

CLIENT:  
Dwight Daniel

ADDRESS:  
50 Appletree Avenue West Drayton London UB7 8BY

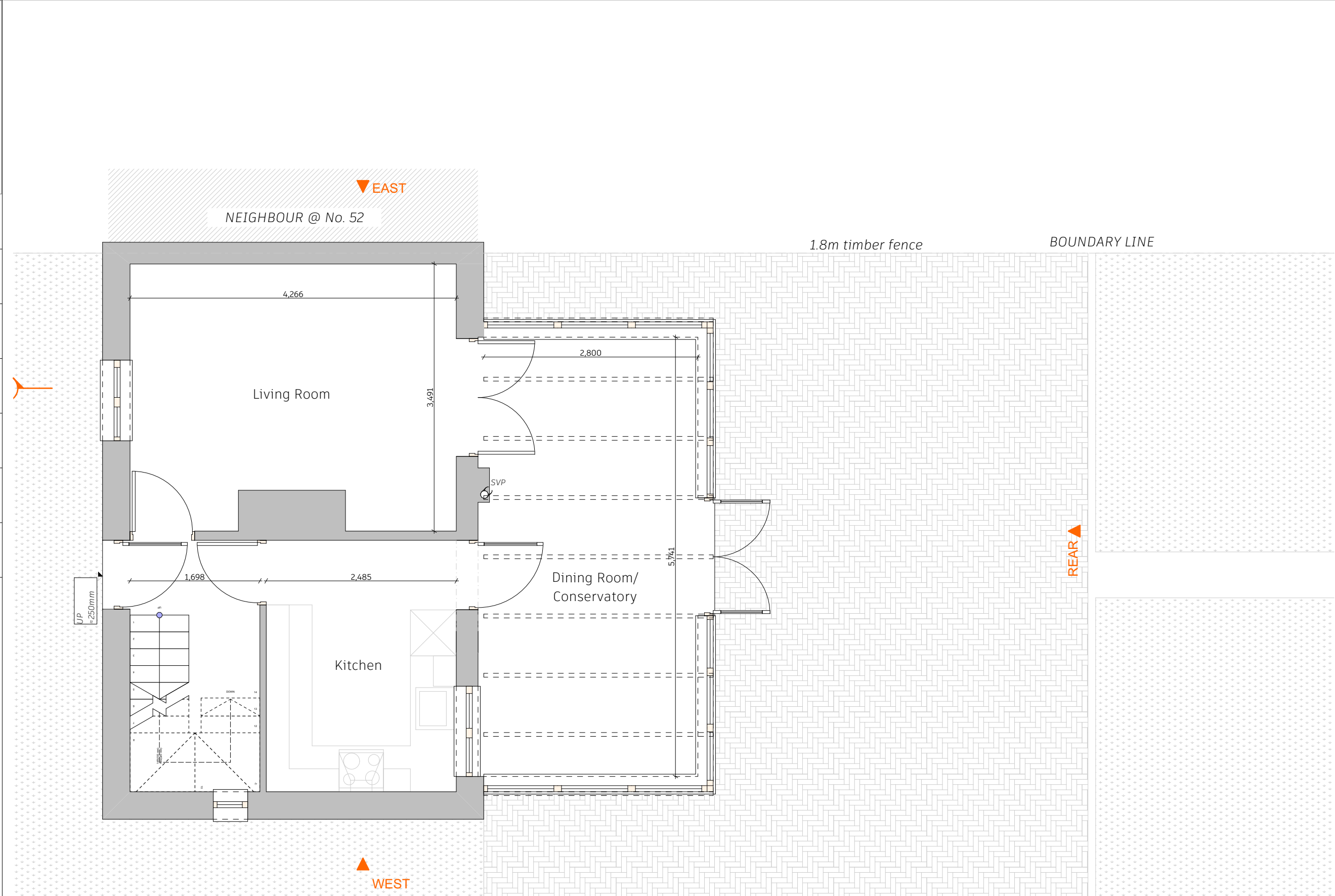
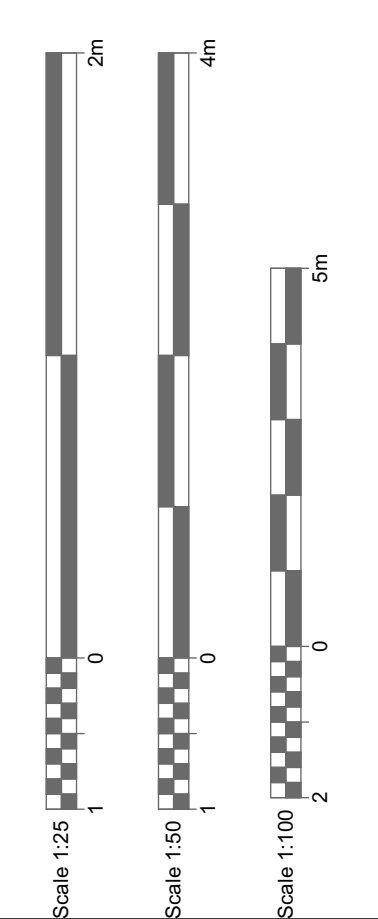
DATE:  
07/06/2024

DRAWING SHEET SIZE:  
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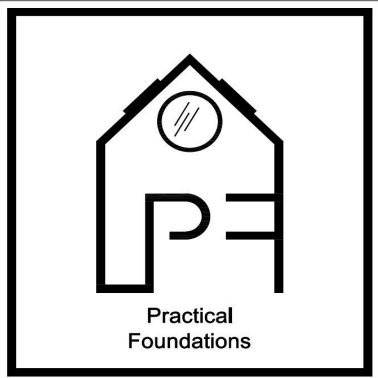
DRAWING NUMBER:  
1514 REV C - 01

REVISION: C  
04/09/2024  
Ivan Sapov

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Existing Ground Floor Plan  
1:50  
Dimensions to be checked on site by builder.



