

CLIENT:
Dwight Daniel

ADDRESS:
50 Appletree Avenue West Drayton London UB7 8BY

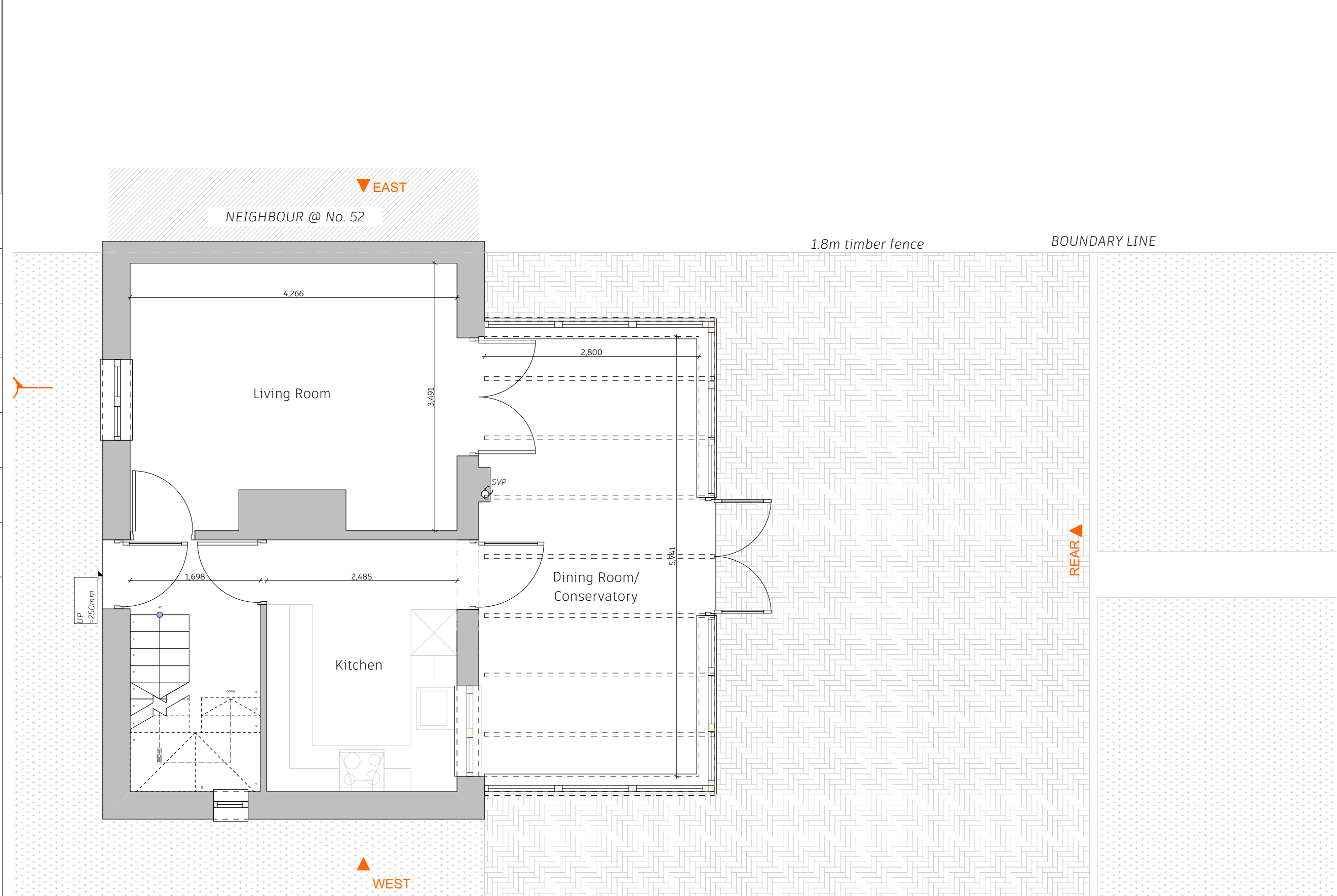
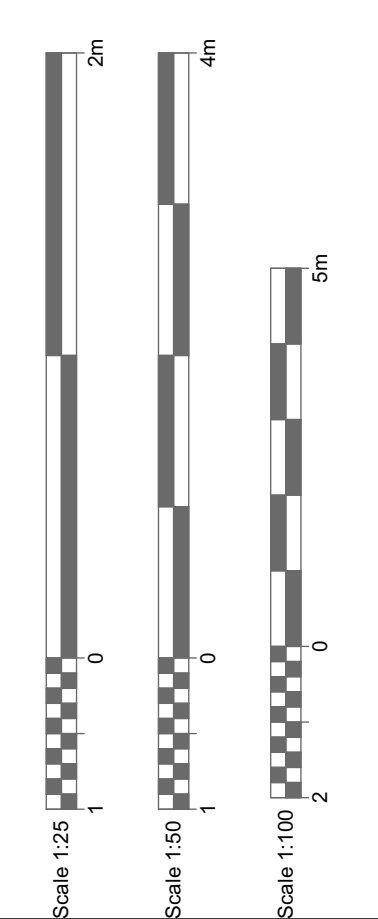
DATE:
07/06/2024

DRAWING SHEET SIZE:
A3

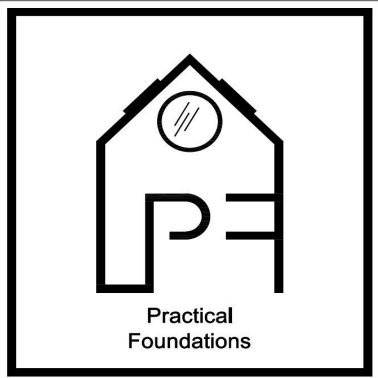
DRAWING NUMBER:

REVISION: A
07/06/2024
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Existing Ground Floor Plan
1:50
Dimensions to be checked on site by builder.



