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DRAINAGE STRATEGY REPORT

PREMIER INN CONVERSION

LONDON HAYES (HYDE PARK)

HEATHROW

LONDON

UB3 4AZ

PREPARED FOR:

Premier Inn

JOB NO: P24-0486

DATE: 24th May 2024

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DOCUMENT HISTORY

Issue No.	Description	Date
1	First issue	24.05.24

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1. INTRODUCTION

1.1 This report has been prepared by Simpson TWS on behalf of Premier Inn Hotels Ltd. to accompany a planning application for the internal conversion of the existing London Hayes Beefeater restaurant to new hotel bedrooms and a new restaurant.

1.2 The report details a strategy for the disposal & management of surface & foul water runoff that will be generated by the development.

2. SITE LOCATION

2.1 The site is located on Millington Road, Hayes as shown on *Figure 1*, below. The site is centred on Ordnance Survey grid reference TQ 09298 79306 and co-ordinates X: 509298; Y: 179306. The site's post code is UB3 4AZ.

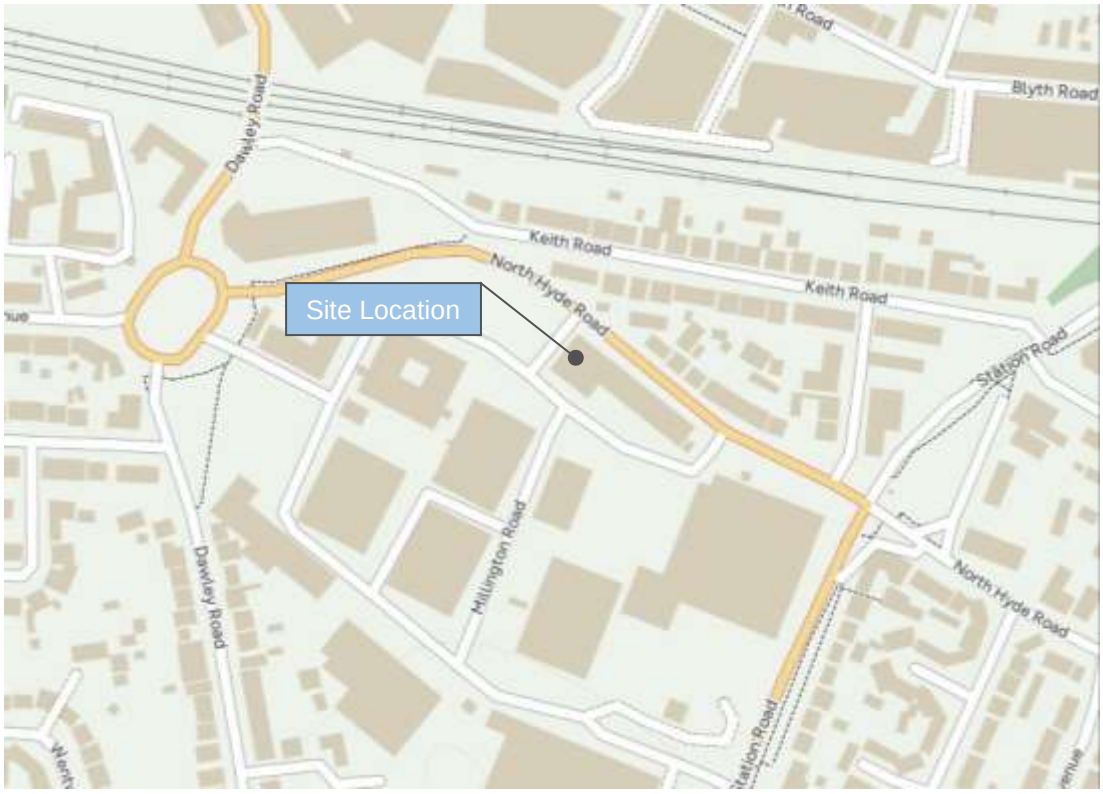


Figure 1: Site Location

Site Description

2.2 The existing site comprises of a Premier Inn hotel & Beefeater restaurant, with associated parking, hard/soft landscaping. Vehicular access is gained from Millington Road to the south of the site. A copy of the existing site plan is included in *Appendix A.*

Existing Drainage Characteristics

2.3 Surface water is drained via a private surface water drainage network prior to discharging to the existing Thames Water sewer located northeast of the development.