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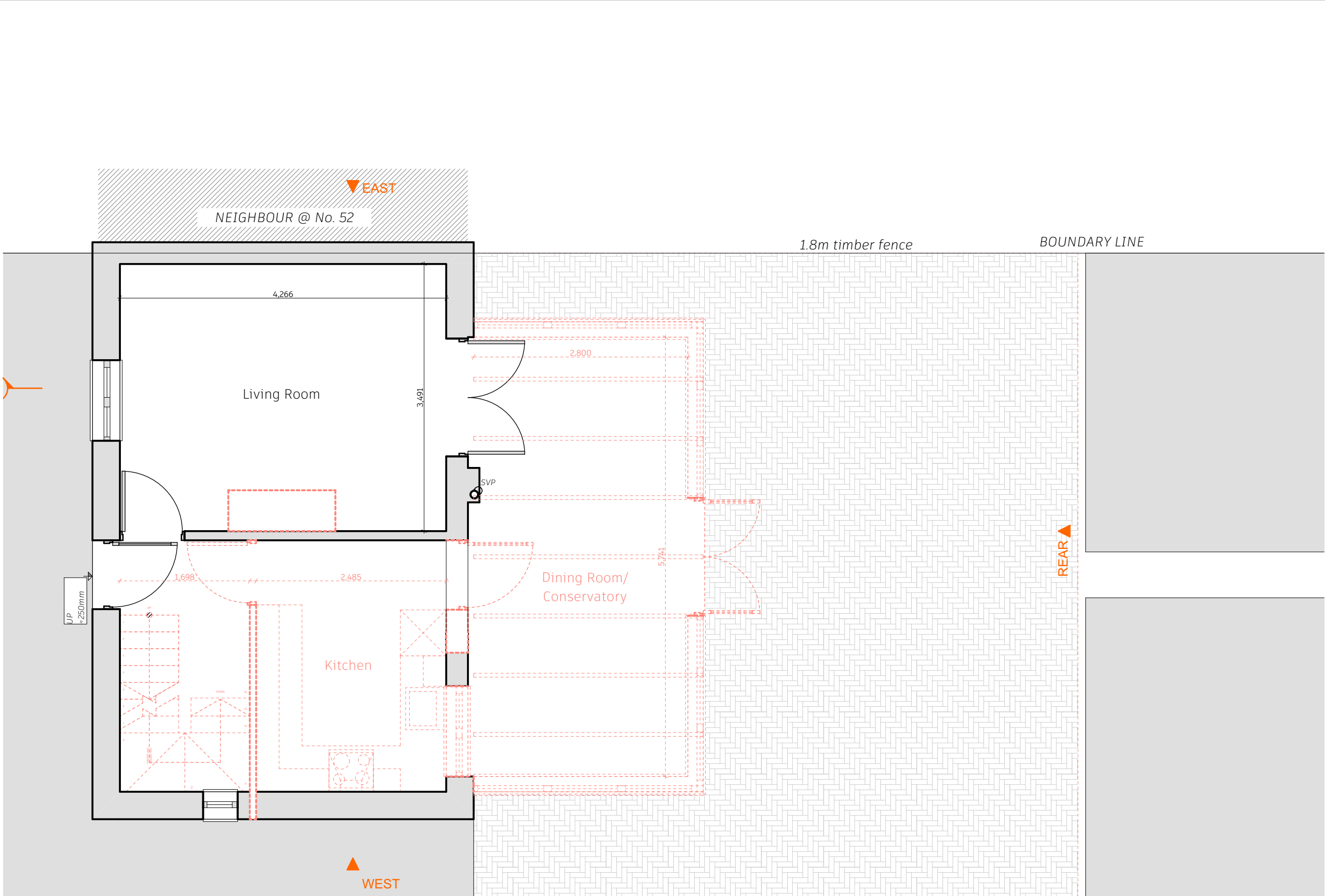
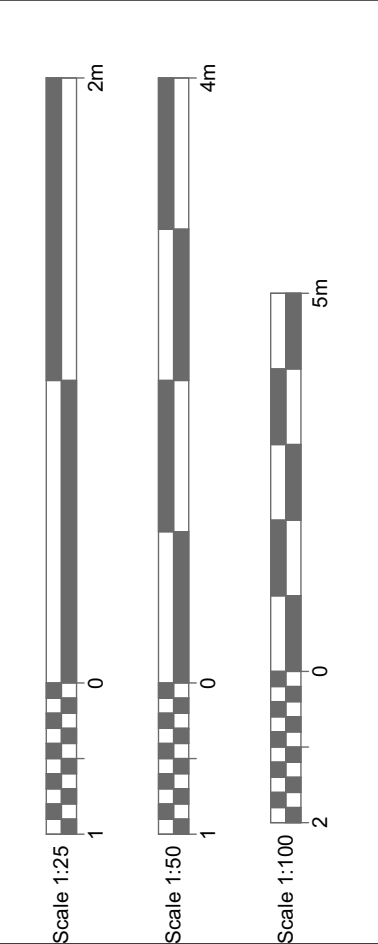
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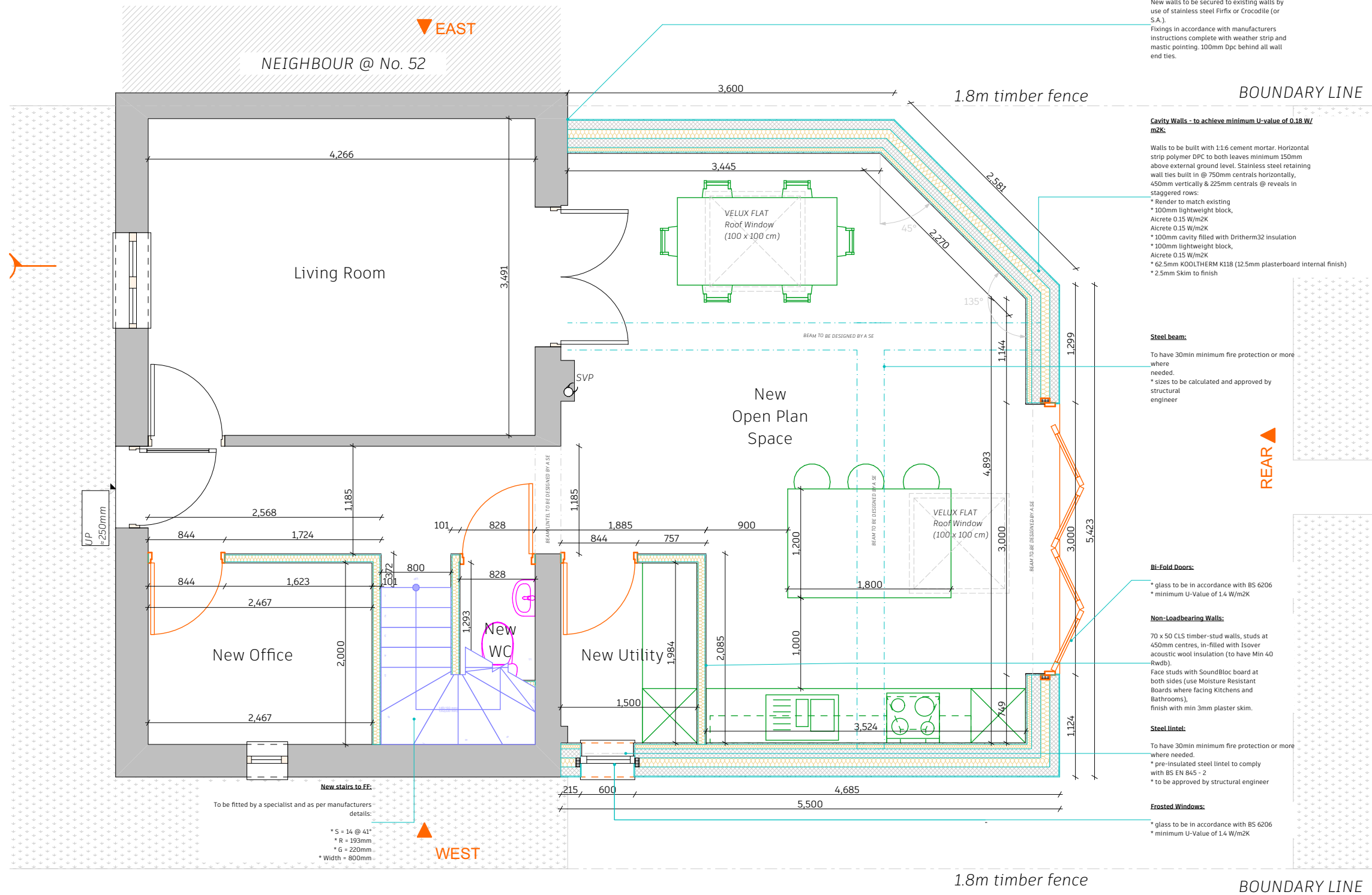
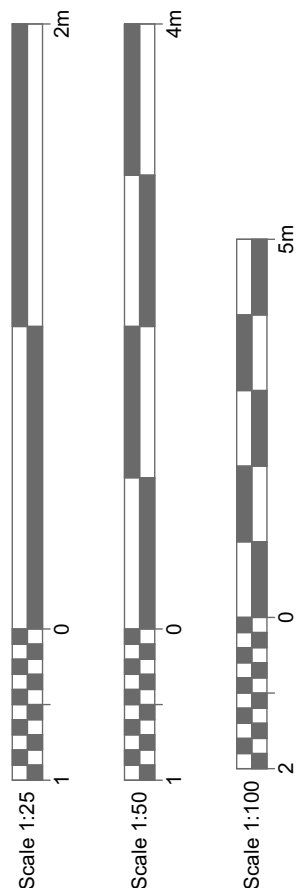


Demolished Ground Floor Plan  
1:50

Dimensions to be checked on site by builder.