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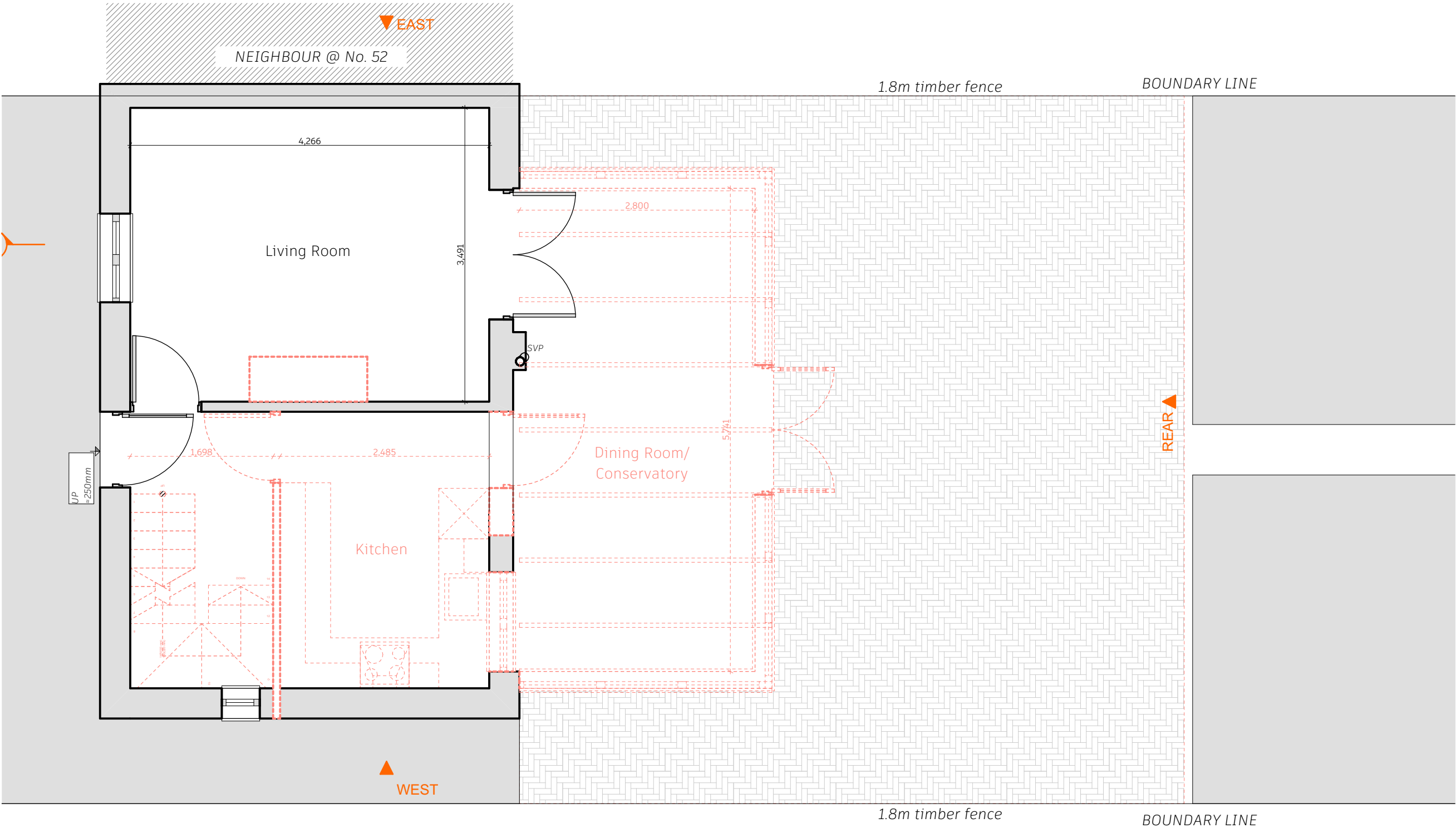
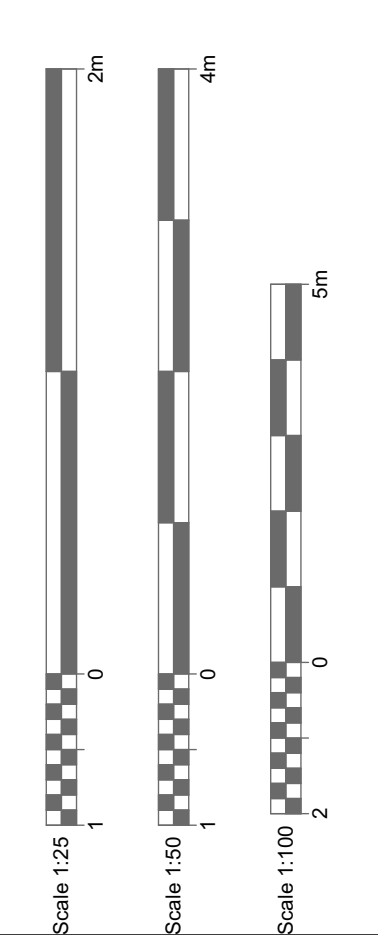
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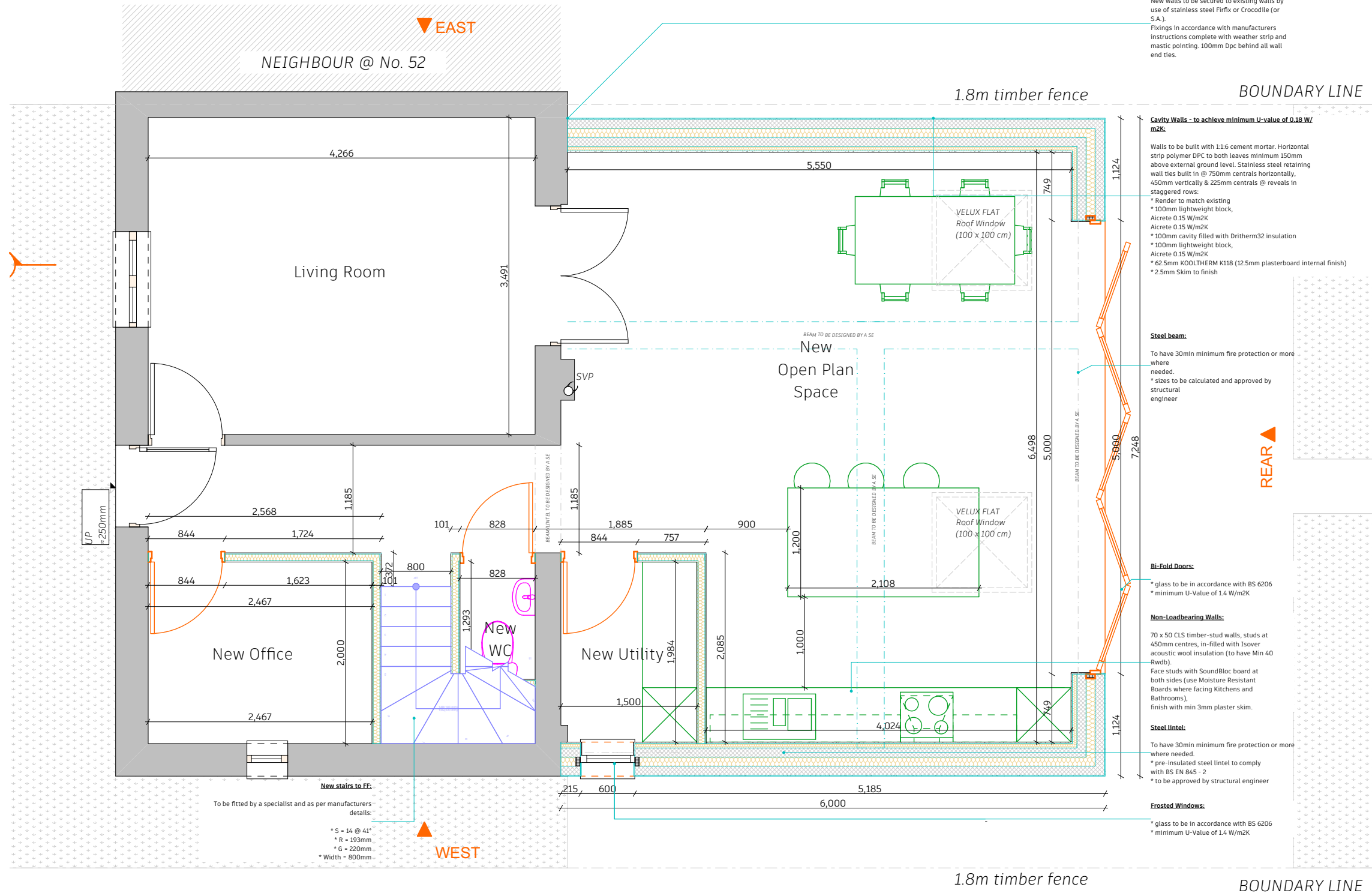
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Demolished Ground Floor Plan
1:50