2.4 Foul water is drained via a private foul water drainage network around the perimeter of the existing restaurant and Premier Inn hotel prior to discharging to the existing Thames Water foul sewer northeast of the development.

Development Proposals

2.5 An internal conversion of the existing Beefeater restaurant to new hotel bedrooms and a new restaurant is proposed.

3. SURFACE WATER DRAINAGE STRATEGY

3.1 As the proposed development comprises of an internal conversion of the existing restaurant, there is no change to the impermeable area on site. Given this, the surface water management strategy for the site remains as existing with no alterations deemed necessary for development proposals.

4. FOUL WATER DRAINAGE STRATEGY

4.1 As reported in *Section 2* of this report, foul water generated by the existing restaurant is drained by a traditional network of below ground pipework which discharges to a Thames Water foul sewer to the northeast of the development via a gravity connection.

4.2 As the development comprises of the internal conversion of the existing restaurant to new hotel bedrooms in addition to a new restaurant, alterations to internal SVP's will be required. All new SVP's will be connected to the existing perimeter foul drainage network prior to connecting to the Thames Water foul sewer to the northeast of the development. Please see *Appendix B* for the foul drainage strategy which is based on As-Built engineering drawings for the original hotel and restaurant built in 2016.

4.3 Due to the conversion of the restaurant to new hotel bedrooms in additional to a restaurant, it is anticipated that there will be increased foul flows when compared to the existing situation. Therefore, a pre-development sewer capacity enquiry has been submitted to Thames Water to confirm that the public sewer system has capacity to accommodate additional foul flows from the development.

4.4 A response is currently awaited at this time and will be appended to this report once it becomes available. However, based on the limited additional foul flows it is not currently expected that Thames Water will raise any concerns with capacity of the existing foul sewer network.

5. CONCLUSIONS

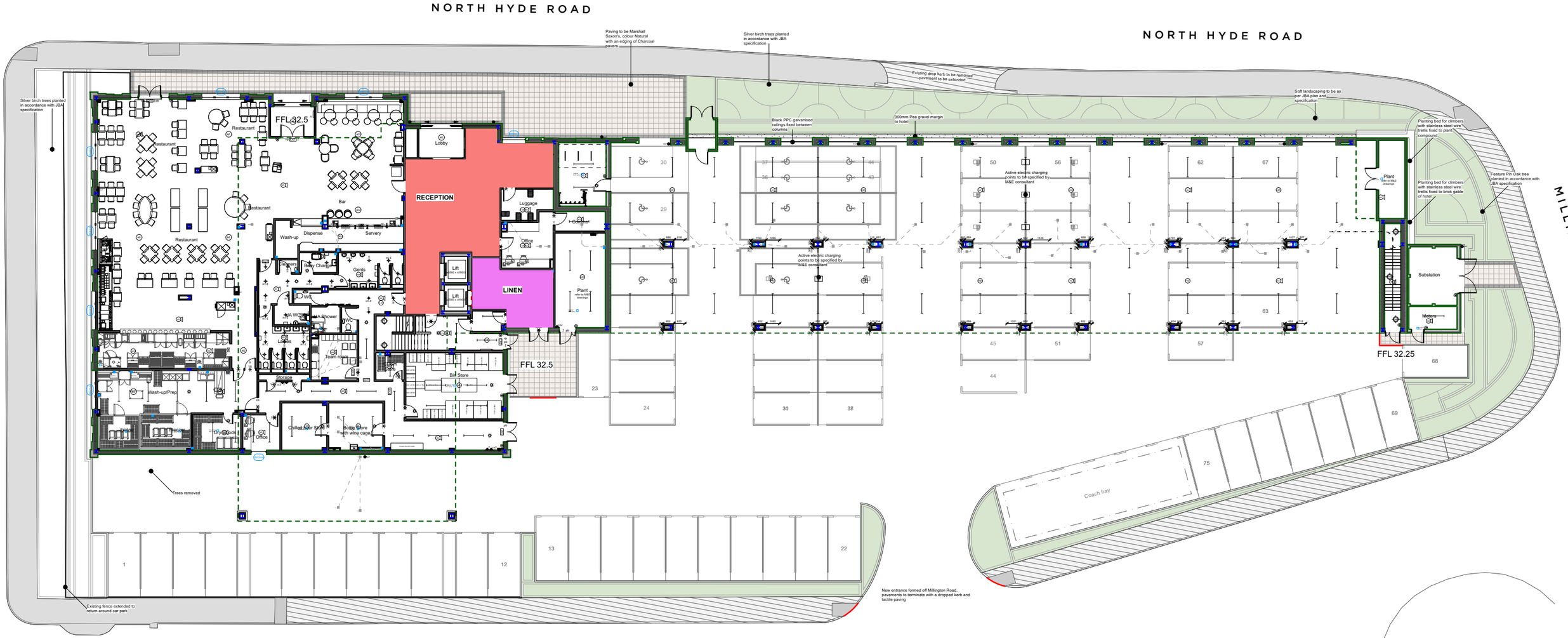
5.1 The existing surface water drainage strategy for the site remains the same as the development proposal comprises of an internal conversion and there is no change to the impermeable areas.