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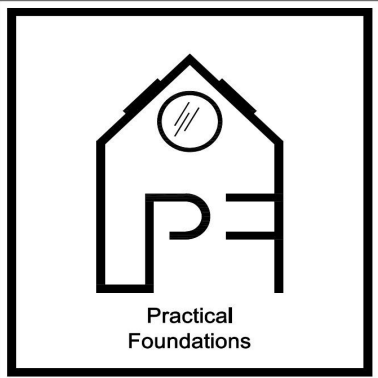


- \* glass to be in accordance with BS 6206
- \* minimum U-Value of 1.4 W/m<sup>2</sup>K

BOUNDARY LINE

Proposed Ground Floor Plan  
1:50

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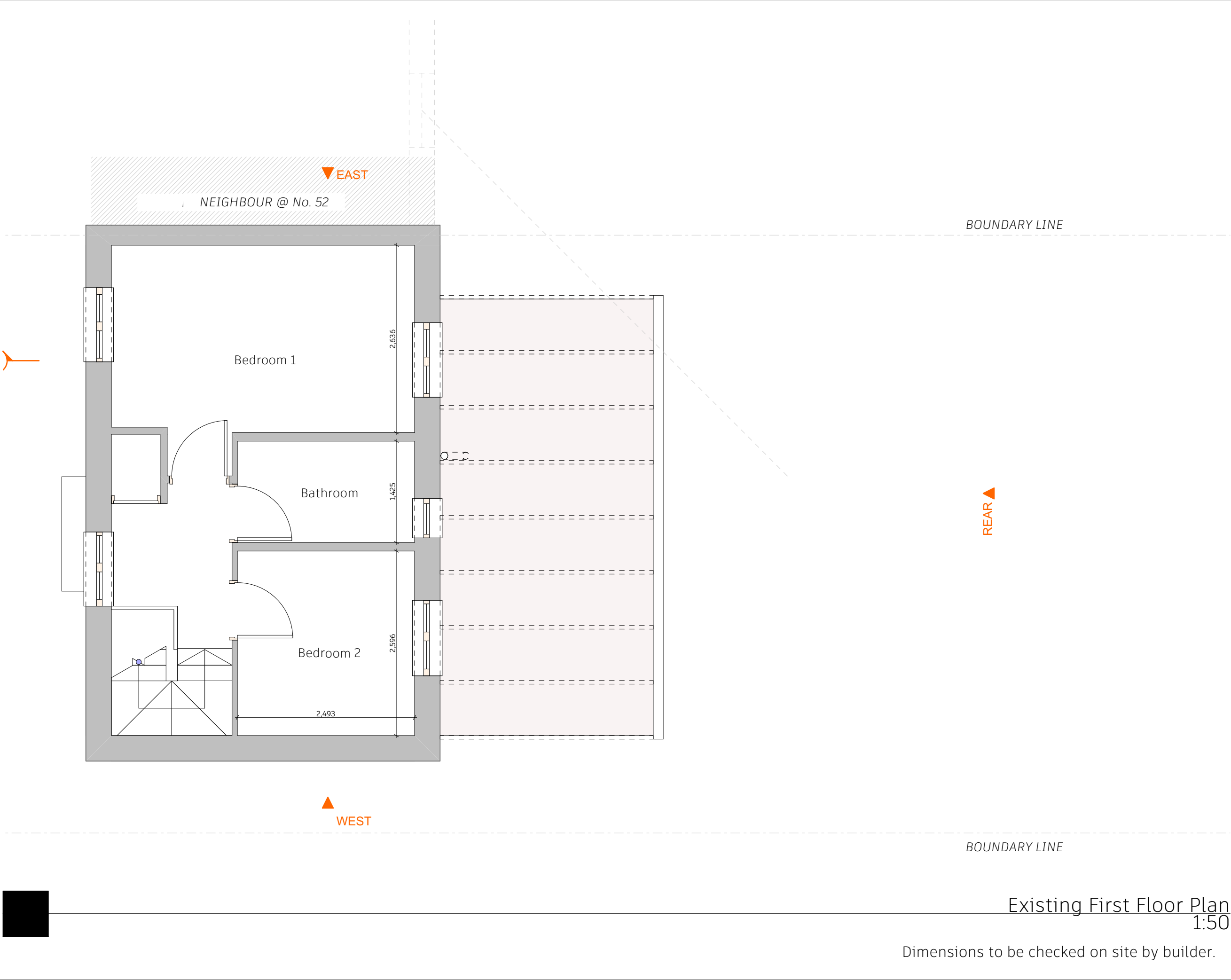
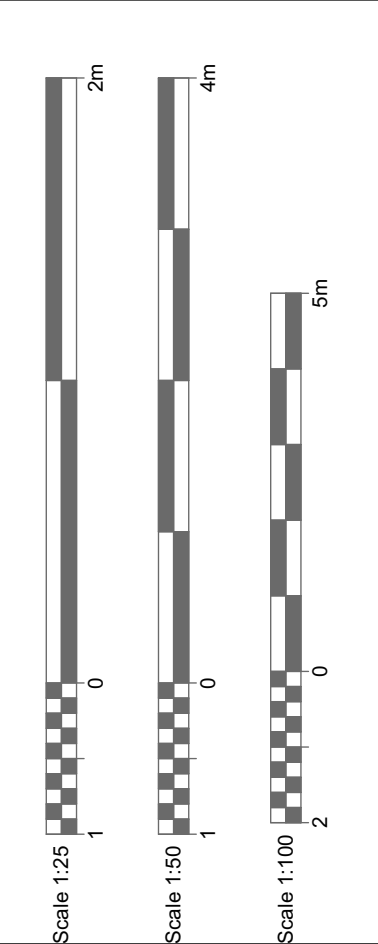
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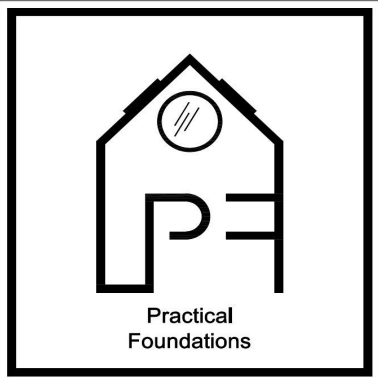
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Existing First Floor Plan  
1:50

