



**3-4 Warmair House, Green Lane, Northwood**

**Prior Approval Application**

**Planning Statement**

**February 2025**

## **1.0 INTRODUCTION**

- 1.1 This Planning Statement has been prepared by Create Planning on behalf of 24-38 Green Lane Holdings Limited to support a prior approval application for the change of use of 3-4 Warmair House, Green Lane from commercial to residential use in order to provide three residential units.
- 1.2 Since 1 August 2021, Schedule 2 Part 3 Class MA of the Town and Country Planning (General Permitted Development) 2015 Order, as amended allows a change of use of a building and any land within its curtilage from Class E (commercial, business and service) to a use falling within Class C3 (dwellinghouses). Changes to The Town and Country Planning General Permitted Development (England) (Amendment) Order 2024 which came into force on 5th March 2024 amended Class MA to remove the 3-month vacancy period (point a) of MA.1.- (1) and also removed the floorspace upper limit for buildings changing use under Class MA (point c).
- 1.3 The building has been in a continuous use as Class E for at least two years prior to the date of the application. In relation to MA.1- (1), whilst the site is located within a Conservation Area, it is not within land included in any categories under point (d) or a building included in any categories under point (e). In addition, it is not a site occupied under an agricultural tenancy (point (f), and did not fall within Class O.
- 1.4 However, consideration is required of the following matters:
  - Transport impacts including safe site access;
  - Contamination in relation to the building;
  - Flooding risks relating to the building;
  - Impacts of noise from commercial premises;
  - Provision of adequate natural light to all habitable rooms;
  - Impact the change of use would have on the character or sustainability of the conservation area.
  - The impact of the development for future residents from the introduction of residential use in an area considered important for industrial, waste management, storage and distribution uses; and
  - Fire risk considerations.
- 1.5 An Assessment of these matters is set out in Section 5 of this Planning Statement.
- 1.6 This Planning Statement sets out details of the site and surrounding area; describes the proposed scheme; and assesses the scheme against the criteria set out in the GPDO.

1.7 The following information is submitted in support of the Prior Approval Application.

- Design and Access Statement prepared by Create Design;
- This Planning Statement prepared by Create Planning;
- A Daylight and Sunlight Assessment by CPMC Survey Ltd;
- A Location Plan; and
- Existing and Proposed Floor plans and Elevations (please see list below).

### **List of Drawings**

- A-PD-100 Location Plan
- A-EX-101 Existing Site Plan
- A-EX-102 Existing Ground Floor Plan
- A-EX-103 Existing First Floor Plan
- A-EX-104 Existing Roof Plan
- A-EX-300 Existing NE Elevation
- A-EX-301 Existing SW Elevation
- A-EX-302 Existing NW Gable Elevation
- A-PD-101 Proposed Site Plan
- A-PD-102 Proposed Ground Floor
- A-PD-103 Proposed First Floor
- A-PD-104 Proposed Roof Plan
- A-PD-300 Proposed NE Elevation
- A-PD-301 Proposed SW Elevation
- A-PD-302 Proposed NW Gable Elevation

## 2.0 SITE AND SURROUNDING AREA

### The Application Site



Figure 1: 3 and 4 Warmair House



Figure 2: 1 and 2 Warmair House

- 2.1 The application site comprises 3-4 Warmair House. The property adjoins 1-2 Warmair House, with a service yard and parking to the north. The site is accessed via a narrow vehicular access from Green Lane. Fourteen car parking spaces are currently provided.
- 2.2 3-4 Warmair House is a two-storey brick building, which has until recently been used for offices by Northwood Nursing home care services. Prior to this it had a number of employment and light industrial uses. The use class of the property is therefore Class E.
- 2.3 The buildings have been altered substantially over the years, with some windows bricked-up and rooflights inserted into the roof. The internal condition of the building is poor, with evidence of cracking and mould.



Figure 3: Warmair House and surrounding site

- 2.4 The site is located at the western end of Northwood town centre and approximately 200m to the west of Northwood station. Immediately to the west of the site is the Green Lane car park. The site is within the Northwood Town Centre Conservation Area. Warmair House is considered to be a positive contributor within the Conservation Area. Positive buildings are defined as buildings that “*make a positive contribution to the historic and architectural character and appearance of the conservation area.*”
- 2.5 The site is located within Flood Risk Zone 1, with a low probability of flooding from rivers and the sea.
- 2.6 The site has a PTAL rating of 3 and is well connected by public transport. Northwood Station is 200m to the east of the site and is served by the Metropolitan Line (Zone 6). There are bus stops located on Green Lanes, directly adjacent to the site, with bus routes 282 - Ealing Hospital to Mount Vernon Hospital; 328 - Golders Green to Chelsea Worlds End; 331 - Ruislip Station to Belmont Road; and H11- Mount Vernon Hospital to Harrow Bus Station. There is a well-established network of footways surrounding the site, providing good pedestrian access to other town centre facilities.

### **Surrounding Area**



Figure 4: Surrounding Area



Figure 5: Retail parade at 24-38 Green Lane

- 2.7 Immediately to the north of the application site is a three-storey retail terrace of eight properties at 24 to 38 Green Lane, which typically comprise commercial at ground floor and residential above. Most of these properties have been extended to the rear with one and two storey extensions. To the north of Green Lane are a number of residential properties including Greenhill Court, as well as mixed-use properties with commercial at ground floor and residential above, such as 27 to 35 Green Lane, to the east of Dene Road, which incorporates a corner pub.

