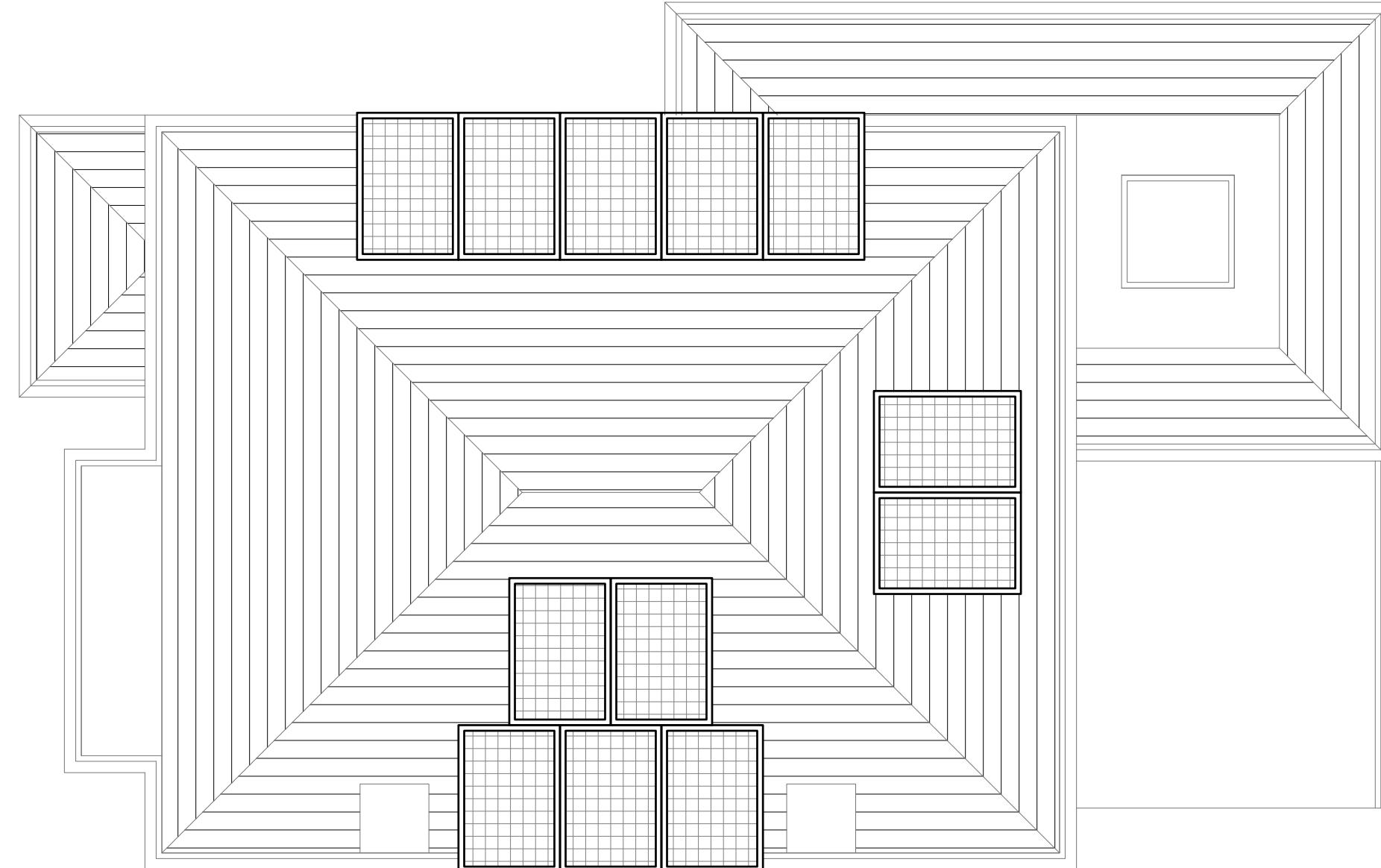
6

All work to comply with  
current building regulations  
and codes of practice

Do not scale from drawings  
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on site before the start of  
any work