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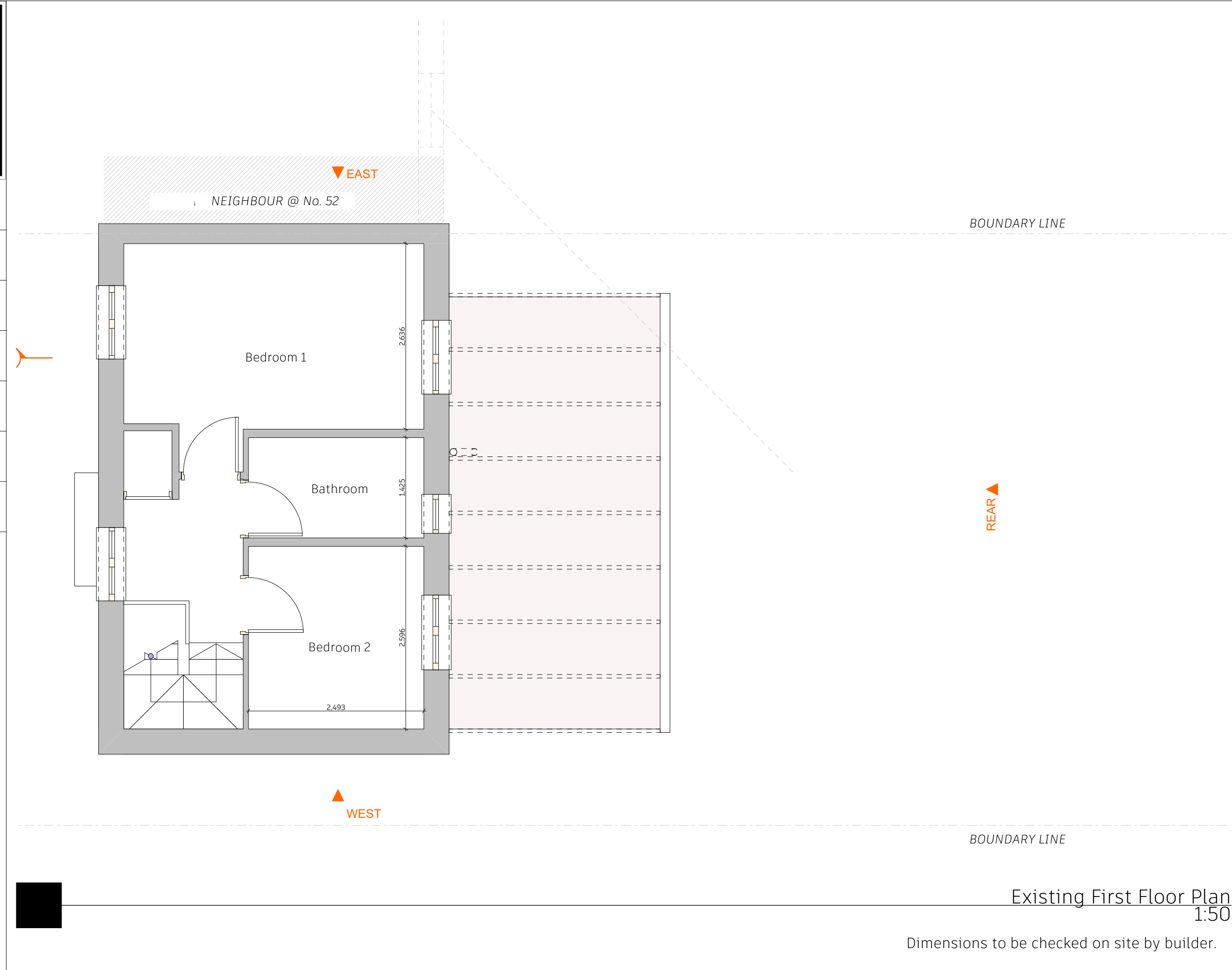
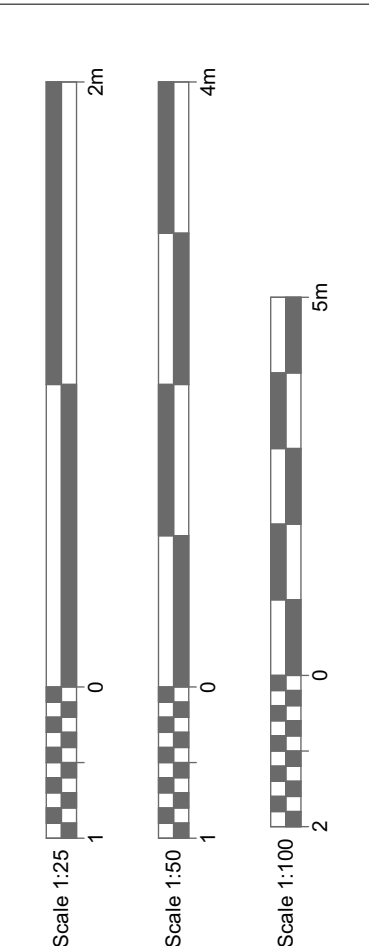


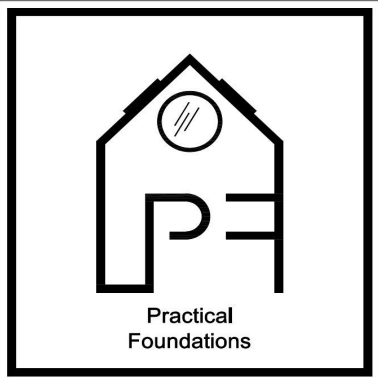
Frosted Windows:

- * glass to be in accordance with BS 6206
- * minimum U-Value of 1.4 W/m2K

Proposed Ground Floor Plan
1:50

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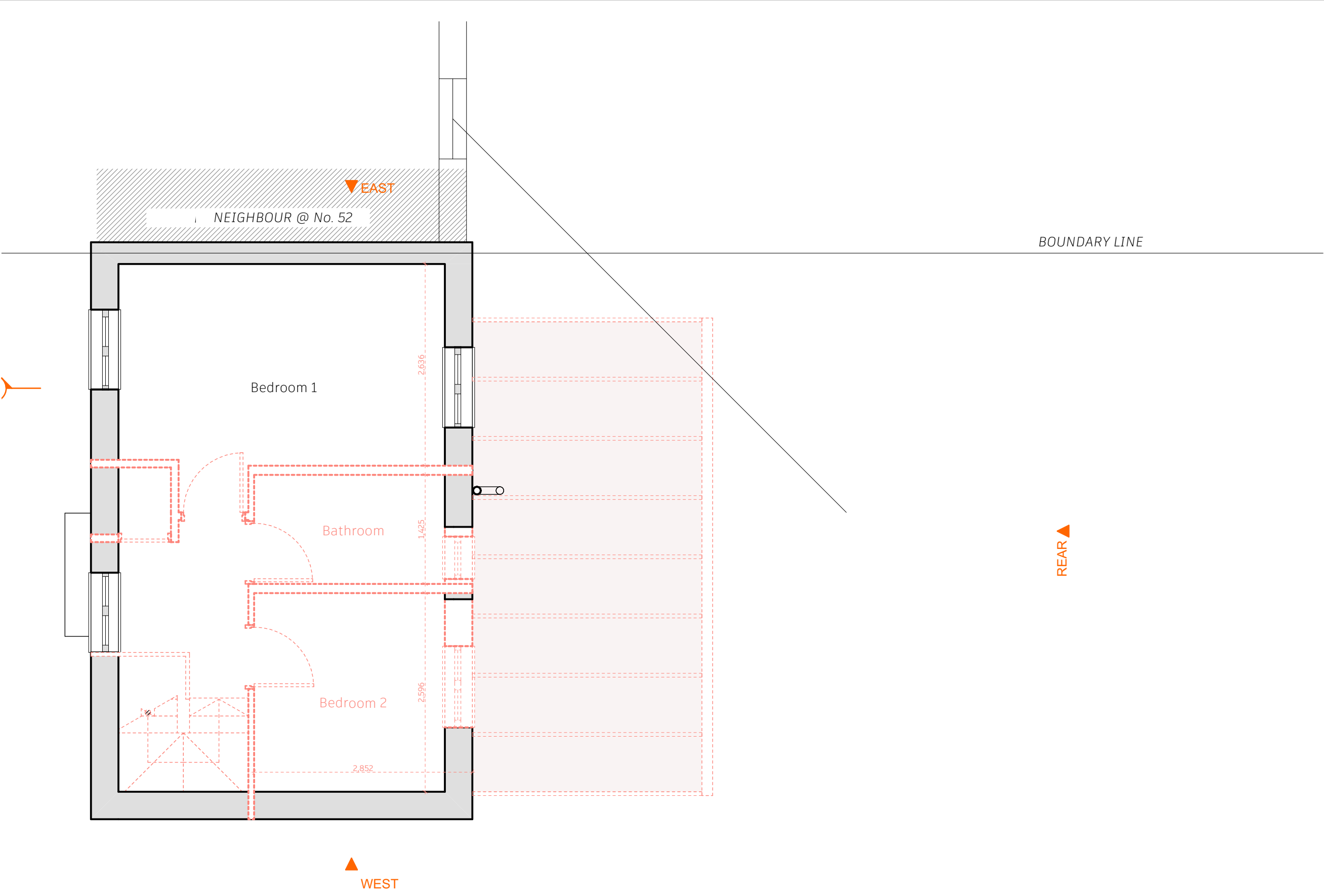
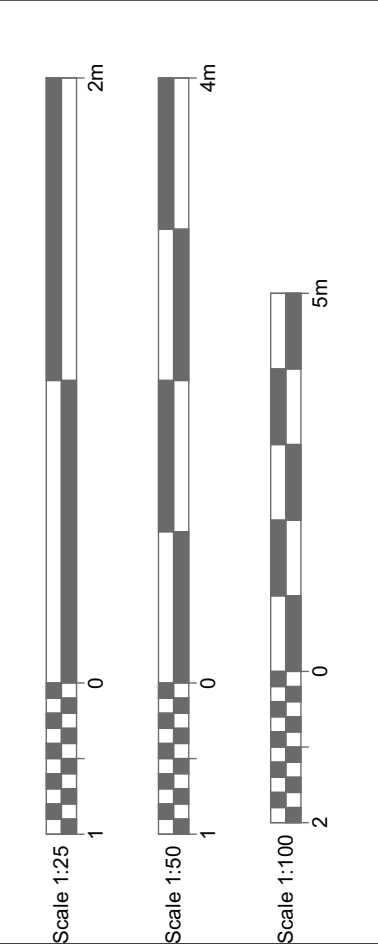
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DRAWING NUMBER:
1514 REV A - 05