5.2 Internal SVP configuration will be altered to accommodate for the new internal layout. All new SVP's will connect to the existing perimeter foul drainage network prior to discharging to the existing Thames Water foul sewer.

5.3 A pre-development sewer capacity enquiry response is yet to be received from Thames Water to confirm that the public sewer system has capacity to accommodate additional foul flows from the development. It is anticipated that Thames Water will not raise any concerns regarding the capacity of the existing foul sewer network.

5.4 It is concluded that it will be possible to dispose of surface & foul water runoff from the development without increasing the level of flood risk to the site or neighbouring properties. Therefore, the scheme can be considered acceptable in terms of drainage strategy and flood risk.

APPENDIX A
EXISTING SITE LAYOUT



1 EXISTING SITE PLAN
Scale: 1:300

HATCH LEGEND:

- **RECEPTION**
- **SOLUS 2.0**
- **LINEN**
- **CONVERSION**

0 10 20 30 M

N

Rev	Date	Description	By	Chk

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WHITBREAD GROUP PLC

Project
PREMIER INN LONDON HAYES
HEATHROW (HYDE PARK)
LONDON UB3 4AZ

Drawing
EXISTING SITE PLAN

Scale	Date	Drawn	Checked
1:300@A3	26/03/24	IB	PM

Drawing No. **Revision**
6270-F- 001

Status
FEASIBILITY

APPENDIX B
FOUL DRAINAGE STRATEGY

DO NOT SCALE

simpson
London, Henley-on Thames, Gloucester and Exeter

AS BUILT
13.07.2018

LEVELS LEGEND

[FFL 32.55]	Proposed finished floor level
84.80 +	Proposed level
85.09	Existing level
1 in 24.5	Proposed gradient
1/3	Proposed bank and gradient

DRAINAGE LEGEND

- Trapped road gully (RG)
- Internal gully to Architects specification (FG)
- Channel drain and sump unit (CS)
- Surface water rodding eye (RE)
- Surface water drain (150mm 1/100)
- Foul water drain (150mm 1/100)
- SW Drain to be removed
- FW Drain to be removed
- SW shallow inspection chamber (SA)
- Surface water inspection chamber (S1)
- Foul water inspection chamber (F1)
- Surface water catchpit manhole
- Surface water manhole
- Foul water manhole
- FW shallow inspection chamber (SA)

