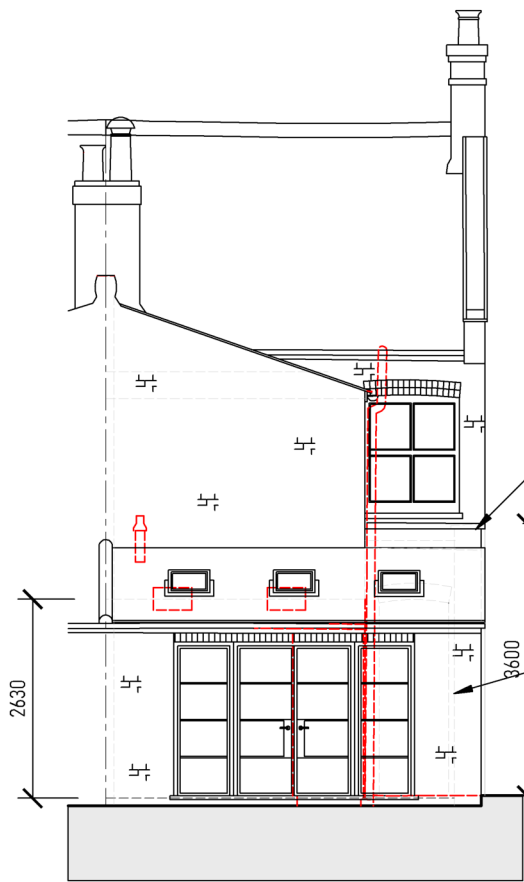


NOTES

1. All dimensions are to be checked on site prior to the commencement of work and any discrepancy is to be reported to the construction manager before construction.
2. All work is to comply with current Building Regulations and allied legislation.
3. All contractors and sub-contractors must ensure that they have the latest issue of this drawing and details before the commencement of work on site.
4. All materials are to be used and installed in strict compliance with the relevant manufacturers instructions and recommendations.
5. All works on site, managed and implemented as a result of the designs indicated on this drawing, are to be given full consideration for compliance with the Health and Safety CDM Regulations in respect of design and implementation on site and no works are to be undertaken if it is considered that compliance with the Building Regulations cannot be achieved.
6. All dimensions shown in millimetres.
7. Footprint of buildings shown at 10m above ground level.



