

DESIGN STATEMENT FOR
The premises
6 Church Close, West Drayton, UB7 7PY

The Application

This application is for a Rear extension at 6 Church Close, West Drayton, UB7 7PY creating a New Space in the premises.

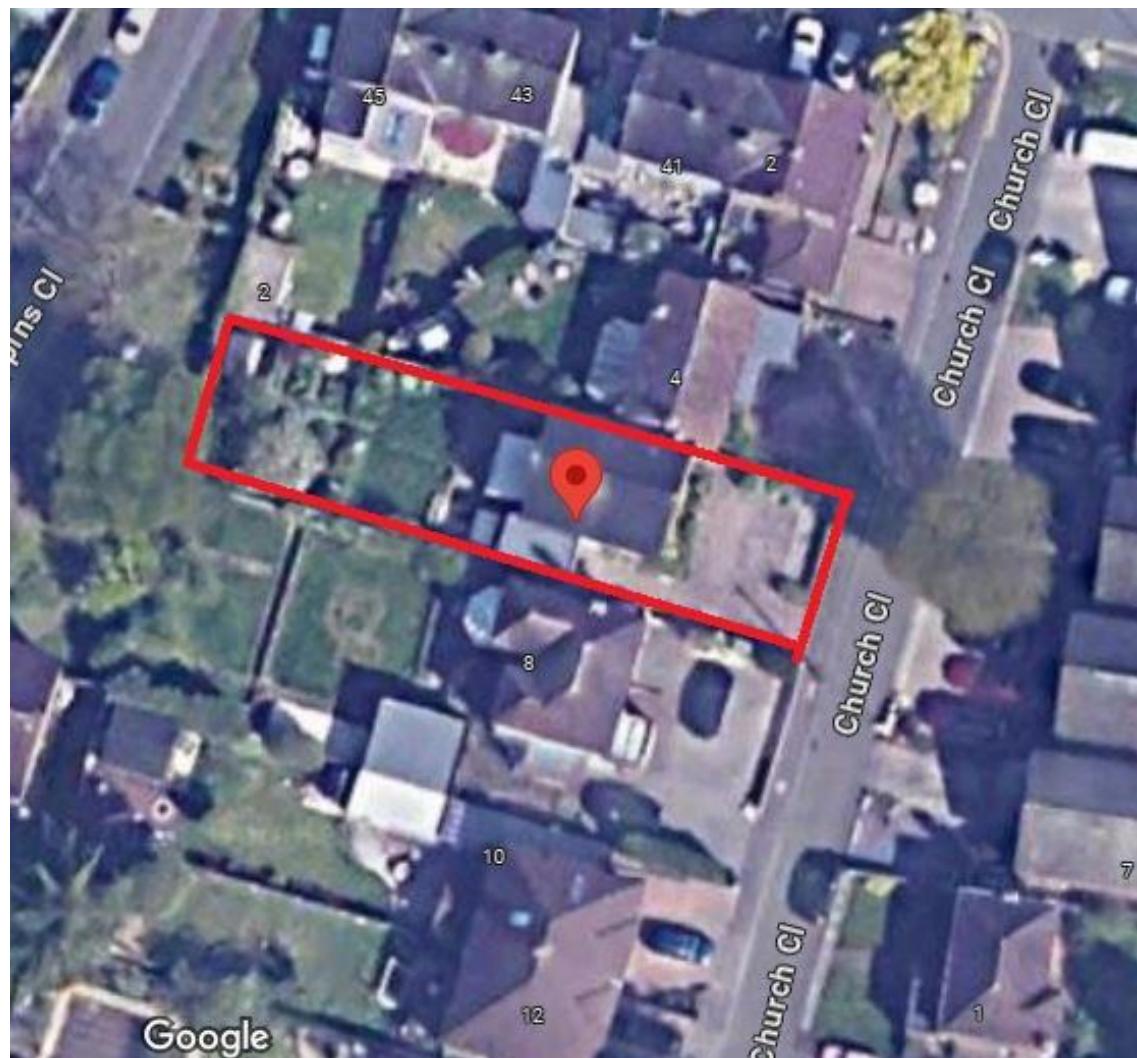


Fig 1. The Existing House Layout at 06 church road.