All Proposed External Materials to Match  
Existing External Materials

Any Proposed Windows to Flank wall to be  
Obscure Glazed and Non-Opening below  
1.7m from FFL



10 Meter

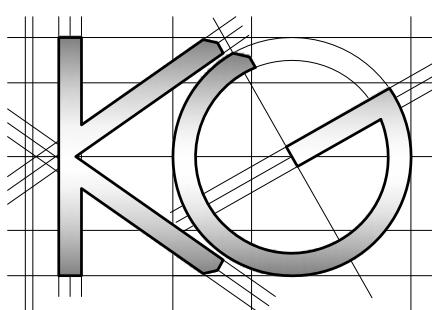
5

2

1

0

1:50



Site Address:  
68 Money Lane  
West Drayton  
UB7 7NX

Drawing Content:  
Proposed Roof Plan

1

Drawings No:  
68moneylane/2025/04

2

Date Drawn:  
19th May 2025

3

Planning Issue

7

Drawings Scale:

1:50

Drawn By:

KG

4

Revision:

A

10  
25

5

6

8

All work to comply with  
current building regulations  
and codes of practice

Do not scale from drawings  
all dimensions to be checked  
on site before the start of  
any work

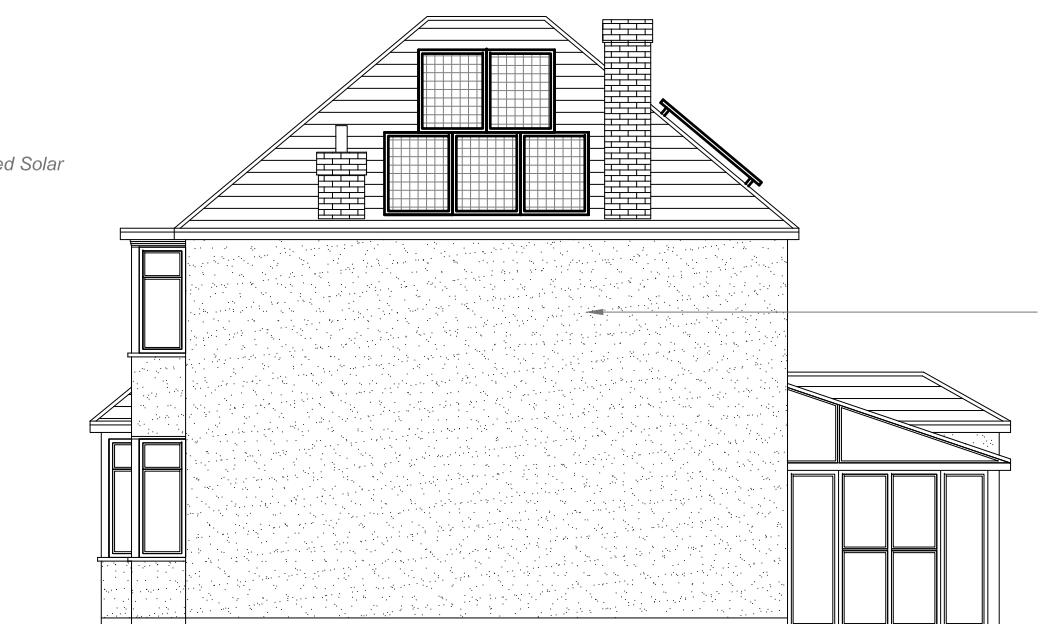
All Proposed External Materials to Match  
Existing External Materials

Any Proposed Windows to Flank wall to be  
Obscure Glazed and Non-Opening below  
1.7m from FFL