PROPOSED DWELLING
FRONT ELEVATION



PROPOSED DWELLING
REAR ELEVATION



PROPOSED DWELLING
SIDE ELEVATION

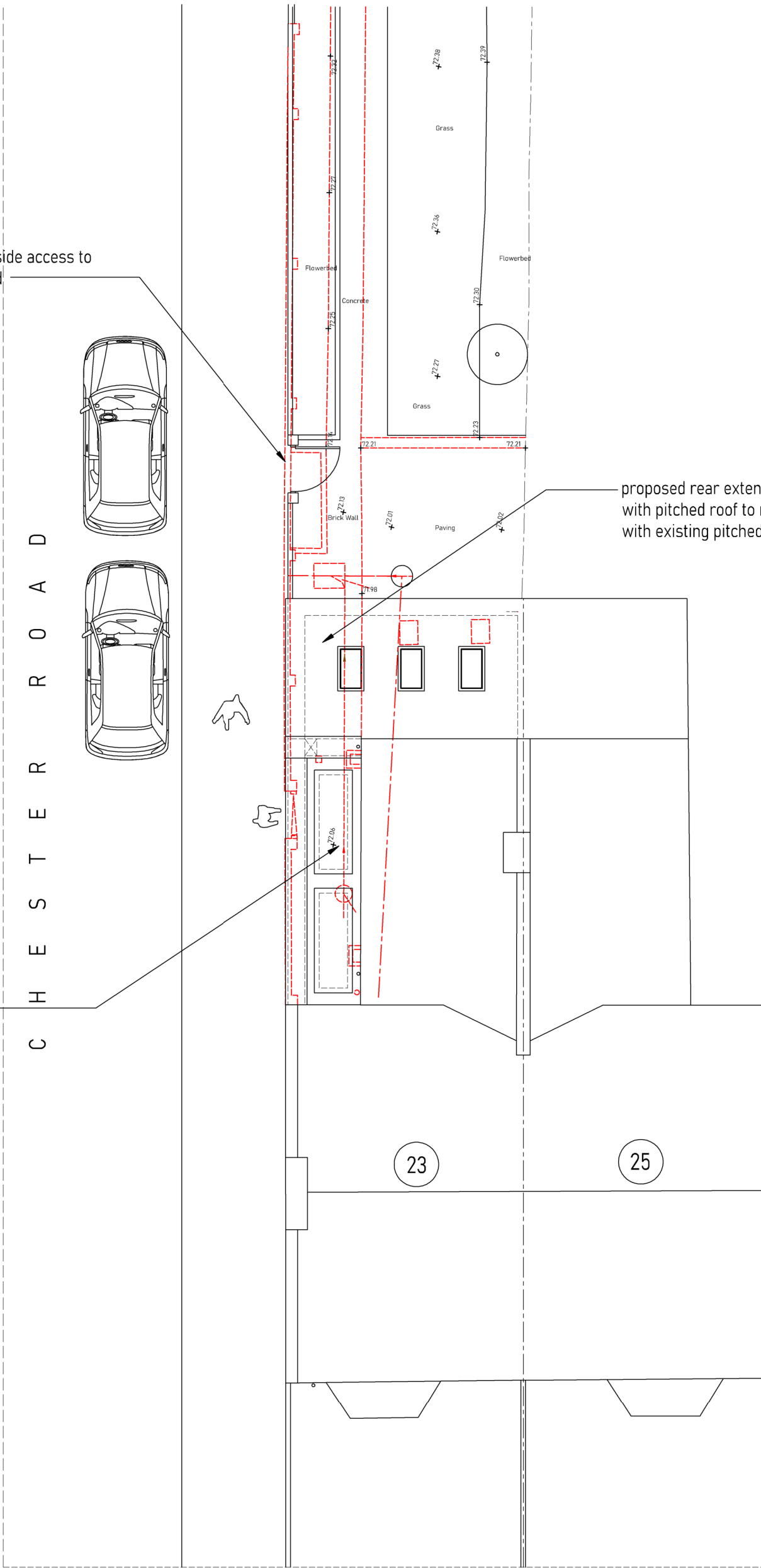
PLANNING OFFICER NOTE

The height of the parapet has been set to enable the new flat roof to drain to the new rear pitched roof extension. Any lower and this design will not be possible. We are aware that this is a deviation from normal policy however, in this instance there is no neighbour impact and given the position of the wall relative to the existing house it is not deemed to have any material impact on the street scene. This design is the cleanest and simplest way in which to extend the side return of the existing house.

proposed side return extension with flat roof and parapet wall to boundary

pedestrian side access to be relocated

proposed rear extension with pitched roof to merge with existing pitched roof



EXISTING DWELLING
SITE LAYOUT PLAN

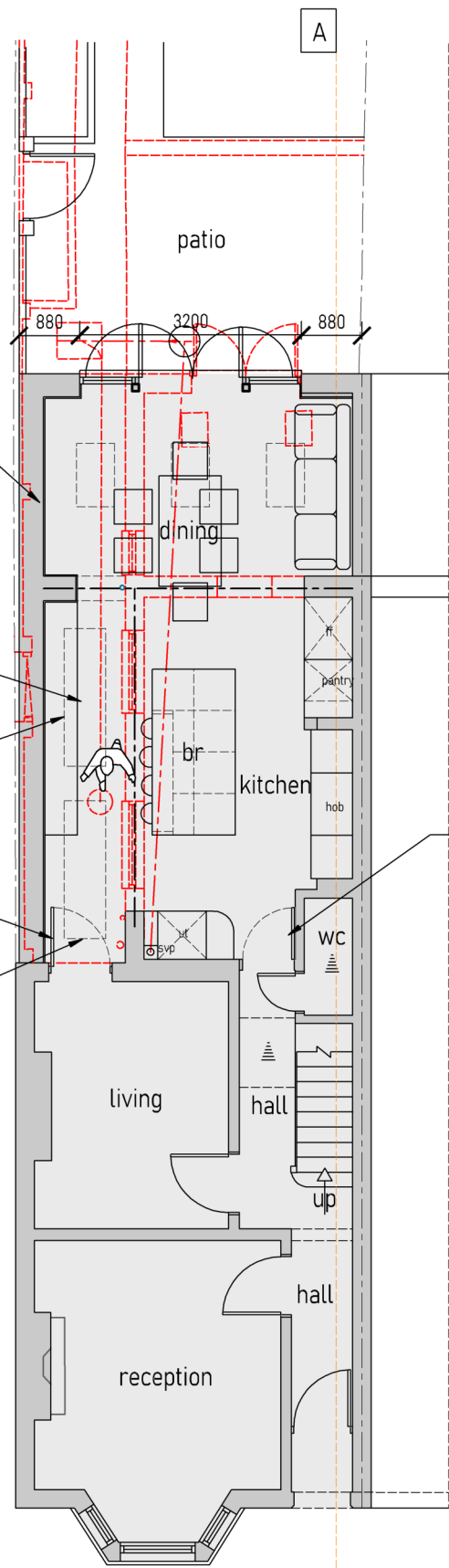
proposed rear extension with pitched roof to merge with existing pitched roof