ENGINEERING NOTES

1. This drawing to be read in conjunction with all relevant Architects, Engineers and Subcontractors drawings and details.
2. This drawing is based on topographical survey by Subsite Survey Ltd.:
   Drawing Number **48583**
   Dated **November 2105**
3. All levels relate to levels given on survey drawing.
4. Refer to Architects drawings for details of all paving types & patterns, soft landscaping, fences, gates & bollards.
5. For lighting, service supplies & ducting requirements, refer to M&E drawings.
6. All works to be carried out in accordance with Sewers for Adoption 7th Edition, BS EN 752 "Drain and sewer systems outside buildings" and the current edition of The Building Regulations "Approved document H".
7. New drainage connections are to be made with appropriate lengths of rocker pipes & couplings.
8. All manhole chamber covers to be installed parallel to final kerbs, edgings, paving joints or building lines as appropriate.
9. This drawing details all below ground drainage up to finished floor level. For details of drainage above finished floor level, refer to Architects drawings.
10. All stack connections under buildings to be minimum 100mm diameter solid PVC–U to BS EN 1401–1/BS4660 & laid at a minimum gradient of 1 in 40 unless otherwise noted. If the stack is greater than 100mm then the diameter of the connection is to be increased to match it
11. All RWP connections to be minimum 100mm diameter solid PVC–U to BS EN 1401–1/BS4660 & laid at a minimum gradient of 1 in 80 unless otherwise noted. If the RWP is greater than 100mm then the diameter of the connection is to be increased to match it.
12. All private foul water pipework up to 150mm in diameter to be PVC–U to BS EN 1401–1/BS4660.
13. All private surface water pipework up to 150mm in diameter to be solid PVC–U to BS EN 1401–1/BS4660. All private surface water pipework 225mm and above to be structured wall plastic sewer pipe complying with clause 518 of the specification for highway works.
14. Plastic chambers shall comply with BS EN 1917 and BS 5911–3.
15. All adoptable foul water and surface water pipework up to 225mm in diameter to be Kitemark certified Vitrified Clay (VC) with flexible spigot and socket joints and shall comply with the requirements of BS EN 295. All adoptable foul water and surface water pipework 300mm and above to be concrete sewer pipe with flexible spigot and socket joints and shall comply with the requirements of BS EN 1916 and BS 5911: Part 1.
16. On completion of development all drainage shall be jet cleaned and CCTV surveyed.
17. Sewers marked to be removed are to be dug out with manholes demolished & void filled with suitable engineering fill material.
18. All road gully connections to be minimum 150mm diameter solid PVC–U pipework to BS EN 1401–1/BS4660 and laid at a minimum gradient of 1 in 150.
19. All existing services shown are based on topographical survey by **Subsite Survey Ltd**. Location of all services in close proximity to works should be confirmed by means of trial pits under supervision of statutory undertaker & in accordance with HSE document "Avoiding Danger from Underground Services" and "Avoiding Danger from overhead power lines"

COLLAPSED DRAIN TO BE REMOVED MANHOLE TO BE REMOVED IF NECESSARY

100ø LATERAL DRAIN TO BE CAPPED UPSTREAM OF MANHOLE

EXISTING MANHOLE TO BE REMOVED.

NOTE: SURVEY NOTES THE PRESENCE OF AN UNKNOWN UTILITY RUNNING ACROSS THE LENGTH OF THE SITE. CONTRACTOR SHOULD ARRANGE A SITE MEETING WITH RELEVANT STATUTORY UNDERTAKERS PRIOR TO COMMENCING WORKS TO CONFIRM LOCATION OF ALL EXISTING SERVICES. CONTRACTORS CONSTRUCTION HEALTH & SAFETY PLAN SHOULD INCLUDE A METHOD STATEMENT OUTLINING A SAFE METHOD OF WORKING IN CLOSE PROXIMITY TO EXISTING SERVICES THAT HAS BEEN AGREED WITH THE RELEVANT STATUTORY UNDERTAKER.

LARGE RADIUS BENDS REQUIRED TO ALLOW RODDING ACCESS FOR FOUL DRAINAGE LEADING TO F1

All new SVP's to connect to the private perimeter foul drain prior to discharging to Thames Water foul sewer.

Building footprint of the restaurant to remain the same as existing. Existing restaurant internal layout to be converted to new hotel bedrooms and a new restaurant.

CONSTRUCTION WORKS IN CLOSE PROXIMITY TO EXISTING SERVICE. CONTRACTORS CONSTRUCTION HEALTH & SAFETY PLAN TO INCLUDE METHOD STATEMENT OUTLINING SAFE METHOD OF WORKING.

PROPOSED PERMEABLE PAVING WITH GRAVEL FILLED FILTER DRAIN & GEOCELLULAR STORAGE TANK BENEATH. TRENCH & TANK TO BE SURROUNDED WITH IMPERMEABLE GEOMEMBRANE WITH 225mm PERFORATED PIPE PROVIDED AT BASE.