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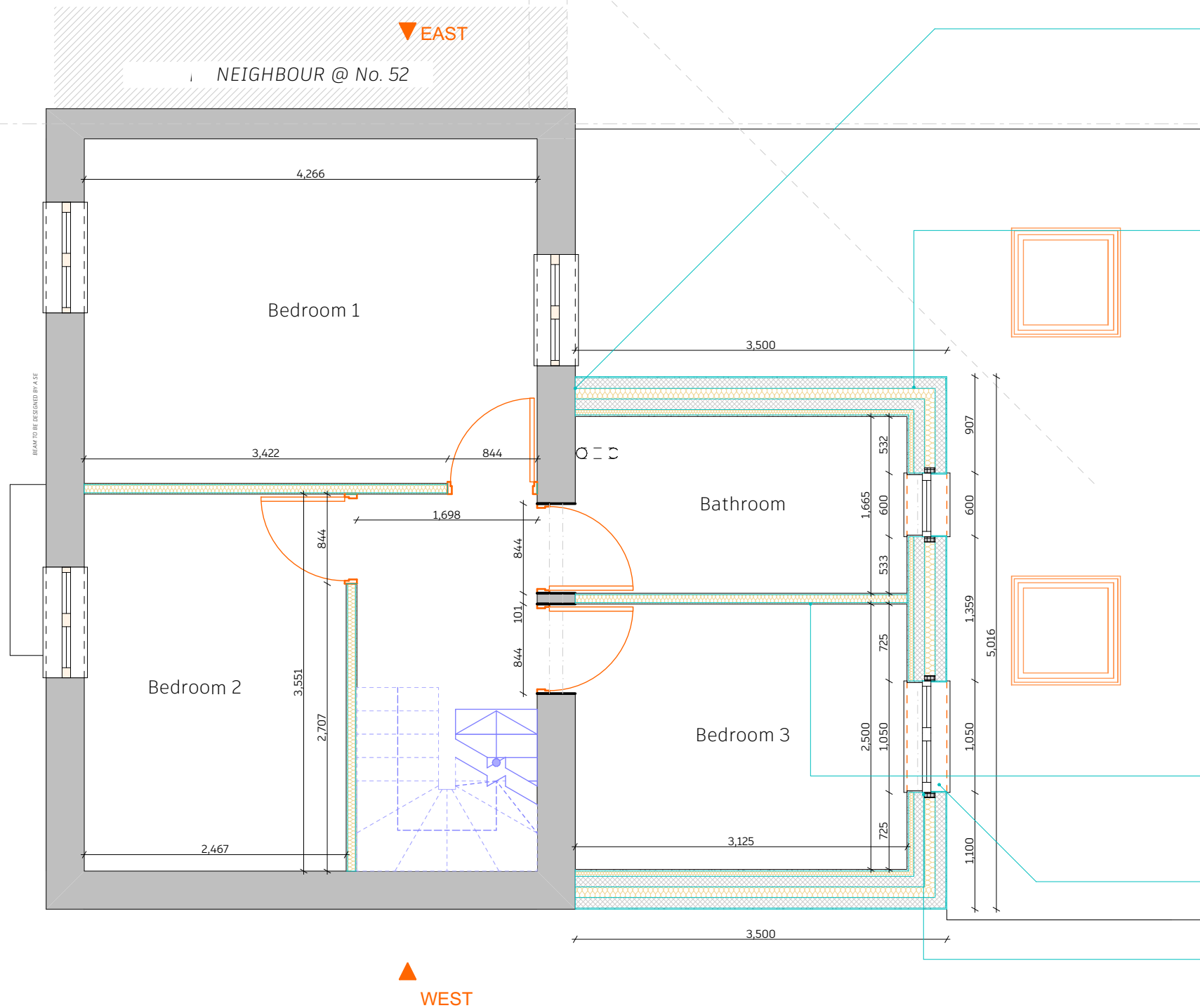
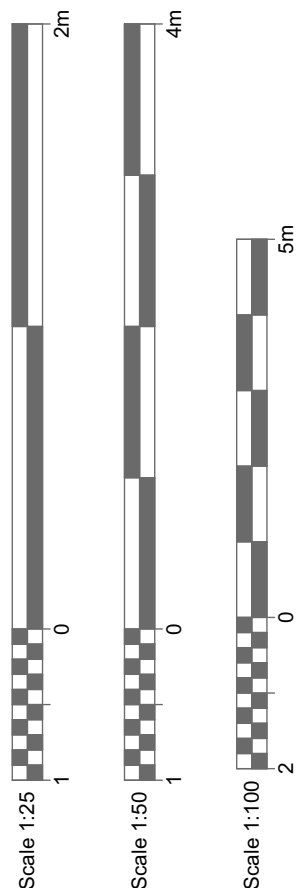


Demolished First Floor Plan
1:50

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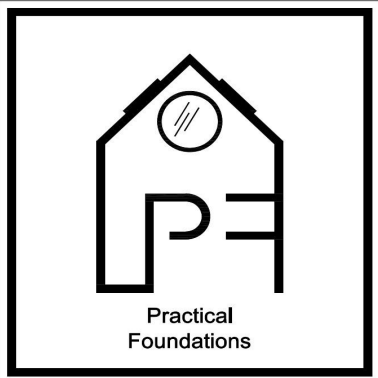
- * glass to be in accordance with BS 6206
- * minimum U-Value of 1.4 W/m²K