proposed side return extension with flat roof and parapet wall to boundary

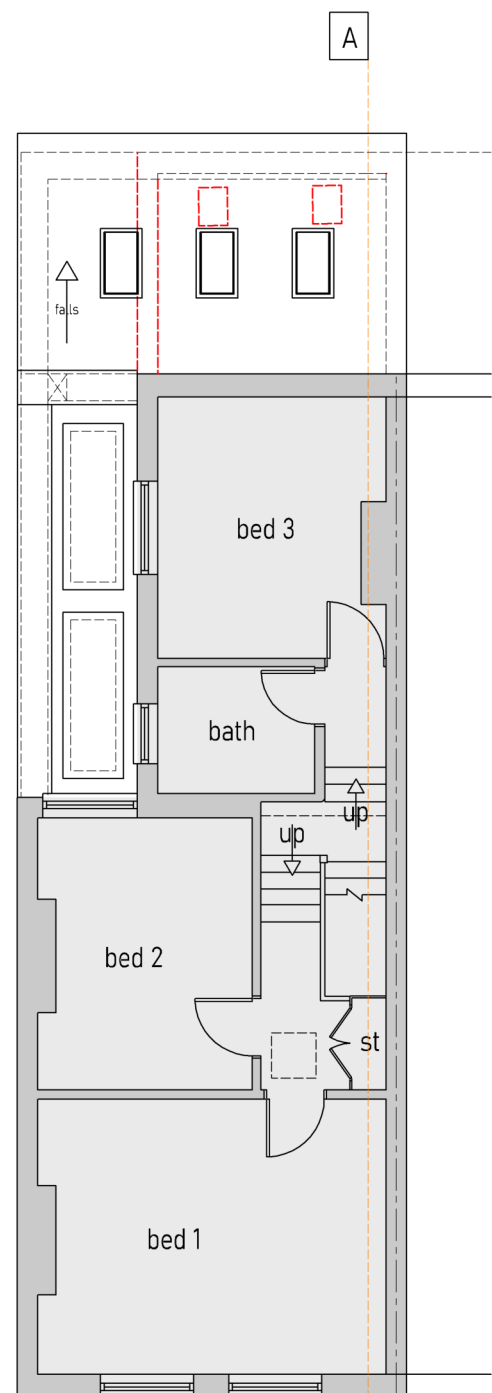
450mm dp storage/shelving to external wall

new glazed door to replace existing (retain opening)