PROPOSED FOOTPATH TO TIE IN TO EXISTING.

PROPOSED PERMEABLE PAVING WITH GRAVEL FILLED FILTER DRAIN & GEOCELLULAR STORAGE TANK BENEATH. TRENCH & TANK TO BE SURROUNDED WITH IMPERMEABLE GEOMEMBRANE WITH 225mm PERFORATED PIPE PROVIDED AT BASE.

EXISTING REDUNDANT FOUL WATER TO BE REMOVED.

PROPOSED PERMEABLE PAVING WITH GRAVEL FILLED FILTER DRAIN & GEOCELLULAR STORAGE TANK BENEATH. TRENCH & TANK TO BE SURROUNDED WITH IMPERMEABLE GEOMEMBRANE WITH 225mm PERFORATED PIPE PROVIDED AT BASE.

PROPOSED CONNECTION TO EXISTING FOUL WATER MANHOLE. COVER LEVEL TO BE LOWERED TO SUIT PROPOSED NEW CAR PARK LEVEL.

Existing private foul water drainage network

FOUL DRAINAGE TO PASS BENEATH STORAGE TANK.

CONSTRUCTION WORKS IN CLOSE PROXIMITY TO EXISTING SERVICE. CONTRACTORS CONSTRUCTION HEALTH & SAFETY PLAN TO INCLUDE METHOD STATEMENT OUTLINING SAFE METHOD OF WORKING.

EXISTING MANHOLE TO BE REMOVED.

CONSTRUCTION WORKS IN CLOSE PROXIMITY TO EXISTING SERVICE. CONTRACTORS CONSTRUCTION HEALTH & SAFETY PLAN TO INCLUDE METHOD STATEMENT OUTLINING SAFE METHOD OF WORKING.

NOTE: SURVEY NOTES THE PRESENCE OF AN UNKNOWN UTILITY RUNNING ACROSS THE LENGTH OF THE SITE. CONTRACTOR SHOULD ARRANGE A SITE MEETING WITH RELEVANT STATUTORY UNDERTAKERS PRIOR TO COMMENCING WORKS TO CONFIRM LOCATION OF ALL EXISTING SERVICES. CONTRACTORS CONSTRUCTION HEALTH & SAFETY PLAN SHOULD INCLUDE A METHOD STATEMENT OUTLINING A SAFE METHOD OF WORKING IN CLOSE PROXIMITY TO EXISTING SERVICES THAT HAS BEEN AGREED WITH THE RELEVANT STATUTORY UNDERTAKER.

CONSTRUCTION WORKS IN CLOSE PROXIMITY TO EXISTING SERVICE. CONTRACTORS CONSTRUCTION HEALTH & SAFETY PLAN TO INCLUDE METHOD STATEMENT OUTLINING SAFE METHOD OF WORKING.

EXISTING REDUNDANT FOUL WATER MANHOLE TO BE REMOVED.

SITE WAS PREVIOUSLY OCCUPIED BY BUILDINGS & STRUCTURES. WHILST TO DATE SITE INVESTIGATIONS HAVE NOT IDENTIFIED ANY EVIDENCE OF FORMER FOUNDATIONS IT IS POSSIBLE THAT OBSTRUCTIONS MAY STILL EXIST & BE ENCOUNTERED DURING WORKS. CONTRACTOR SHOULD ENSURE SITE PERSONNEL USE APPROPRIATE PPE WHEN CARRYING OUT EXCAVATIONS & THAT CONSTRUCTION HEALTH & SAFETY PLAN INCLUDES METHOD STATEMENT FOR DEALING WITH UNFORESEEN OBSTRUCTIONS IF ENCOUNTERED DURING WORKS. WHERE GROUND CONDITIONS DEVIATE FROM THOSE REPORTED IN THE SITE INVESTIGATION REPORT, THE ENGINEER SHOULD BE CONTACTED IMMEDIATELY FOR ADVICE ON HOW TO PROCEED.