REAR ▲

BOUNDARY LINE

Proposed First Floor Plan
1:50

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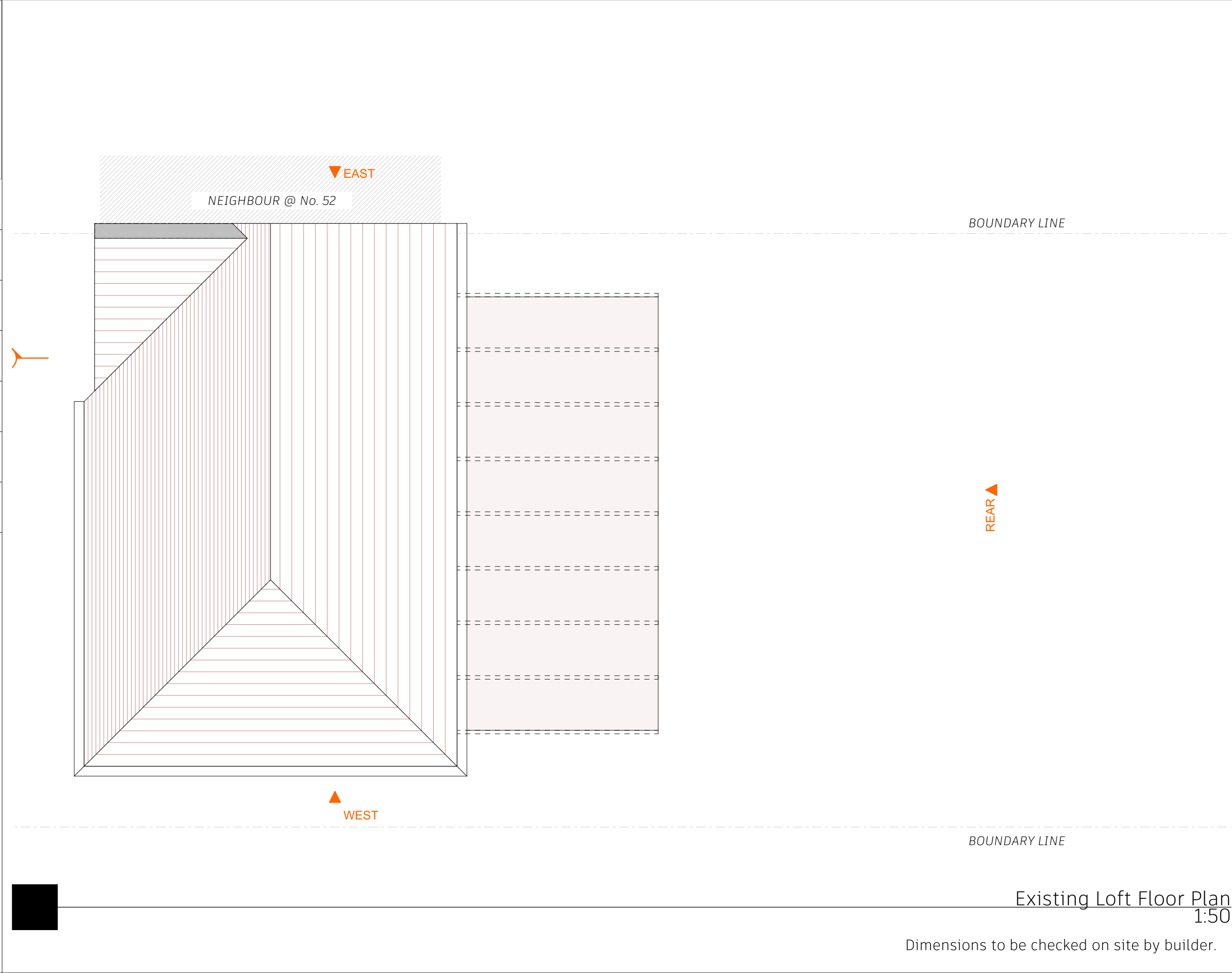
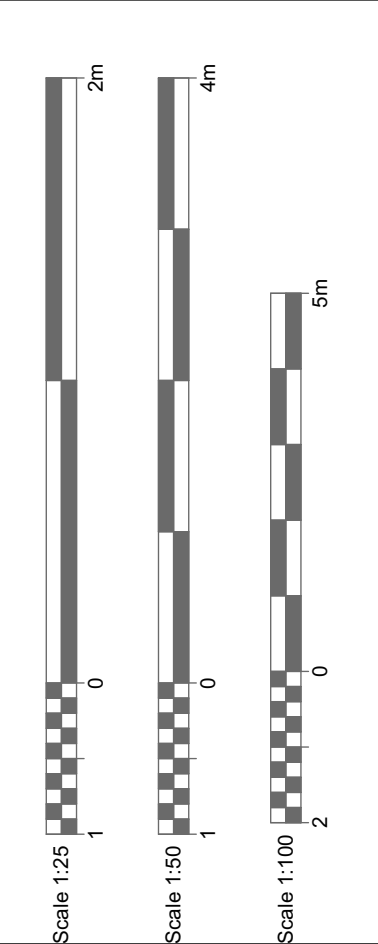
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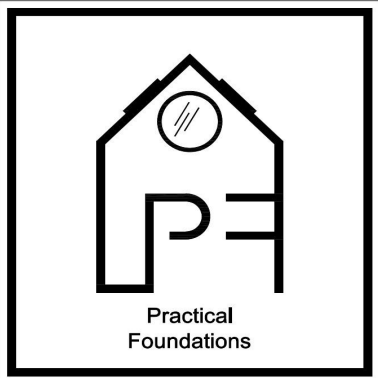
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Existing Loft Floor Plan
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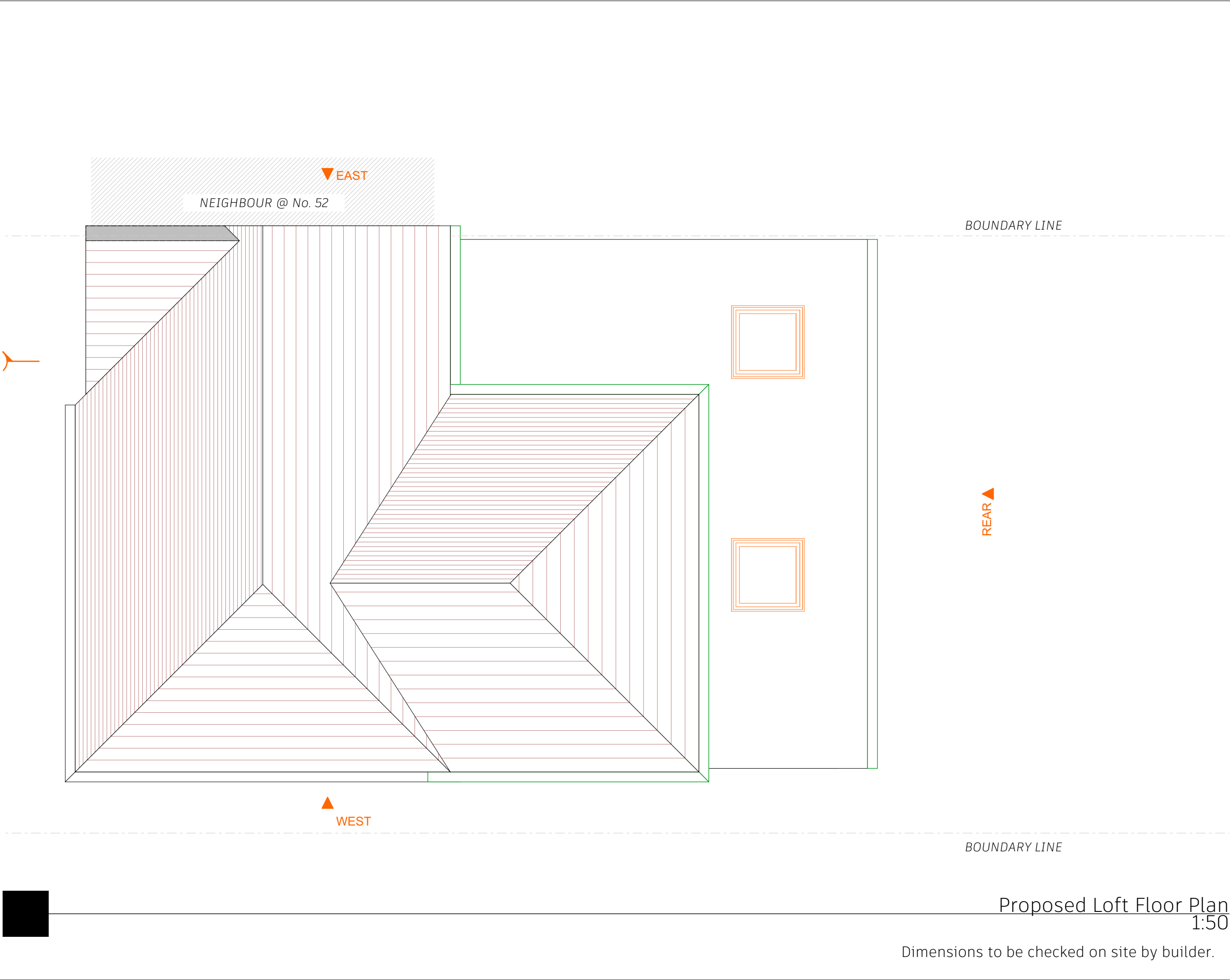
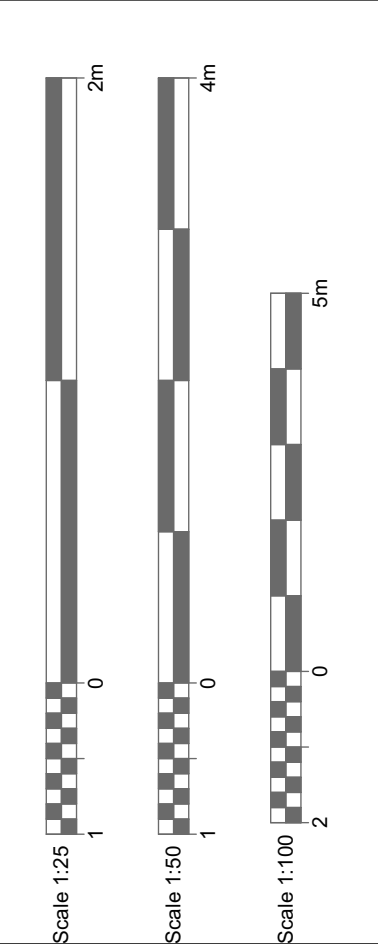
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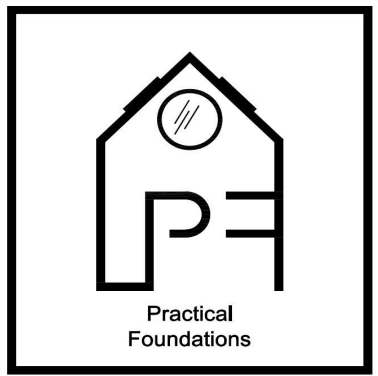
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Proposed Loft Floor Plan
1:50