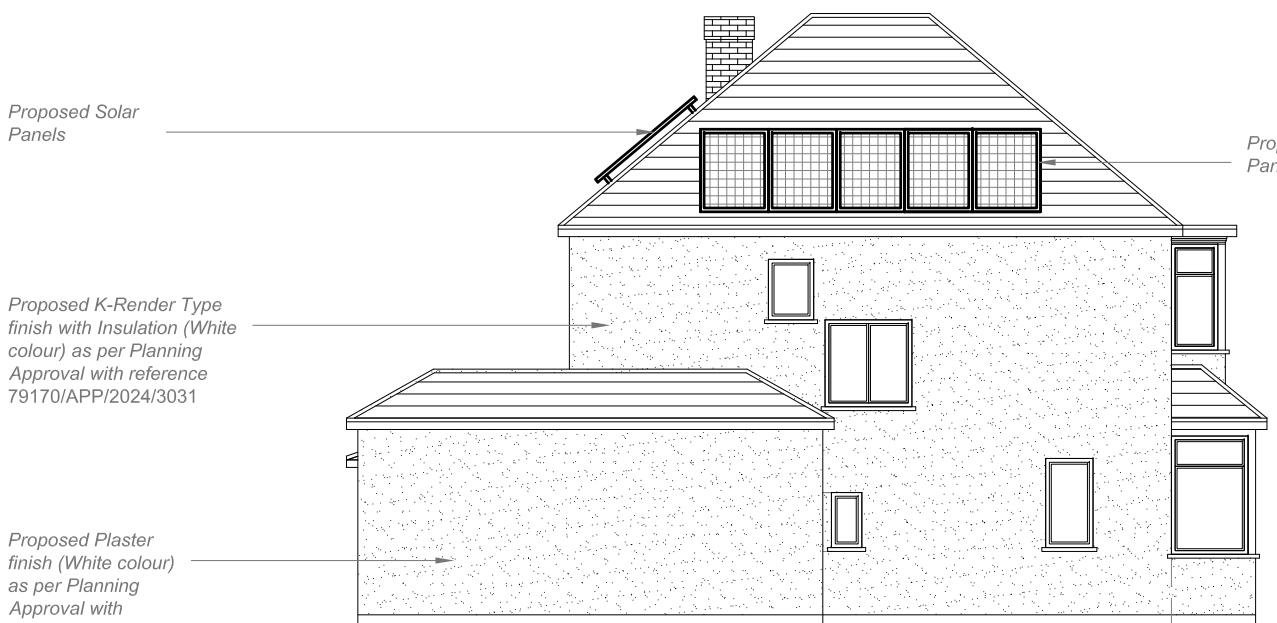
1:100 0 1 2 5 10 Meter



Proposed Rear Elevation  
Scale 1:100



Proposed Side Elevation  
Scale 1:100



Proposed Side Elevation  
Scale 1:100



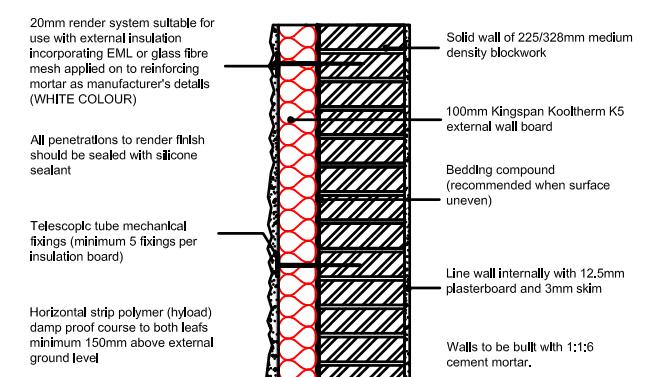
Proposed Front Elevation  
Scale 1:100

Proposed K-Render Type  
finish with Insulation (White  
colour) as per Planning  
Approval with reference  
79170/APP/2024/3031