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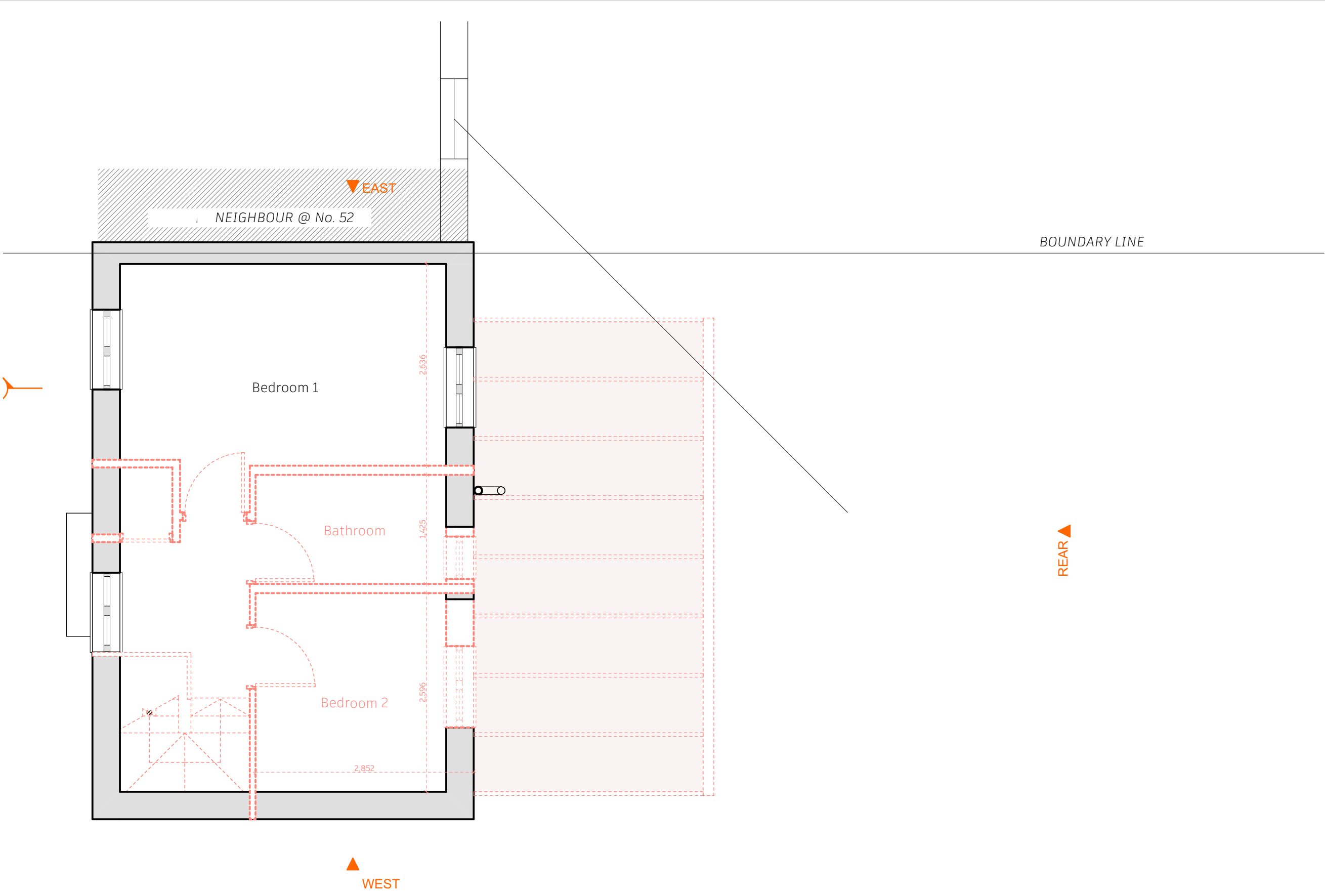
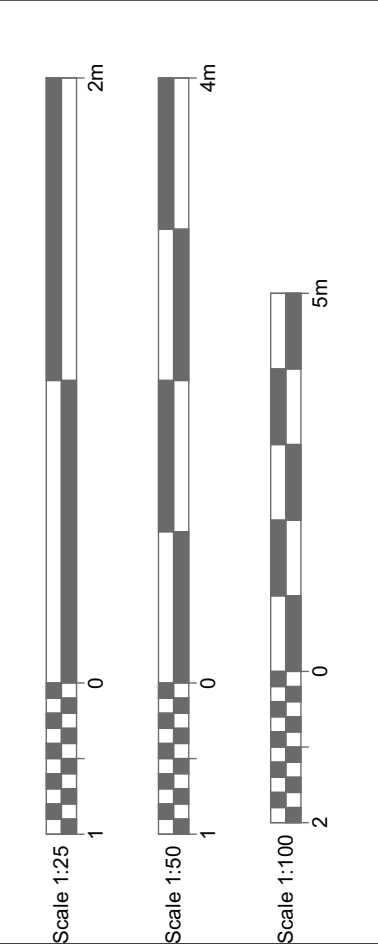
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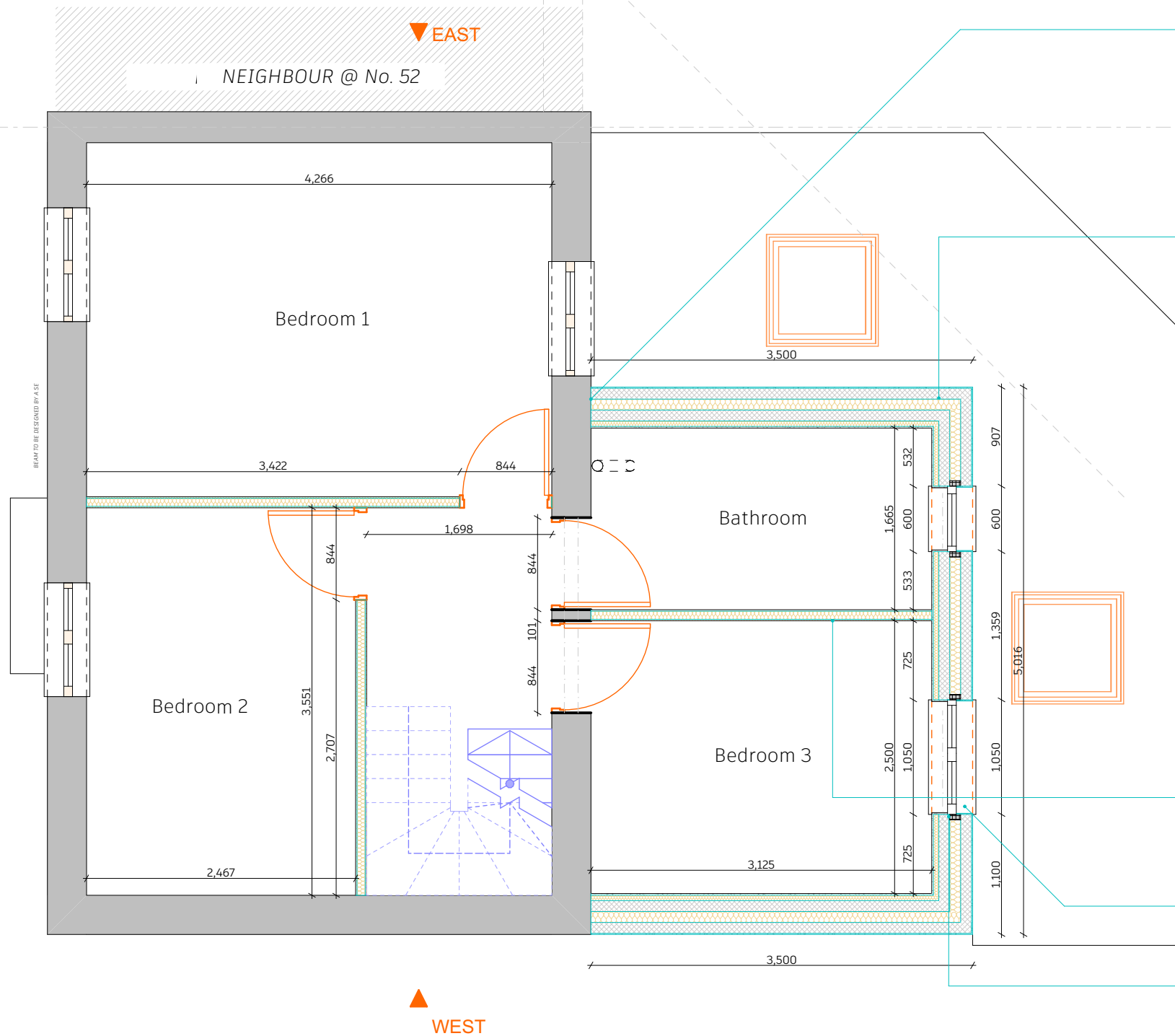
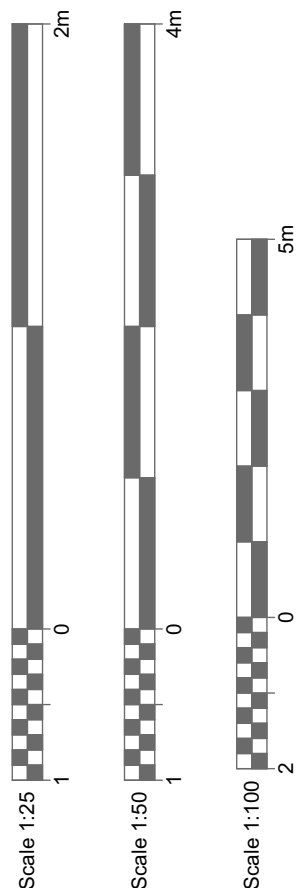


Demolished First Floor Plan  
1:50

Dimensions to be checked on site by builder.



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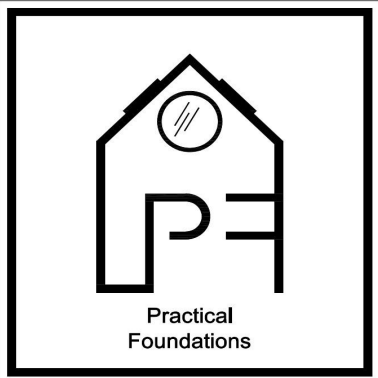
\* glass to be in accordance with BS 6206  
\* minimum U-Value of 1.4 W/m<sup>2</sup>K