Local Area:

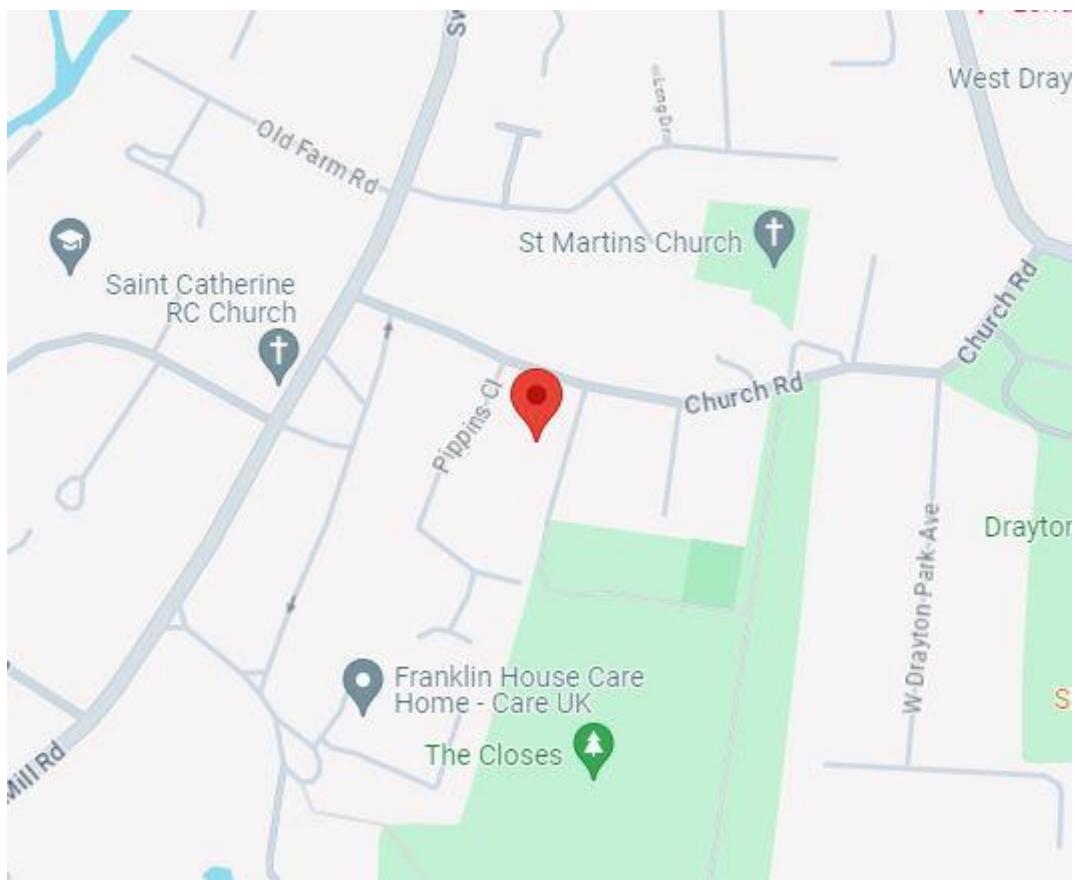


Fig 2. Local Area

Location Map

Church Close in West Drayton, UB7 7PY, is in the London Borough of Hillingdon, England. West Drayton is a suburban town in the London Borough of Hillingdon, situated around 2.5 miles (4 km) northeast of Heathrow Airport. It's a well-connected area, benefiting from proximity to major transport links including the M4 motorway and West Drayton railway station, which offers services to London Paddington and Reading. The application site is situated at 06 church close

The existing house is typical of dwellings within the immediate vicinity, being a two-storey terraced domestic property constructed of brick externally, with a tiled Open Gable roof.

As with many properties within the area, the dwelling benefits from a large rear garden with parking to the Front generally constructed circa 1950.

The Site

The application site is located between 04 and 08 church close both similarly have the same Plot of land size and most have already extended their Houses.