THE GROUND INVESTIGATION REPORT BY ENZYGO (REF:CRM.413.235.GE.R001 B) IDENTIFIED ELEVATED LEVELS OF PAH'S IN UNDERLYING SOILS & ELEVATED CHLOROFORM LEVELS WITHIN THE GROUNDWATER. SITE PERSONNEL SHOULD USE APPROPRIATE PPE WHEN CARRYING OUT EXCAVATIONS & CONTRACTORS CONSTRUCTION HEALTH & SAFETY PLAN SHOULD INCLUDE METHOD STATEMENT THAT ADOPTS BEST PRACTICE HEALTH AND SAFETY POLICIES FOR ALL SITE PERSONNEL THROUGHOUT THE DURATION OF THE CONSTRUCTION WORKS.

CONTRACTOR SHOULD ENSURE SITE PERSONNEL HAVE APPROPRIATE TRAINING & USE APPROPRIATE PPE WHEN CARRYING OUT WORKS IN THE HIGHWAY AND THE CONSTRUCTION HEALTH & SAFETY PLAN SHOULD INCLUDE METHOD STATEMENT THAT ADOPTS BEST PRACTICE HEALTH AND SAFETY POLICIES FOR ALL SITE PERSONNEL THROUGHOUT THE DURATION OF THE WORKS ON / ADJACENT TO HIGHWAY.

CONSTRUCTION WORKS AFFECTED BY EXISTING SERVICES. CONTRACTOR SHOULD ARRANGE FOR LOWERING / PROTECTION OF ALL SERVICES PRIOR TO COMMENCEMENT OF ENTRANCE WORKS.

EXISTING ENTRANCE TO BE CLOSED

PROPOSED DRY SWALE WITH GRAVEL FILLED FILTER DRAIN BENEATH. TRENCH TO BE SURROUNDED WITH IMPERMEABLE GEOMEMBRANE WITH 300mm PERFORATED PIPE PROVIDED AT BASE.

EXISTING FOUL WATER MANHOLE TO BE REMOVED

CONSTRUCTION WORKS IN CLOSE PROXIMITY TO EXISTING SERVICE. CONTRACTORS CONSTRUCTION HEALTH & SAFETY PLAN TO INCLUDE METHOD STATEMENT OUTLINING SAFE METHOD OF WORKING.

CATCHPIT MANHOLE TO BE FITTED WITH A HYDRO–BRAKE. HYDRO–BRAKE TO RESTRICT FLOWS TO A MAXIMUM RATE OF 2.0 L/S FOR ALL STORM EVENTS UP TO AND INCLUDING THE 1 IN 100 YEAR EVENT PLUS A 30% ALLOWANCE FOR CLIMATE CHANGE. TYPE – OPTIMUM – MD–SHE–0074–2000–0505–2000 DESIGN HEAD – 0.505m, ORIFICE DIAMETER – 0.74m

PROPOSED SURFACE WATER CONNECTION TO EXISTING THAMES WATER SEWER VIA A Y–CONNECTION TO AVOID NEARBY GAS MAIN. INVERT LEVEL TO BE CONFIRMED BY CONTRACTOR PRIOR TO CONSTRUCTION OF DRAINAGE WORKS. ANY DISCREPANCY REPORTED BACK TO ENGINEER.

PROPOSED DRY SWALE WITH GRAVEL FILLED FILTER DRAIN BENEATH. TRENCH TO BE SURROUNDED WITH IMPERMEABLE GEOMEMBRANE WITH 300mm PERFORATED PIPE PROVIDED AT BASE.

SINGLE STEP TO SUBSTATION ROOM 170 RISER X 280 GOINGS

PROPOSED DRY SWALE WITH GRAVEL FILLED FILTER DRAIN BENEATH. TRENCH TO BE SURROUNDED WITH IMPERMEABLE GEOMEMBRANE WITH 300mm PERFORATED PIPE PROVIDED AT BASE.

PROPOSED FOOTPATH TO TIE IN TO EXISTING.

EXISTING FOUL WATER MANHOLE COVER LEVEL TO BE LOWERED TO SUIT PROPOSED NEW CAR PARK LEVEL.

PROPOSED CONNECTION TO EXISTING FOUL WATER MANHOLE. COVER LEVEL TO BE LOWERED TO SUIT PROPOSED NEW CAR PARK LEVEL.MANHOLE TO BE REBUILT IF NECESSARY

Location of connection to Thames Water foul sewer to the east.