REAR ▲

BOUNDARY LINE

Proposed First Floor Plan  
1:50

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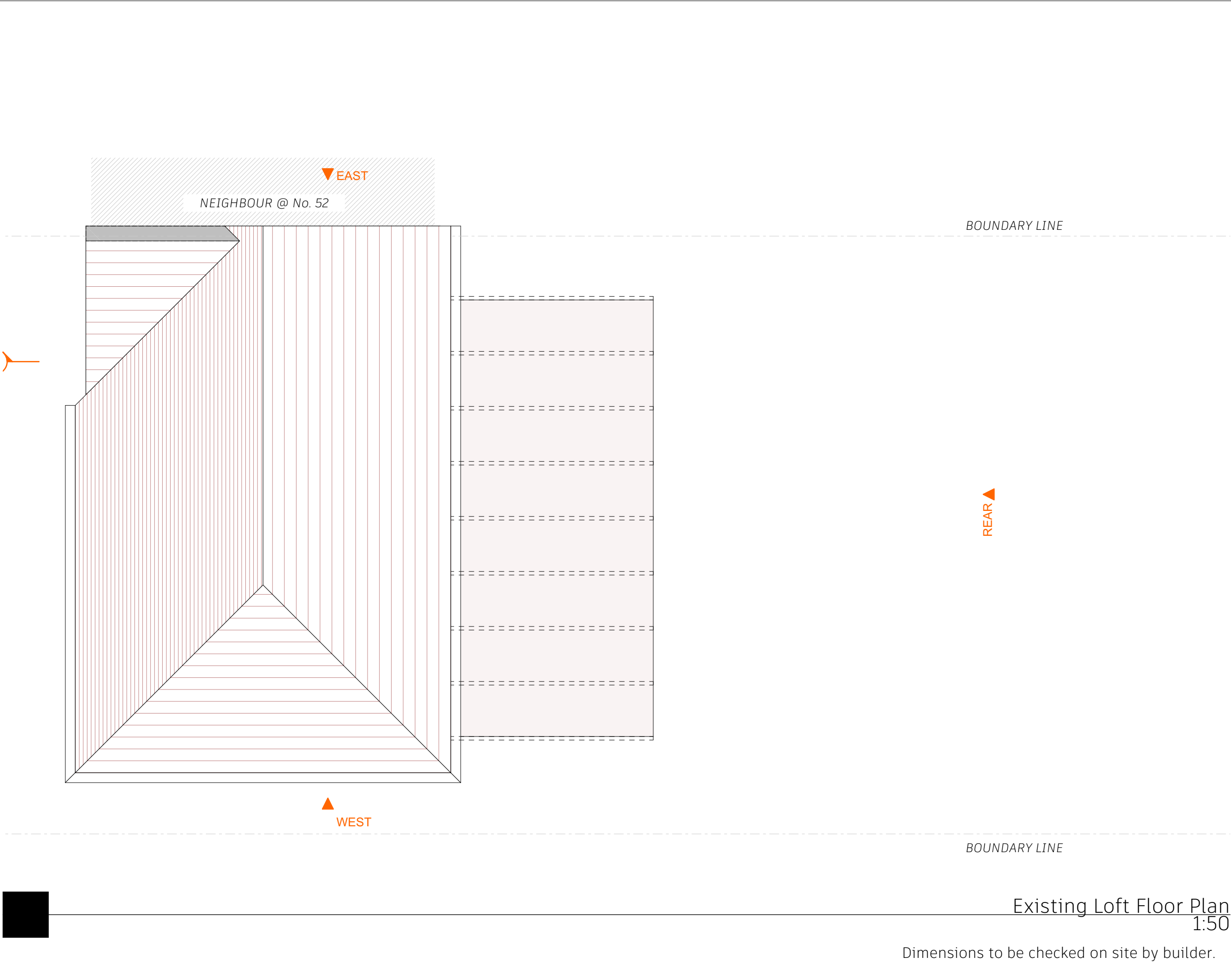
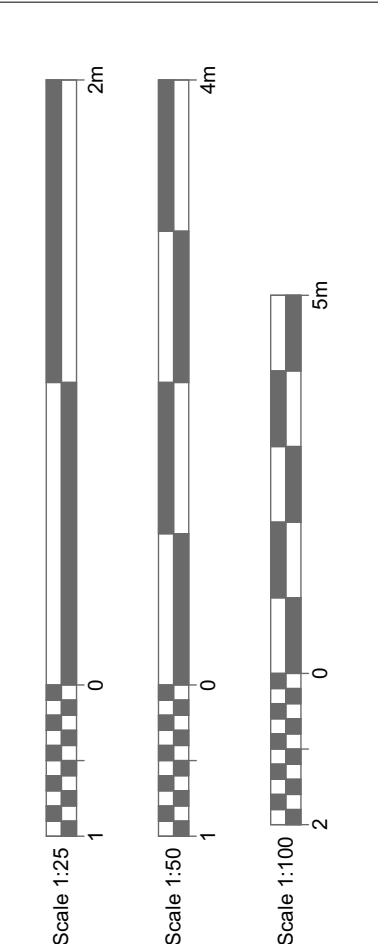
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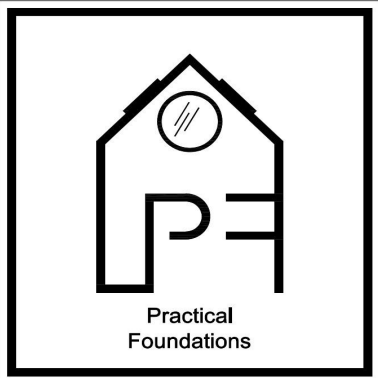
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Existing Loft Floor Plan  
1:50

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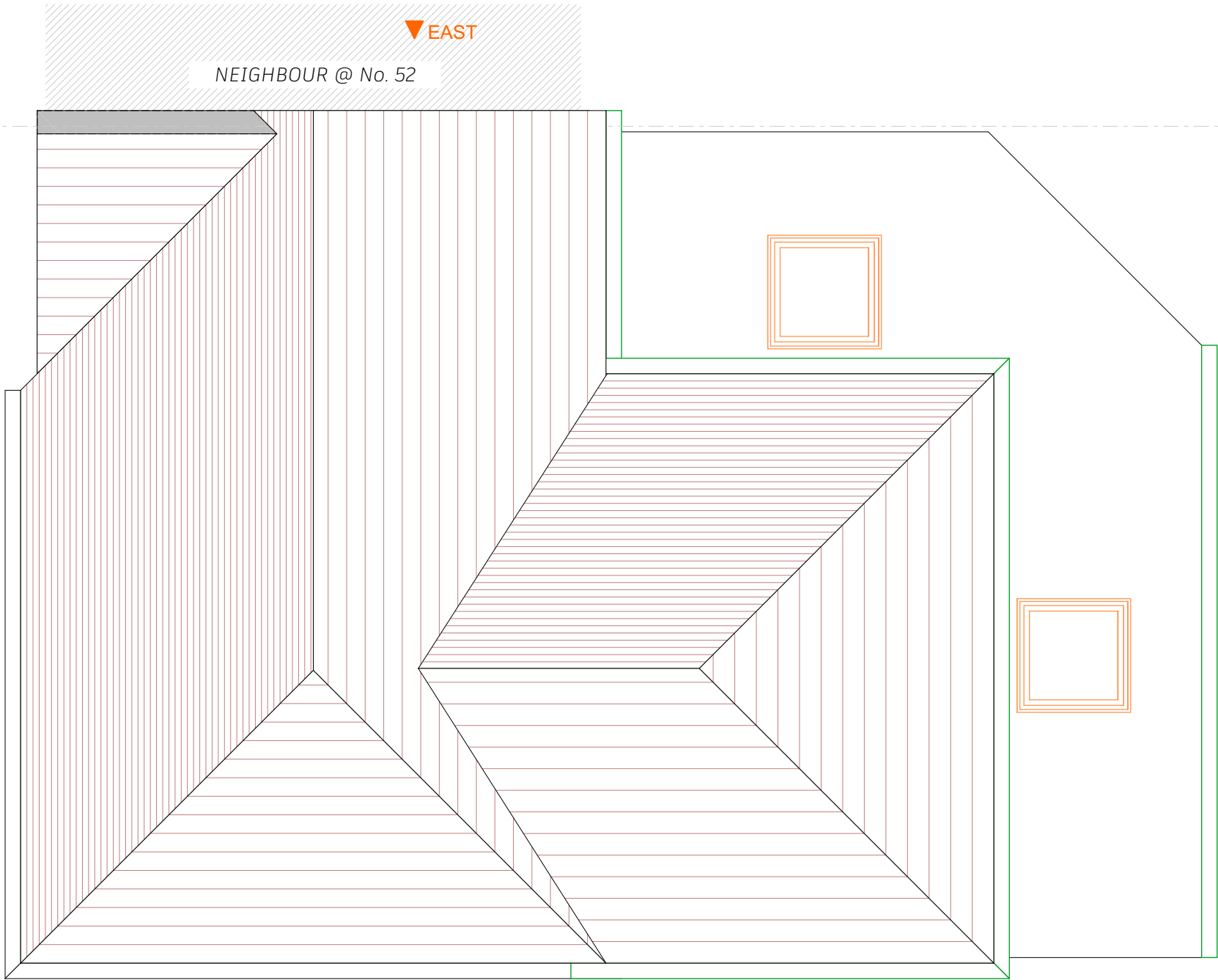
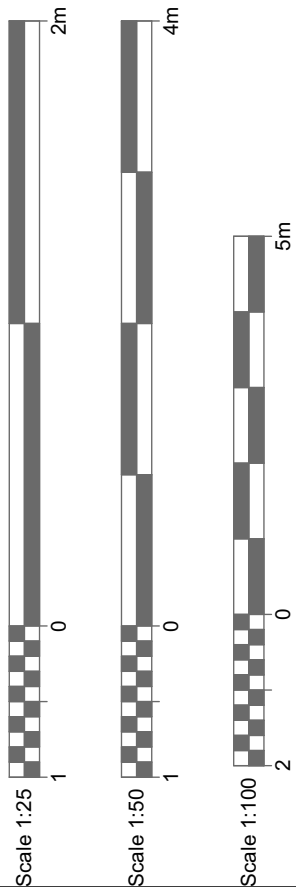
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BOUNDARY LINE