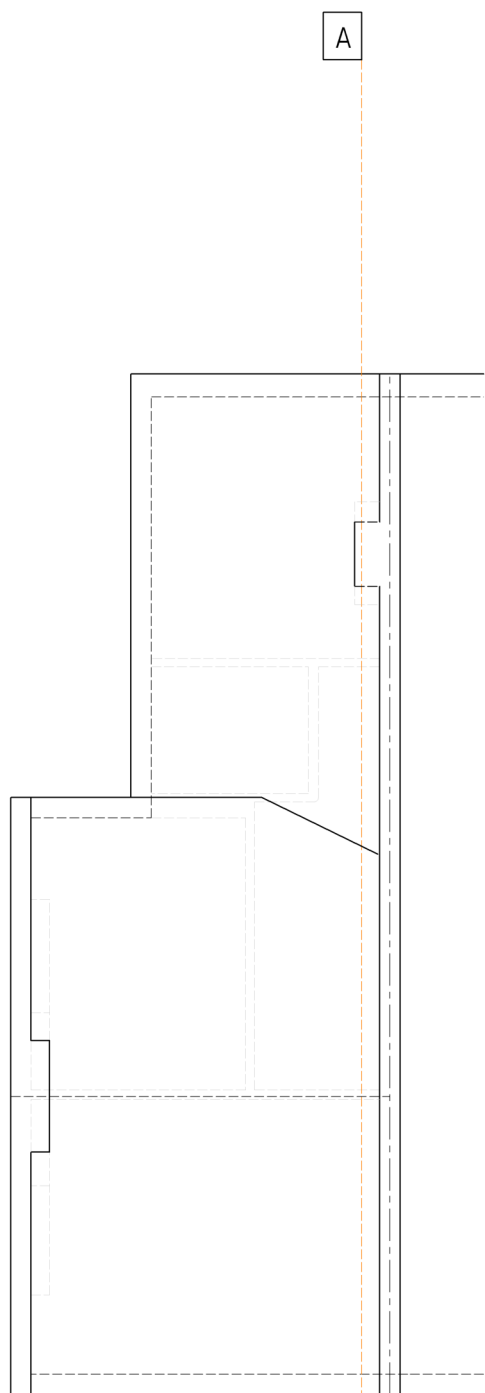
flat rooflight



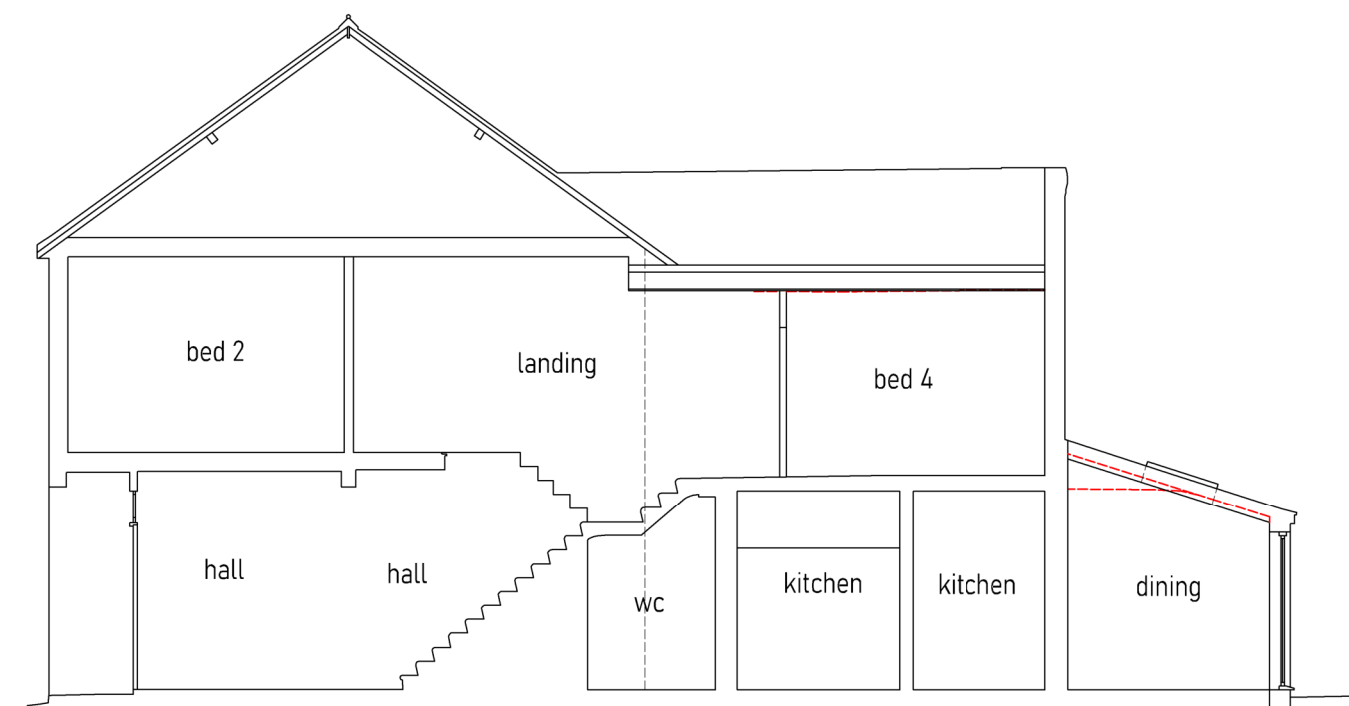
PROPOSED DWELLING
GROUND FLOOR PLAN



PROPOSED DWELLING
FIRST FLOOR PLAN



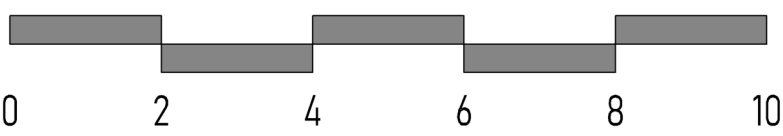
PROPOSED DWELLING
ROOF AREA PLAN



Datum 71.00m

PROPOSED DWELLING
SECTION A-A

SCALE BAR (m)



© Copyright Dusek Ltd

rev:	date:	description:
scale:	1 : 100 A1	date: 27-04-2024
drawing no:	680 / P / 2	drawn: jd/pd
drawing:	PROPOSED DWELLING FLOOR PLANS & ELEVATIONS	
project:	23 HALLOWELL ROAD, NORTHWOOD	
client:	MR & MRS PURCELL	
<div><p>Jack Dušek & Co.</p><p>ARCHITECTURE • PLANNING • DEVELOPMENT</p><p><small>Heckton House, Bury Lane, Richmond, W93 0JH Tel: 0203 919 005 Email: design@jacksdusek.co.uk www.jacksdusek.co.uk</small></p></div>		
print history	Saturday, 27 April, 2024	14.09.18

PLANNING APPLICATION