#### EXTERNAL INSULATION TO RENDERED SOLID WALL

Scale 1:20

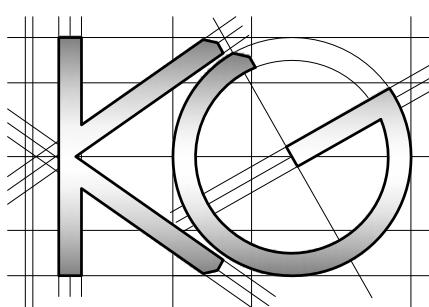
U-value 0.18 W/m<sup>2</sup>K



#### SOLID BLOCK WALL WITH EXTERNAL INSULATION

To achieve minimum U Value of 0.18 W/m<sup>2</sup>K  
Mechanically fix 100mm Kingspan Kooltherm  
K5 external wall board to 215mm medium  
density block wall built using 1:1:6 cement  
mortar. Insulation boards fixed using thermally  
broken proprietary telescopic tube fasteners at  
max 1m centres driven into pre-drilled holes,  
ensure a minimum of 5 fixings per insulation  
board.

Apply 20mm of suitable reinforced render with  
waterproof additive with a scraped or textured  
finish. Render to be applied directly to the  
insulation incorporating eml or glass fibre  
mesh. Movement joints to be provided  
compatible with the render system. All work to  
be in accordance with render manufacturer's  
details and BS EN 13914-1. Where surface is  
uneven it is recommended that a bedding  
compound be applied prior to fixing the  
insulation boards. Line wall internally with  
12.5mm plasterboard and 3mm skim



Site Address:

68 Money Lane  
West Drayton  
UB7 7NX

Drawing Content:

Proposed Elevations

1

Drawings No:

68moneylane/2025/05

Date Drawn:

19th May 2025

Planning Issue

7

Drawings Scale:

1:100

Drawn By:

KG

Revision:

A

10  
25

8

2

4

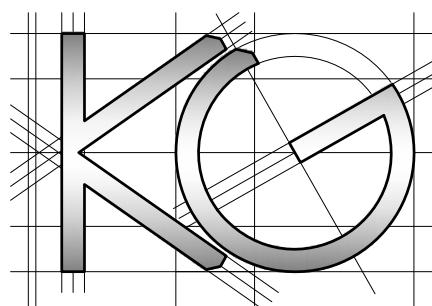
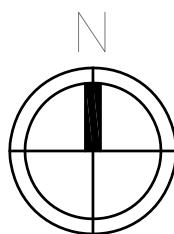
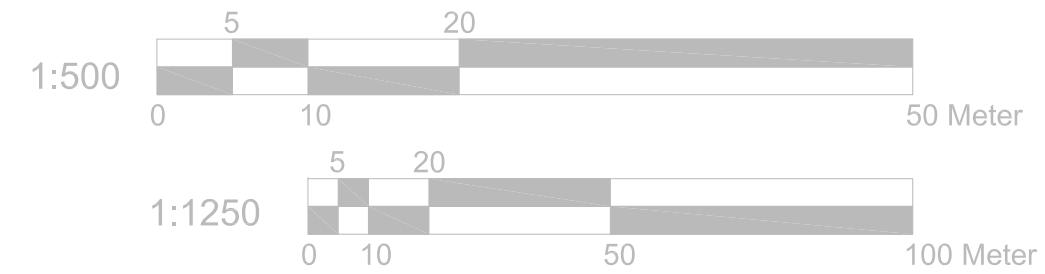
6

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any work

All Proposed External Materials to Match  
Existing External Materials

Any Proposed Windows to Flank wall to be  
Obscure Glazed and Non-Opening below  
1.7m from FFL



Site Address:

68 Money Lane  
West Drayton  
UB7 7NX

Drawing Content:

Location Plan

Block Plan

1

Drawings No:

68moneylane/2025/06

Date Drawn:

19th May 2025

Planning Issue

7

Drawings Scale:

1:1250/500

Drawn By:

KG

Revision:

8

2

4

6