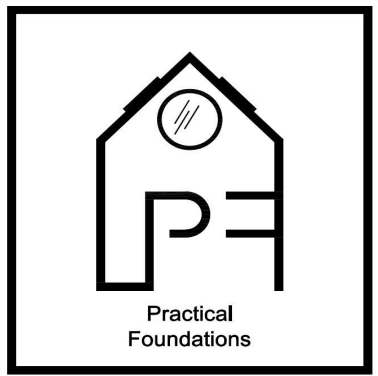
REAR ▲

BOUNDARY LINE

Proposed Loft Floor Plan  
1:50

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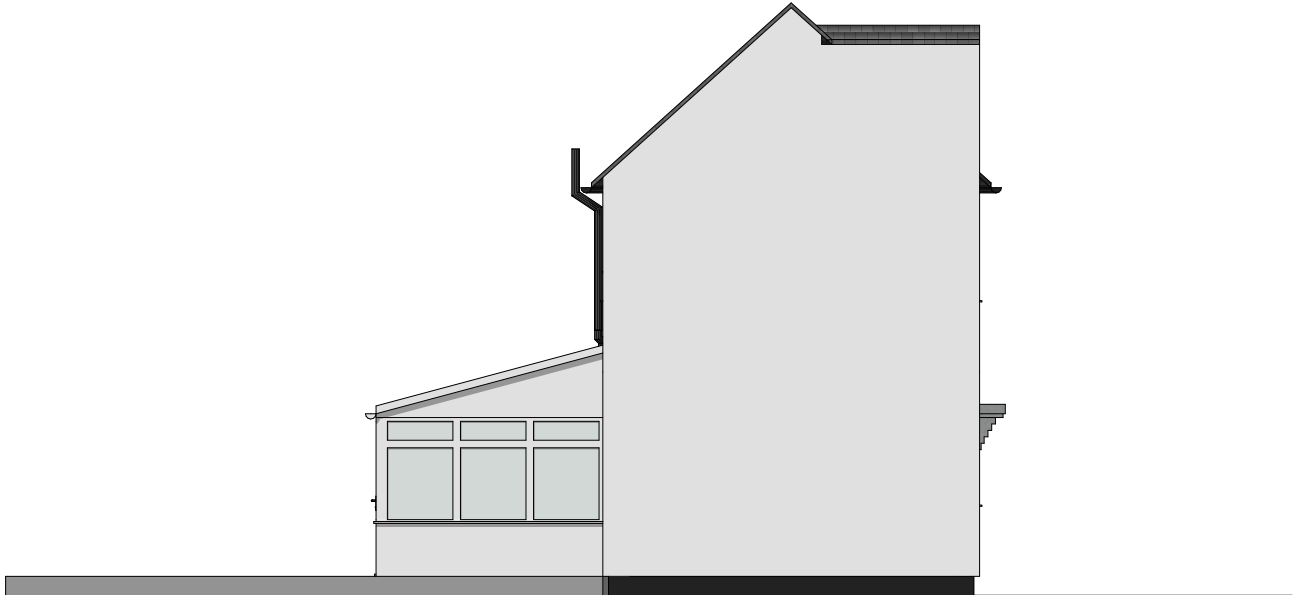
Existing Front Elevation  
1:100



Existing Side Elevation  
1:100

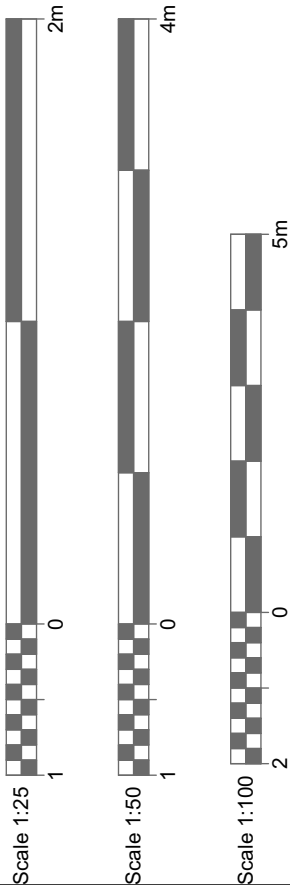


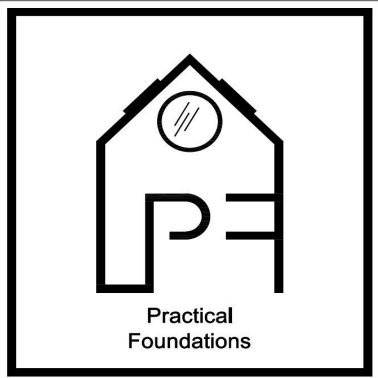
Existing Rear Elevation  
1:100



Existing Side Elevation  
1:100

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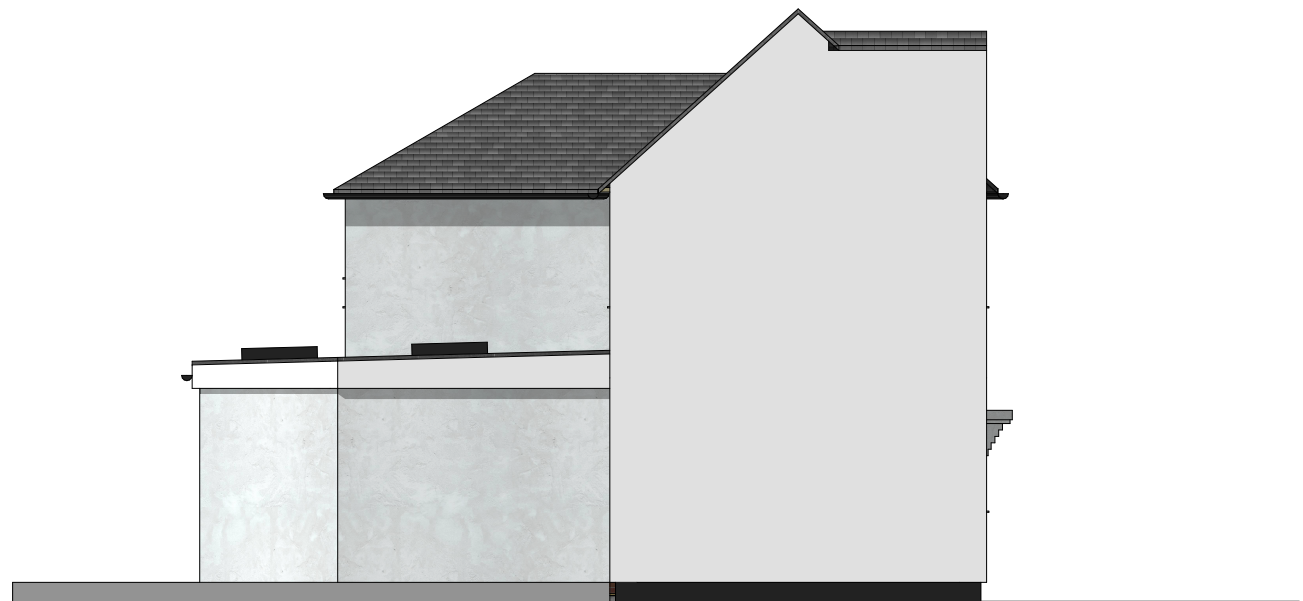
Proposed Front Elevation  
1:100