DESIGNERS RESIDUAL RISK SCHEDULE

CONSTRUCTION

1. EXISTING SEWERS / DRAINAGE / SERVICES / OVERHEAD CABLES:

a. REFER TO EXISTING SERVICES LAYOUT (REF:13413:05) , TOPOGRAPHICAL SURVEY (REF:48583) & STATUTORY UNDERTAKERS RECORDS FOR LOCATION OF EXISTING SEWERS, DRAINAGE, SERVICES & OVERHEAD CABLES.

b. WORKS IN CLOSE PROXIMITY TO EXISTING SEWERS, DRAINAGE, SERVICES & OVERHEAD CABLES. CONTRACTORS CONSTRUCTION HEALTH & SAFETY PLAN SHOULD INCLUDE METHOD STATEMENT OUTLINING SAFE METHOD OF WORKING AGREED WITH RELEVANT STATUTORY UNDERTAKER WHERE NECESSARY.

c. WORKS AFFECTED BY EXISTING SERVICES. CONTRACTOR SHOULD ARRANGE FOR DIVERSION / LOWERING / PROTECTION BY STATUTORY UNDERTAKER WHERE NECESSARY PRIOR TO COMMENCEMENT OF WORKS.

2. GROUND CONDITIONS / SOIL CONTAMINATION / REMEDIATION

a. SITE WAS PREVIOUSLY OCCUPIED BY BUILDINGS & STRUCTURES. WHILST TO DATE SITE INVESTIGATIONS HAVE NOT IDENTIFIED ANY EVIDENCE OF FORMER FOUNDATIONS IT IS POSSIBLE THAT OBSTRUCTIONS MAY STILL EXIST & BE ENCOUNTERED DURING WORKS. CONTRACTOR SHOULD ENSURE SITE PERSONNEL USE APPROPRIATE PPE WHEN CARRYING OUT EXCAVATIONS & THAT CONSTRUCTION HEALTH & SAFETY PLAN INCLUDES METHOD STATEMENT FOR DEALING WITH UNFORESEEN OBSTRUCTIONS IF ENCOUNTERED DURING WORKS. WHERE GROUND CONDITIONS DEVIATE FROM THOSE REPORTED IN THE SITE INVESTIGATION REPORT, THE ENGINEER SHOULD BE CONTACTED IMMEDIATELY FOR ADVICE ON HOW TO PROCEED.

b. THE GROUND INVESTIGATION REPORT BY ENZYGO (REF:CRM.413.235.GE.R001 B) IDENTIFIED ELEVATED LEVELS OF PAH'S IN UNDERLYING SOILS & ELEVATED CHLOROFORM LEVELS WITHIN THE GROUNDWATER. SITE PERSONNEL SHOULD USE APPROPRIATE PPE WHEN CARRYING OUT EXCAVATIONS & CONTRACTORS CONSTRUCTION HEALTH & SAFETY PLAN SHOULD INCLUDE METHOD STATEMENT THAT ADOPTS BEST PRACTICE HEALTH AND SAFETY POLICIES FOR ALL SITE PERSONNEL THROUGHOUT THE DURATION OF THE CONSTRUCTION WORKS.

c. TO PROTECT FUTURE USERS OF THE SITE, CONTRACTOR SHOULD ENSURE AREAS OF PROPOSED SOFT LANDSCAPING ARE REMEDIATED BY PLACING A 300MM THICK COVER LAYER OF CERTIFIED CLEAN TOPSOIL OVER A SEPARATION GEOTEXTILE.

3. EXCAVATIONS & EARTHWORKS

a. REFER TO GROUND INVESTIGATION REPORT BY ENZYGO (REF: CRM.413.235.GE.R001 B) FOR DETAILS OF UNDERLYING SOILS. WHERE GROUND CONDITIONS ARE FOUND TO DEVIATE FROM THOSE REPORTED IN THE SITE INVESTIGATION REPORT, THE ENGINEER SHOULD BE CONTACTED IMMEDIATELY FOR ADVICE ON HOW TO PROCEED.

b. EXCAVATIONS WHERE ACCESS IS REQUIRED SHOULD BE TEMPORARY SUPPORTED WITH SLOPES BATTERED WELL BACK AND MAINTAINED AT A SAFE ANGLE.