Fig 3: Site Location Plan

The application site is situated on West Drayton off church road

The immediate site upon which the application is based is No 06 church close.

No 06 is located in a primarily residential area in West Drayton.

The most common type of property in UB7 7PY is a mid-century house built between 1950 and 1966

Church close Residential buildings are primarily terraced (including end-terrace) Domestic properties are primarily houses.

06 Church Close, West Drayton is a 4-bedroom detached house spread over 1,270 square feet, the proposal is to create a new living space in the house.

The existing building is a 1950s Terraced dwelling built using masonry load-bearing construction. It is faced in red brickwork with concrete roof tiles to an open Gable roof.

Our clients wish to erect a new Rear extension to be used by family and friends mainly as a living space while enjoying the outdoors, adding value to enhance its use.

The Site:



Fig 4: The Picture shows the front House, garage and parking area.



Fig 5: The Above Pictures show the Rear of the House and the existing shed to be demolished to make space for the new building structure.

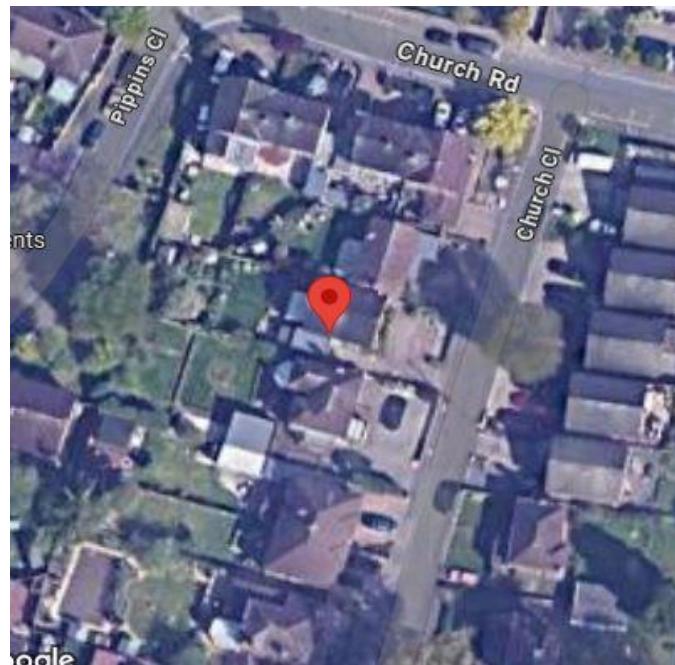


Fig 6: The Above Picture shows the Exact Location of the existing House.

Design Principles

The design has been based on the following principles:

A new domestic building referred to as a Rear extension is to be erected to provide extra living space.

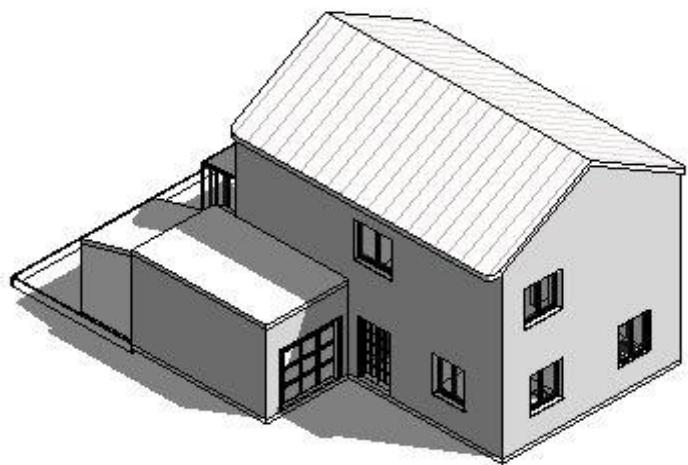
To ensure that facing materials in colour and form respect the local surrounding development, using brickwork, with a new flat roof and new glazing to match the existing property.