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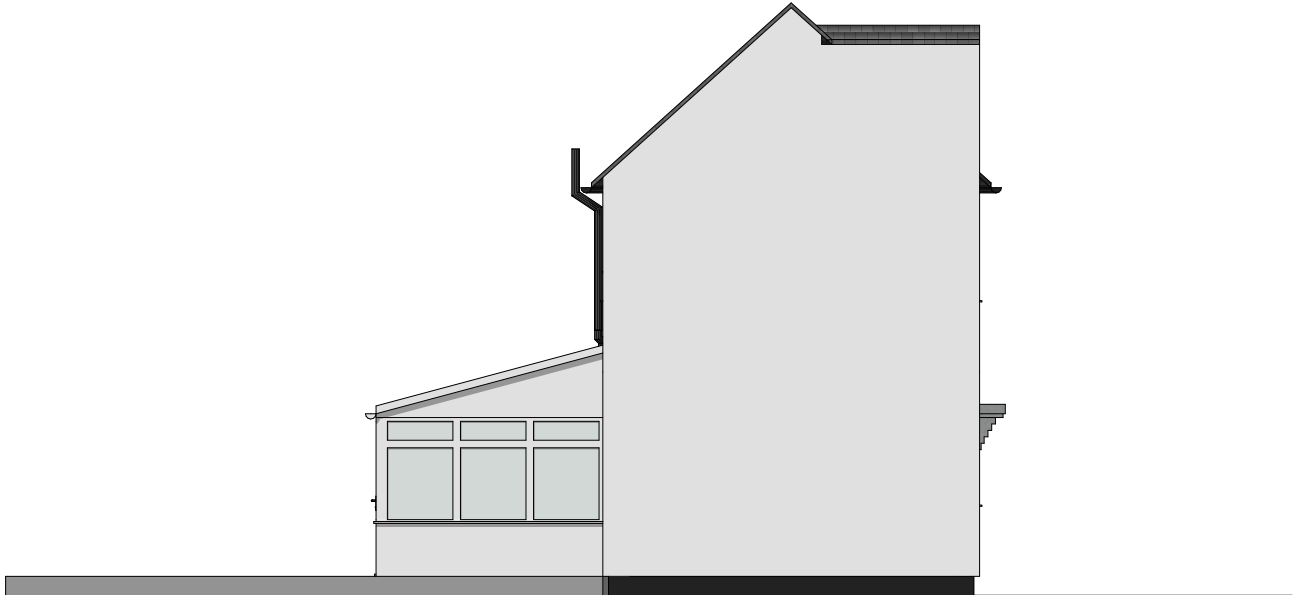
Existing Front Elevation
1:100



Existing Side Elevation
1:100

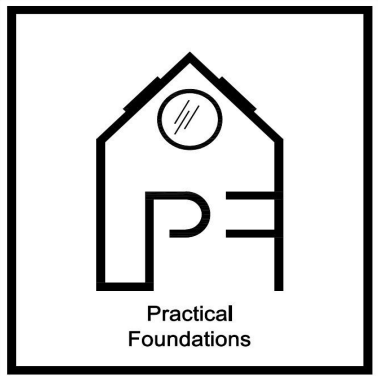


Existing Rear Elevation
1:100



Existing Side Elevation
1:100

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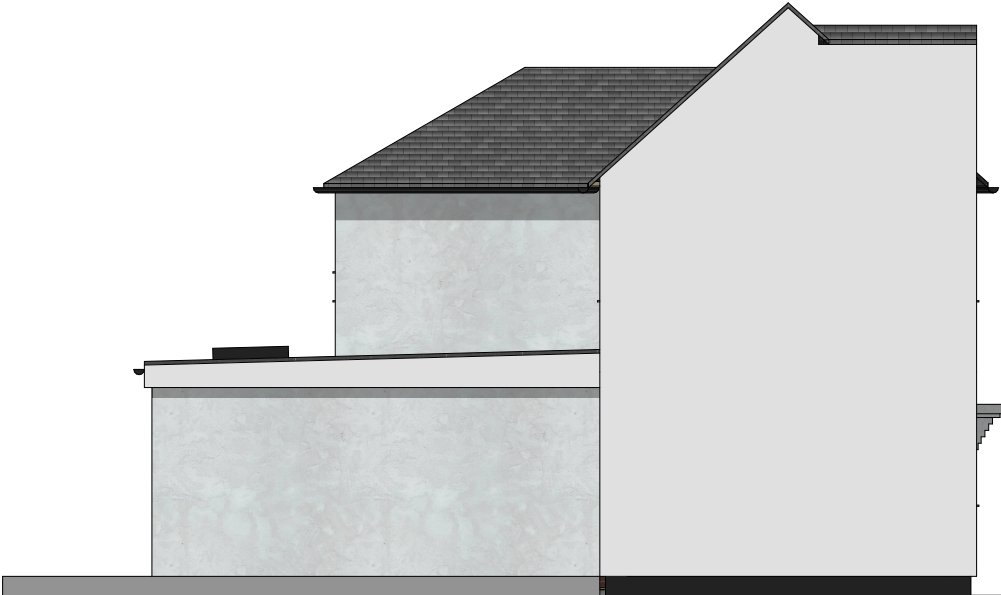
Proposed Front Elevation
1:100