c. CONTRACTORS CONSTRUCTION HEALTH & SAFETY PLAN SHOULD INCLUDE METHOD STATEMENT OUTLINING SAFE METHOD OF WORKING IN OR ADJACENT TO DEEP EXCAVATIONS ADJACENT TO BOUNDARIES / STRUCTURES.

d. GROUNDWATER MAY BE ENCOUNTERED IN EXCAVATIONS. CONTRACTORS CONSTRUCTION HEALTH & SAFETY PLAN SHOULD INCLUDE METHOD STATEMENT OUTLINING SAFE METHOD FOR DEWATERING EXCAVATIONS DURING GROUNDWORKS.

4. WORKS ON OR ADJACENT TO HIGHWAY

a. CONTRACTOR SHOULD ENSURE SITE PERSONNEL HAVE APPROPRIATE TRAINING & USE APPROPRIATE PPE WHEN CARRYING OUT WORKS IN THE HIGHWAY AND THE CONSTRUCTION HEALTH & SAFETY PLAN SHOULD INCLUDE METHOD STATEMENT THAT ADOPTS BEST PRACTICE HEALTH AND SAFETY POLICIES FOR ALL SITE PERSONNEL THROUGHOUT THE DURATION OF THE WORKS ON / ADJACENT TO HIGHWAY.

5. CONNECTING TO EXISTING MANHOLES / SEWERS

a. CONTRACTORS CONSTRUCTION HEALTH & SAFETY PLAN SHOULD INCLUDE METHOD STATEMENT THAT ADOPTS BEST PRACTICE HEALTH AND SAFETY POLICIES FOR ALL SITE PERSONNEL THROUGHOUT THE DURATION OF SUCH WORKS.

b. CONTRACTOR SHOULD ENSURE SITE PERSONNEL HAVE APPROPRIATE TRAINING & USE APPROPRIATE PPE WHEN MAKING SEWER CONNECTIONS TO EXISTING MANHOLES / SEWERS.

MAINTENANCE / CLEANING

6. ACCESS OF MANHOLES / CHAMBERS FOR MAINTENANCE OF DRAINAGE SYSTEM & HIGH PRESSURE JETTING

a. MAINTENANCE CONTRACTOR SHOULD PROVIDE RISK ASSESSMENT AND METHOD STATEMENT THAT ADOPTS BEST PRACTICE HEALTH AND SAFETY POLICIES FOR MAINTENANCE PERSONNEL THROUGHOUT THE DURATION OF SUCH WORKS.

b. MAINTENANCE PERSONNEL SHOULD HAVE APPROPRIATE TRAINING & USE APPROPRIATE PPE.

C7	AS BUILT.	RK	13.07.18
C6	EXTRA FOUL POP–UPS IN UNDERCROFT REMOVED.	JS	06.07.17
C5	EXTRA RWP REMOVED. S12 REMOVED	JS	30.06.17
C4	MANHOLE CONNECTION TO SURFACE WATER SEWER REVISED TO A Y–CONNECTION AFTER DISCOVERY OF A NEARBY GAS MAIN.	JS	23.06.17
C3	DRAINAGE REVISED TO SUIT ARCHITECT'S LATEST LAYOUT. MANHOLE F16A REMOVED. F15 CHANGED FROM UIC TO TYPE B.	JS	23.05.17
C2	DRAINAGE REVISED TO SUIT REVISED POP–UPS IN THE RECEPTION AREA. MANHOLE F16A ADDED	JS	18.04.17
C1	ISSUED FOR CONSTRUCTION. FOUL & SURFACE WATER DRAINAGE UPDATED TO SUIT REVISED DRAINAGE POINTS.	JS	27.03.17
T1	ISSUED FOR TENDER	JS	11.11.16
MK	REVISION	BY	DATE

DRAWING STATUS

AS BUILT

DRAWING TITLE

ENGINEERING LAYOUT

PROJECT — Project Number 13413

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Drawn	Ch'kd	Scales	Date
JS	GC	1:200	NOV' 16

Purpose of Issue: INFORMATION

Drawing Number: 13413:101 — Revision: C7

A1

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