Proposals

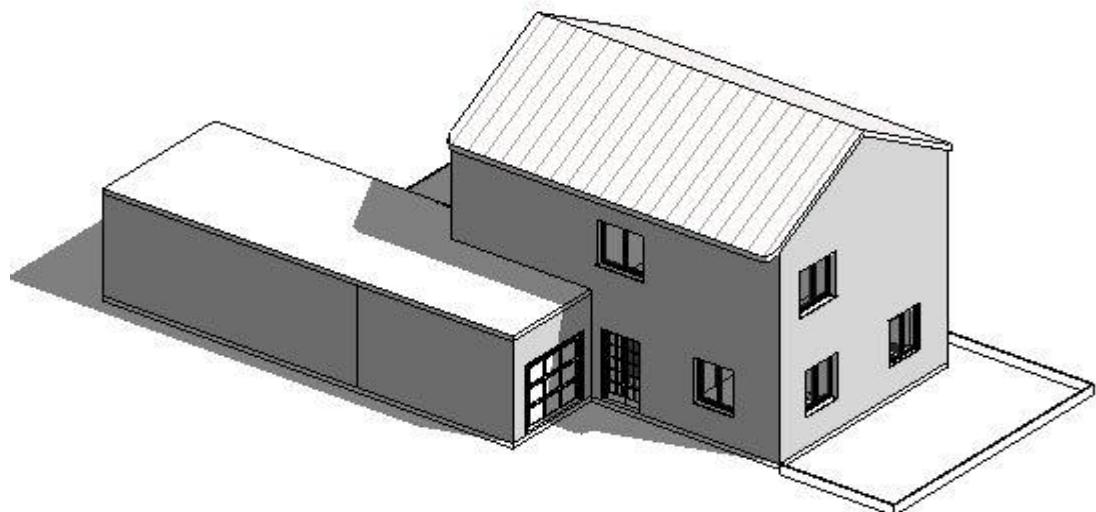
The proposals have been designed to respect the form of the existing building.

The size of the House has been maintained at its normal size concerning the size of the existing site.

The new structure has been kept to a smaller scale to ensure that it causes no adverse effects on the amenities of neighbouring properties.



Existing Visualisation



Proposed Visualisation

The proposal includes:

1. Strip out and remove the existing Shed
2. Structural work – floors, ceilings, walls and roof.
3. First fix work – plumbing, heating, wiring.
4. Plastering, flooring.
5. Second fix work – plumbing, heating, wiring.
6. Decoration

Below are the detailed major work

- Outside:
 - a. Complete demolition of existing shed
 - b. Level up garden floor
 - c. Design new foundations to structural engineer instructions
- Inside:
 - d. New walls and flooring
 - e. New electrical Rewiring of all flat
 - f. New plumbing
 - g. New central heating (with new boiler)
 - h. Plastering the whole flat and the ceiling
 - i. New windows (2 windows)
 - j. New porch door for the garden
 - k. New internal doors (5 doors)
 - l. Rising damp protections on all floors
 - m. A possible Installation of 2 Velux windows for the bathroom and Bathroom.

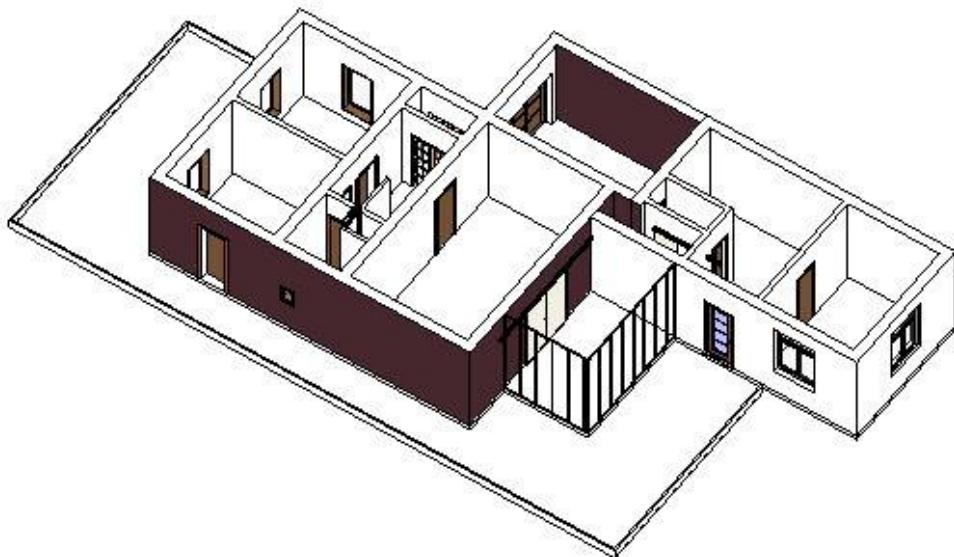


Fig 7: The above picture is an illustration of what the house would be like in the future