Proposed Side Elevation
1:100

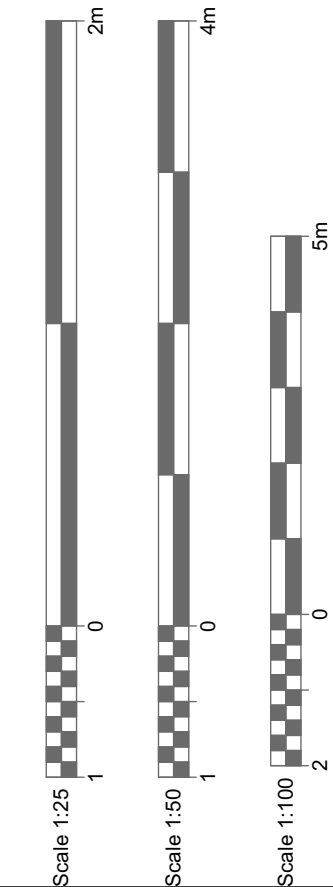


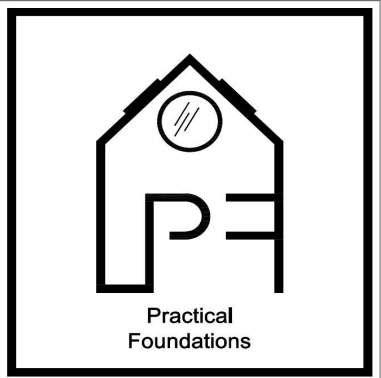
Proposed Rear Elevation
1:100



Proposed Side Elevation
1:100

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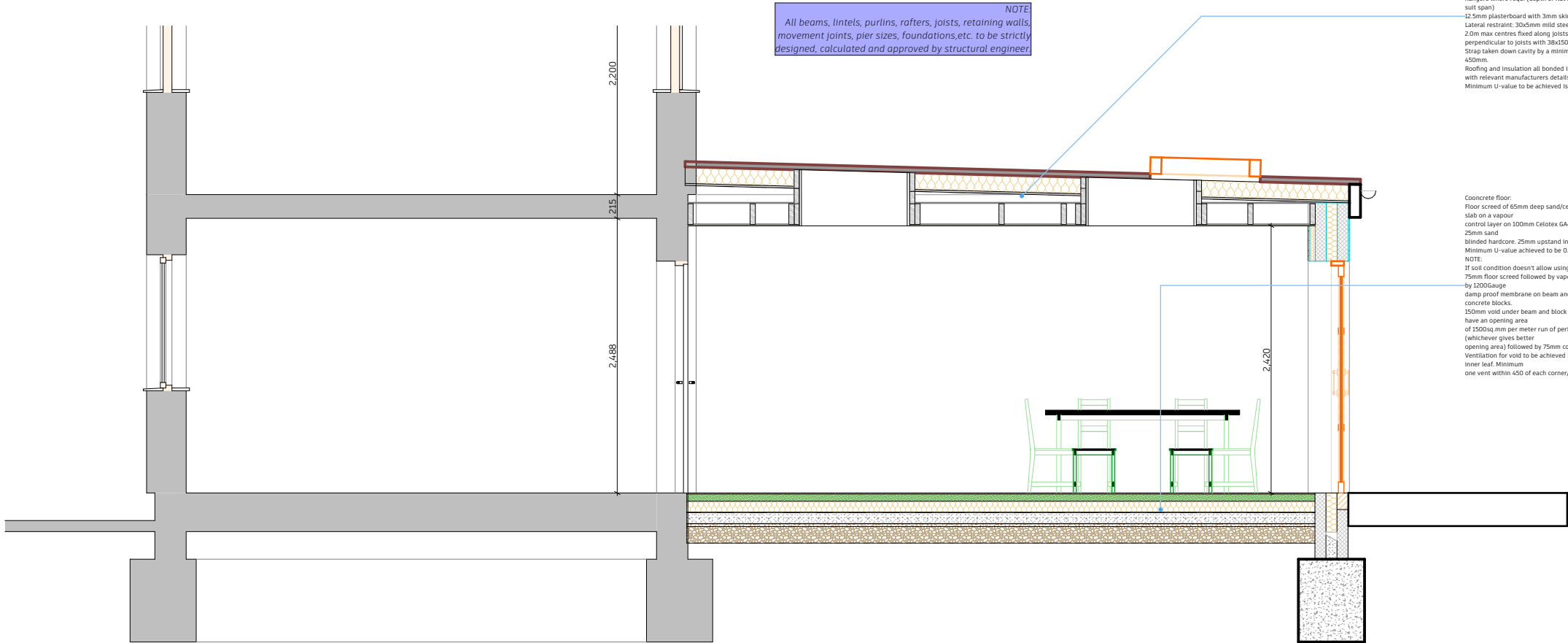
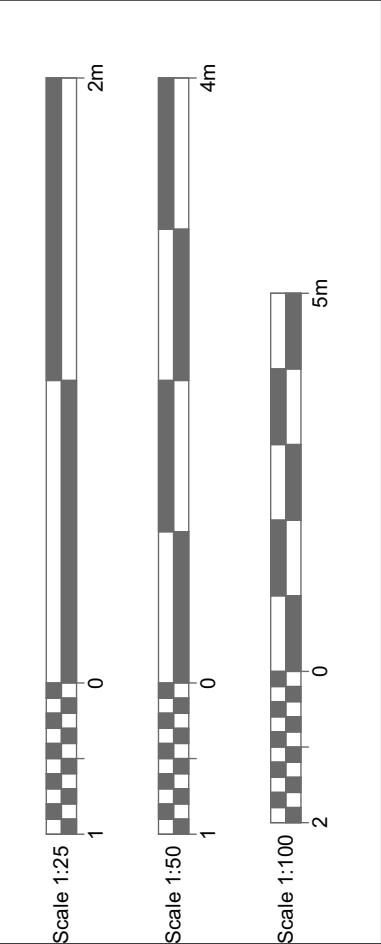
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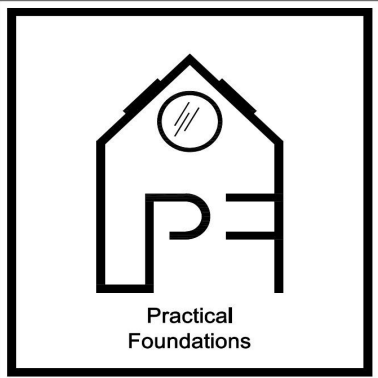
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Roof structure:
Flat roof to be a warm roof with fully adhered
GRP single ply membrane on 150mm thick
Kingspan Thermafoam T1627 LFC/PM on Vapour
control barrier on 18mm plywood deck on Timber
Joists @400ctr. built into internal walls or on
hangers where reqd. (depth of flat roof joist to
suit span)
12.5mm plasterboard with 3mm skim finish
Lateral restraint: 30x5mm mild steel straps at
2.0m max centres fixed along joists or
perpendicular to joists with 38x150 noggins.
Strap taken down cavity by a minimum of
450mm.
Roofing and insulation all bonded in accordance
with relevant manufacturers details.
Minimum U-value to be achieved is 0.15W/sq.m K

Concrete floor:
Floor screed of 65mm deep sand/cement with light reinforcement on 100mm thick concrete
slab on a vapour
control layer on 100mm Celotex GA4000 insulation on 1200Gauge damp proof membrane on
25mm sand.
blinded hardcore. 25mm upstand insulation all round perimeter tp be provided where needed.
Minimum U-value achieved to be 0.18 W/sq.m K
NOTE:
If soil condition doesn't allow using solid slab then suspended floor to be used instead:
75mm floor screed followed by vapour control layer on 100mm Kingspan Kooltherm followed
by 1200Gauge
damp proof membrane on beam and block floor as per engineer's details & 100mm dense
concrete blocks.
150mm void under beam and block floor & dense concrete blocks. Ventilation opening to
have an opening area
of 1500sq.mm per meter run of perimeter wall or 500sq.mm per sq. meter of floor area
(whichever gives better
opening area) followed by 75mm concrete blinding layers.
Ventilation for void to be achieved by periscopic vents. All vents to have PCC lintel over in
inner leaf. Minimum
one vent within 450 of each corner/return.