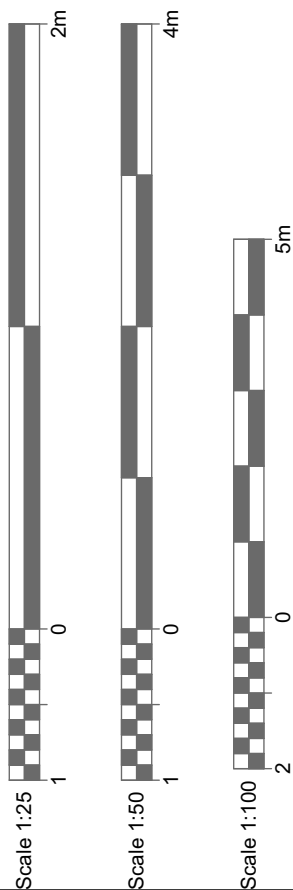
Proposed Side Elevation  
1:100



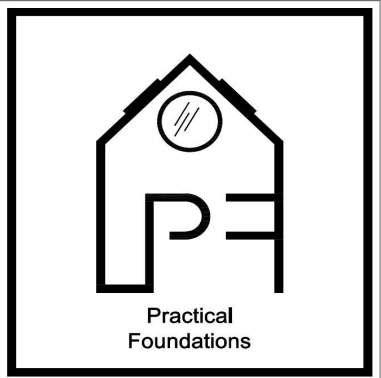
Proposed Rear Elevation  
1:100



Proposed Side Elevation  
1:100



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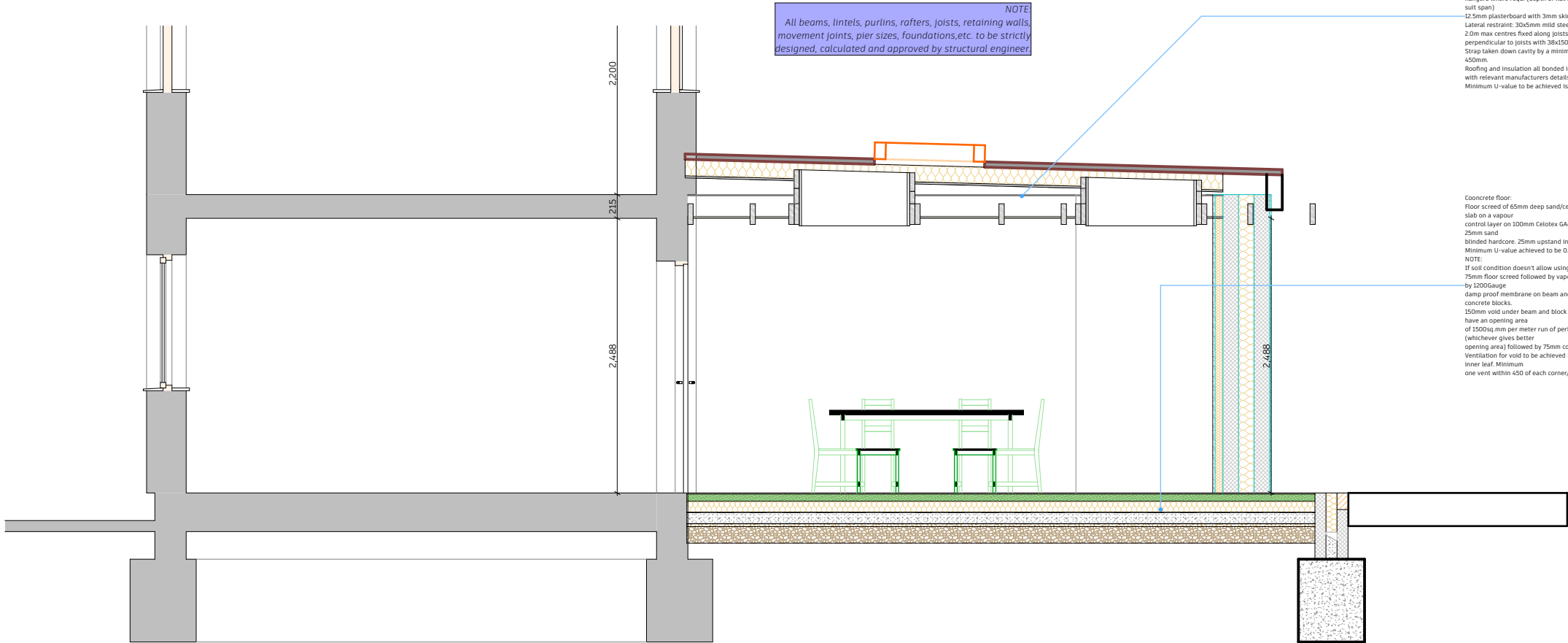
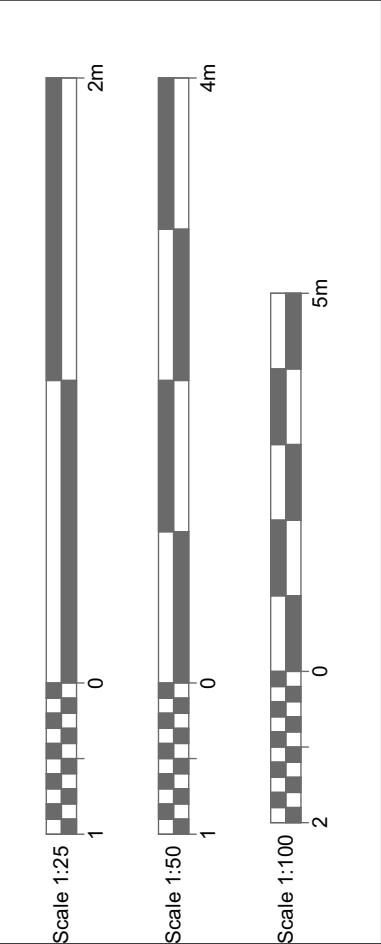
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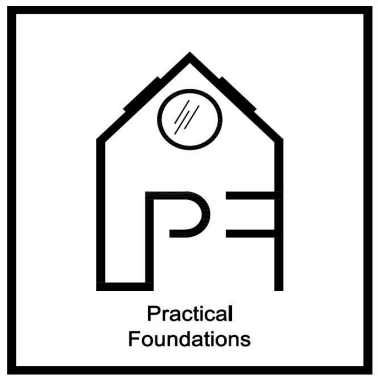


NOTE:  
All beams, lintels, purlins, rafters, joists, retaining walls, movement joints, pier sizes, foundations, etc. to be strictly designed, calculated and approved by structural engineer

Roof structure:  
Flat roof to be a warm roof with fully adhered GRP single ply membrane on 150mm thick Kingspan Thermafoam T1627 LFC/PM on Vapour control barrier on 18mm plywood deck on Timber Joists @400ctr. built into internal walls or on hangers where reqd. (depth of flat roof joist to suit span)  
12.5mm plasterboard with 3mm skim finish  
Lateral restraint: 30x5mm mild steel straps at 2.0m max centres fixed along joists or perpendicular to joists with 38x150 noggin. Strap taken down cavity by a minimum of 450mm.  
Roofing and insulation all bonded in accordance with relevant manufacturers details.  
Minimum U-value to be achieved is 0.15W/sq.m K

Concrete floor:  
Floor screed of 65mm deep sand/cement with light reinforcement on 100mm thick concrete slab on a vapour control layer on 100mm Celotex GA4000 insulation on 1200Gauge damp proof membrane on 25mm sand.  
blinded hardcore. 25mm upstand insulation all round perimeter tp be provided where needed. Minimum U-value achieved to be 0.18 W/sq.m K  
NOTE:  
If soil condition doesn't allow using solid slab then suspended floor to be used instead: 75mm floor screed followed by vapour control layer on 100mm Kingspan Kooltherm followed by 1200Gauge damp proof membrane on beam and block floor as per engineer's details & 100mm dense concrete blocks.  
150mm void under beam and block floor & dense concrete blocks. Ventilation opening to have an opening area of 1500sq.mm per meter run of perimeter wall or 500sq.mm per sq. meter of floor area (whichever gives better opening area) followed by 75mm concrete blinding layers.  
Ventilation for void to be achieved by periscopic vents. All vents to have PCC lintel over in inner leaf. Minimum one vent within 450 of each corner/return.