Local Policies/Consultation

This Design Statement is to be submitted for a planning and Building Control Application to the London Borough of Hillingdon City Council.

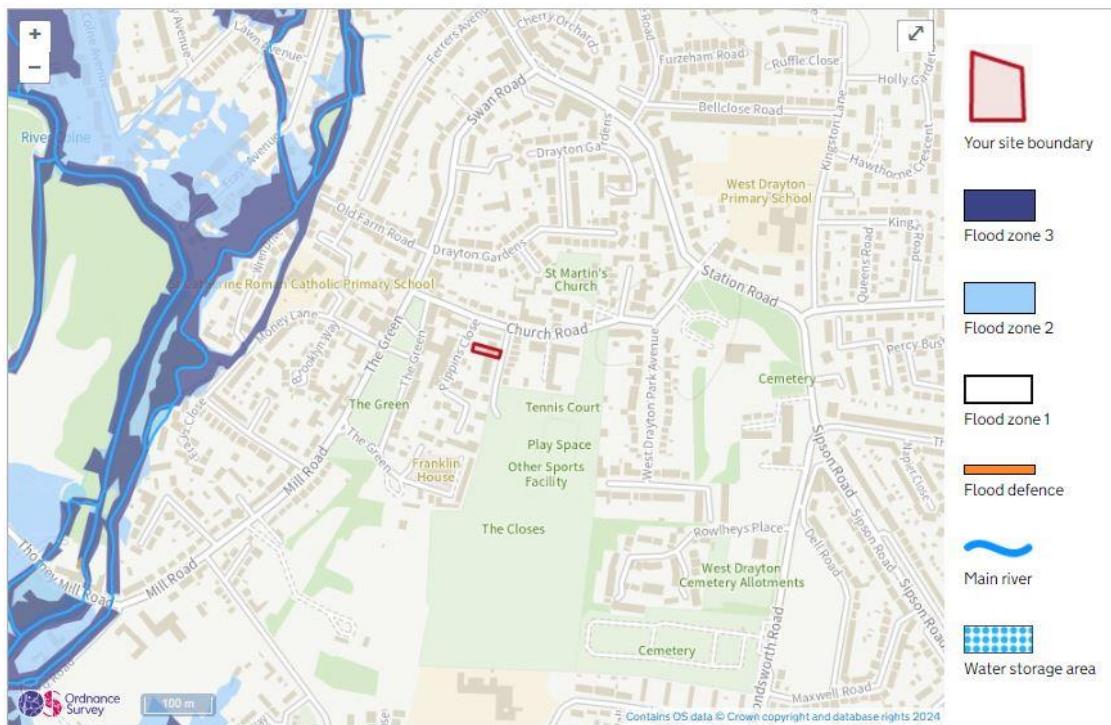
Flood Risk

The Environment Agency has confirmed that the site is classified as flood zone 1, UB7 7PY approximately.

Land within flood zone 1 has a low probability of flooding from rivers and the sea.

Most developments that are less than 1 hectare (ha) in flood zone 1 do not need a flood risk assessment (FRA) as part of the planning application. The site you have drawn is 0.05 ha.

Flood map showing the flood zone the proposed site is in.



Access

The proposal has been designed to ensure that all users have equal access to local buildings and spaces and the public transport system via means of doors from the ground floor.

The proposals have been designed to conform to part B of the building regulations with access to emergency services.

Access to emergency services has been allowed via access to the front and rear of the proposals.

The proposals have been designed to conform to part M of the building regulations.