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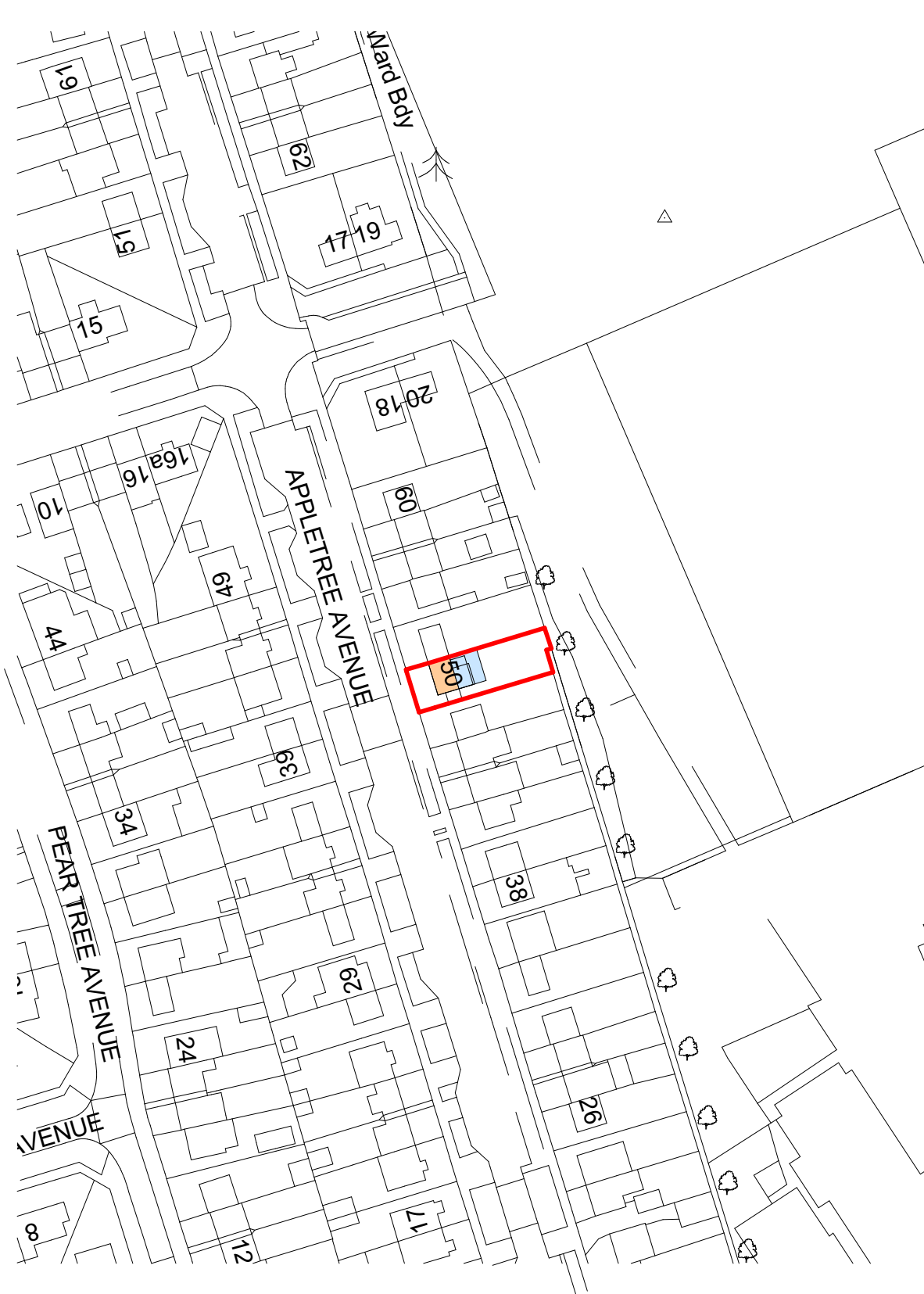
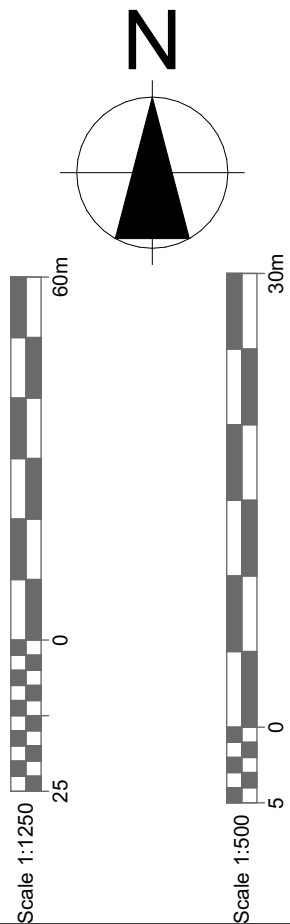
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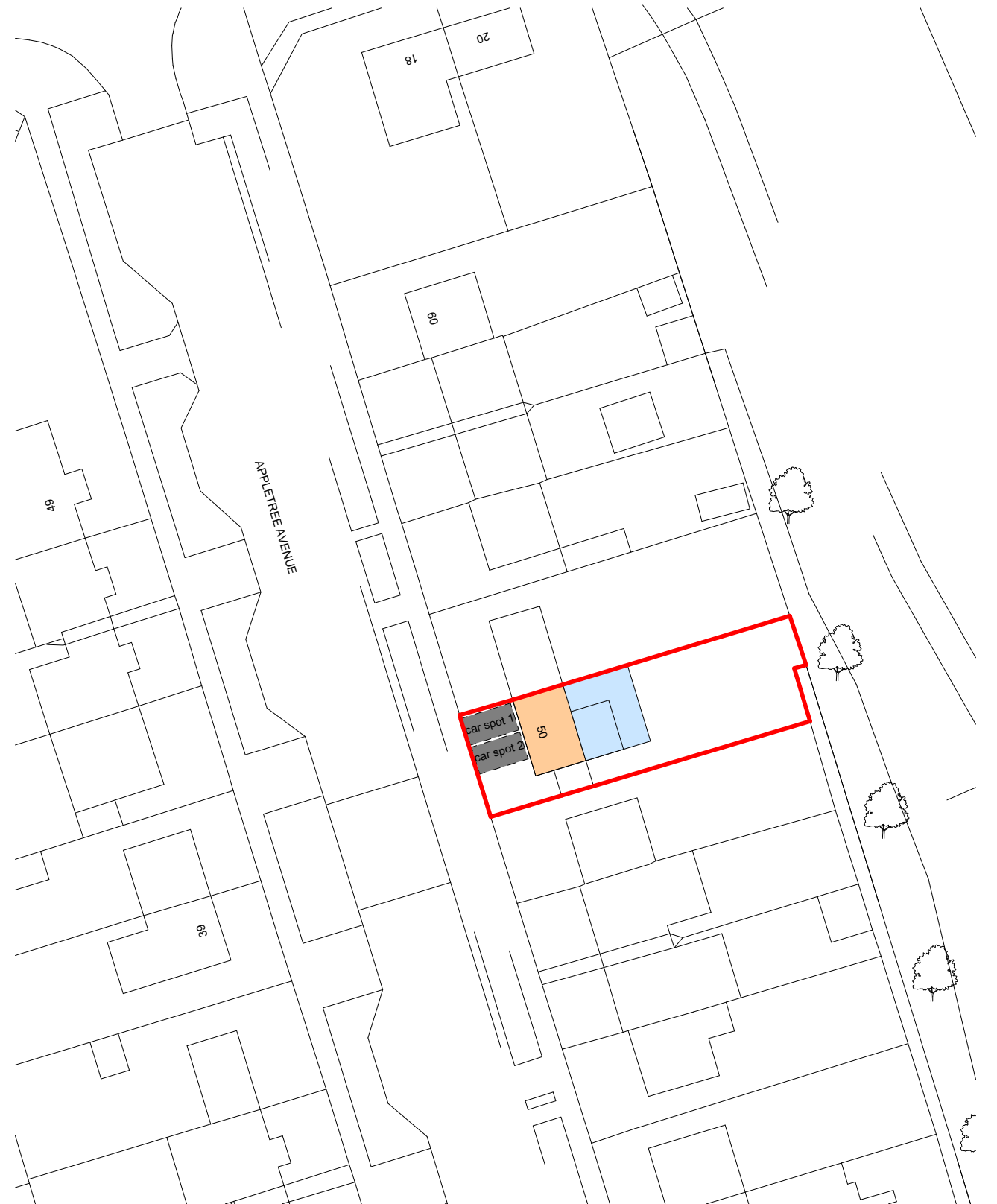
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Site Location
1:1250



Proposed Site Layout
1:500