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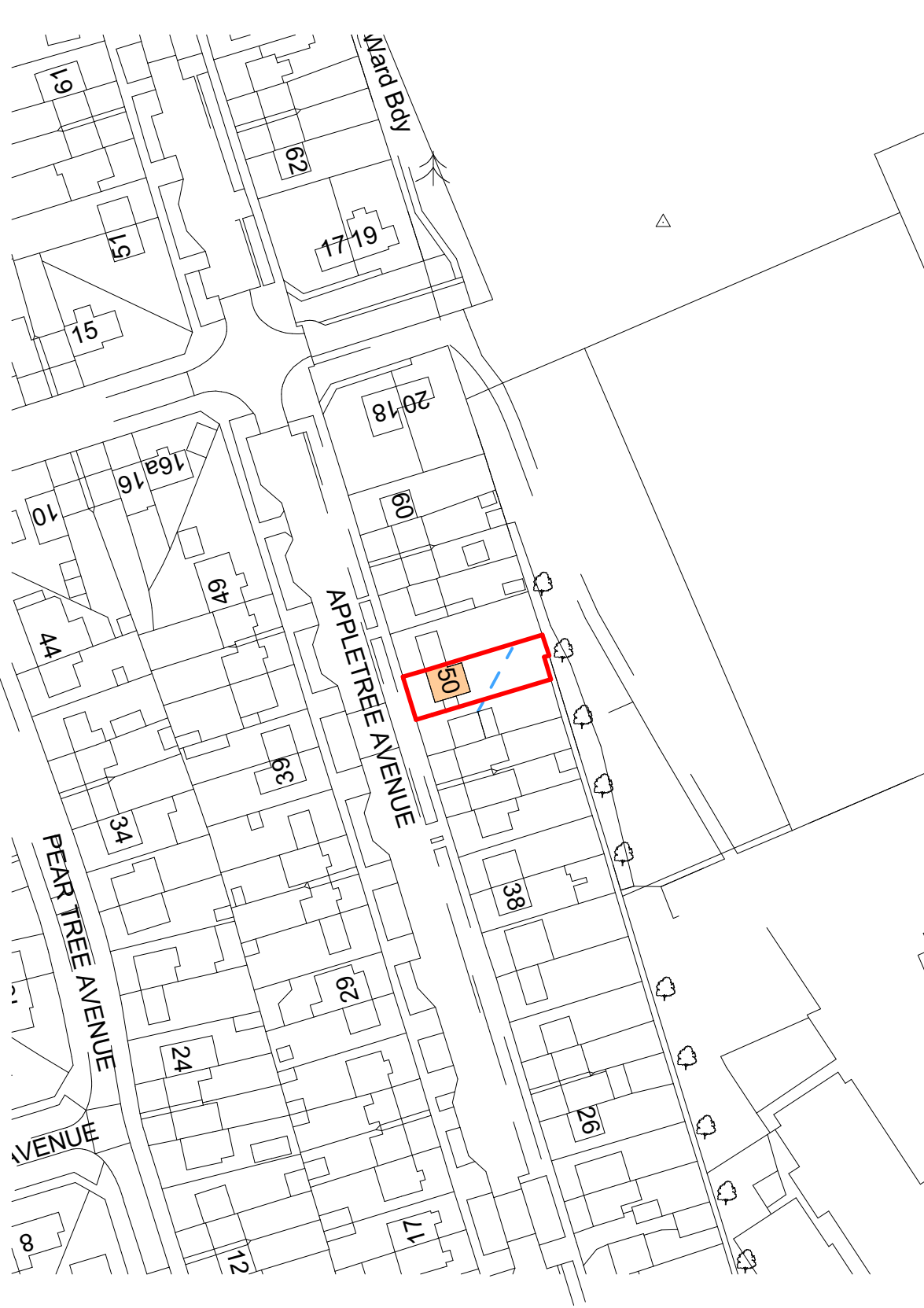
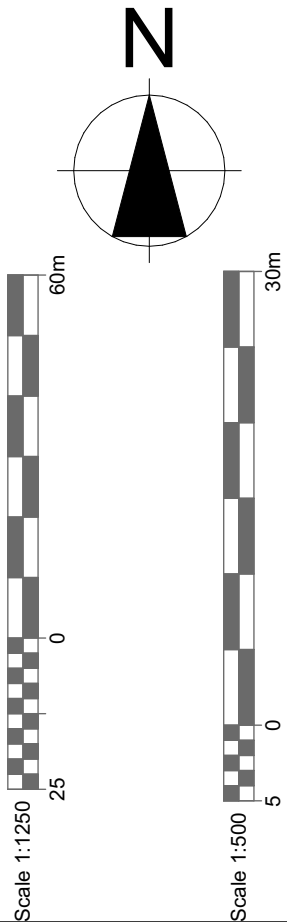
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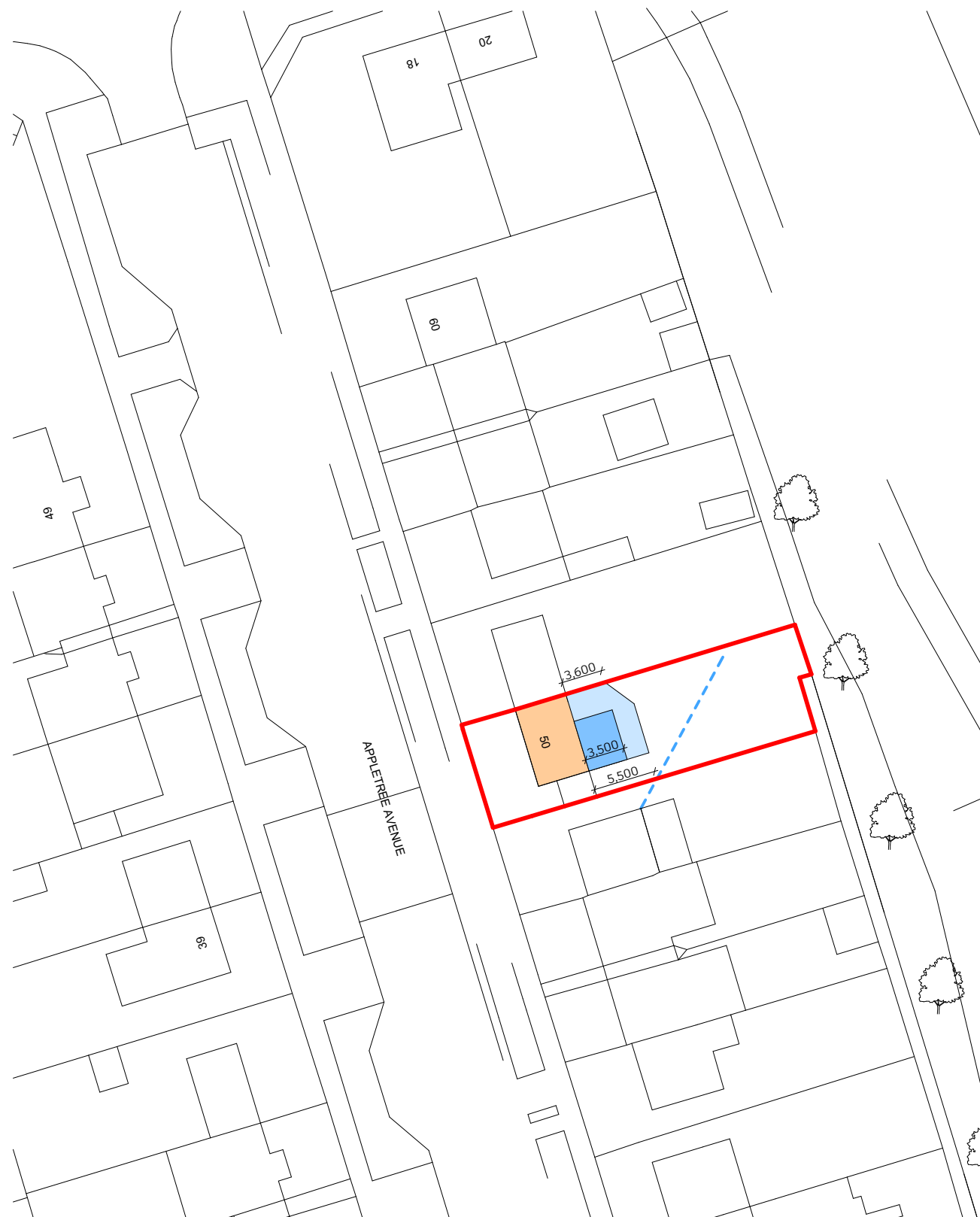
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Site Location  
1:1250



Proposed Site Layout  
1:500