- 2.8 To the south of the application site there are a number of residential properties including Anthus Mews immediately adjoining the application site and the three storey Pinnacle Apartments to the east of the site.



Figure 6: Anthus Mews to the rear of the site



Figure 7: Pinnacle Apartments to the east

To the west is a public car park (157 spaces), which is separated from the site by an area of trees and vegetation.

- 2.9 The Northwood Town Centre Conservation Area is characterised by a variety of different architectural styles including Arts and Crafts, neoclassical, Tudor/Flemish, Baroque and Georgian revival as well as 1930s Art Deco. The conservation area developed over an extended period from 1887 following the building of the original Northwood Station, with most of the area completed by the time Chester Place was built in the 1930s. The earliest development of Northwood was focussed around the station and by 1896, the earliest housing and shops had developed along Murray Road.

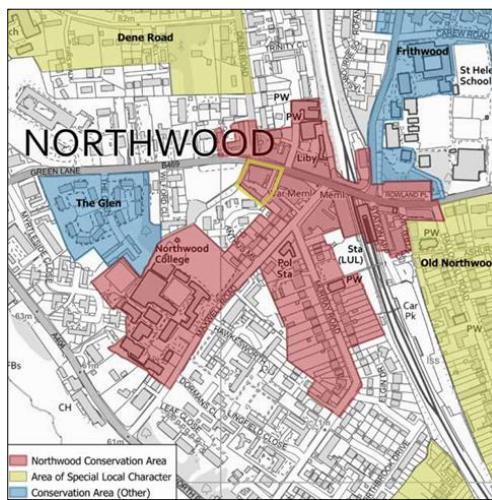


Figure 8: Extent of Northwood CA (red)

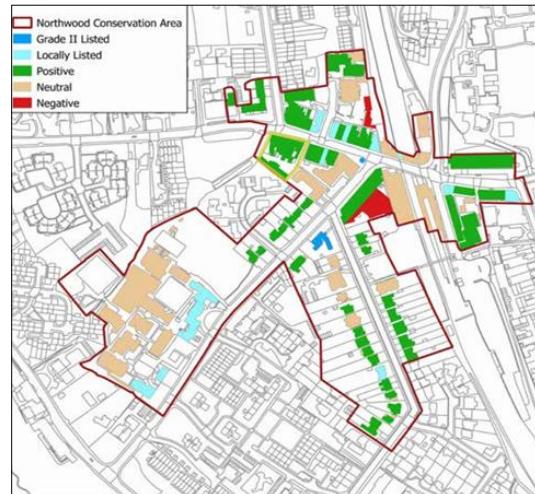


Figure 9: Identified Positive contributors (green)

- 2.10 The Conservation Area Appraisal notes that “*most of the buildings within the conservation area are of high-quality design and include a variety of different*

*architectural styles including Arts and Crafts, neoclassical, Tudor/Flemish, Baroque and Georgian revival as well as 1930s Art Deco, all with very good decorative features. The area is characterised by its late Victorian and Edwardian architecture with pitched roofs, half timbering, strong gables, sash windows, leaded lights, dominant chimney stacks, and decorative door surrounds. It is notable for the vernacular character of the parades of shops which is in contrast to the “superior” classical style of the financial institutions.”*

- 2.11 The Conservation Area Statement states, in relation to the application site, that:

*To the rear of the Pavement located on an alley that runs behind, is an interesting surviving outbuilding, possibly a stable block. It is constructed of London stock brick with slate roofs and has three pitched roof dormers breaking through the eaves.*

- 2.12 Much of the heritage importance of Warmair House has been eroded by various alterations undertaken since the late 1980's.

## 3.0 THE PROPOSED SCHEME

### Introduction

- 3.1 It is proposed to change the use of the ground and first floor of units 3 and 4 Warmair House from commercial (Class E) to three residential self-contained flats (C3 use class). The property will remain two storeys. Internal alterations will be carried out. There will be no change to the existing floorspace area of 172 sqm.



Figure 10: Proposed Block Plan



Figure 11: Existing frontage of 2-4 Warmair House

- 3.2 The scheme will create two no. 1bed/2person of 53 and 54 sqm at ground floor level and one no. 2bed/3 person unit at 65 sqm at first floor level. All units meet the London Plan minimum space standards. External repairs will be undertaken, for example repair to brickwork and replacement of slate roofing, and window and doors will be replaced with timber fittings in keeping with the age and character of the property where necessary. In addition, externally mounted air handling units and extraneous pipework and cabling will be removed, thereby improving the external appearance of the property.



Figure 12: Proposed Ground floor plan

- 3.3 A communal amenity space of 12 sqm will be provided in front of the property, along with a single storey enclosure along the western boundary of the site, which will accommodate six cycle spaces and waste and recycling bins. The scheme will incorporate planting opportunities which encourage different habitats for wildlife. Two designated parking spaces will be provided. Vehicular access into the site will remain as existing, via a route from Green Lane.



Figure 13: Proposed First floor plan

- 3.4 There is scope to introduce pv panels on the south roof pitch. A green roof will be installed on the cycle/waste storage enclosure.



Figure 14: Proposed Roof Plan



Figure 15: North East Elevation

- 3.5 There will be no alterations to the key elevations and no change to the scale, height and massing of the property. As part of the internal alterations, works would be undertaken to repair the building and remove any mould.



Figure 16: North West Gable

## 4.0 PLANNING POLICY

### Statutory Development Plan

- 4.1 The Statutory Development Plan is the London Plan (2021) and the Hillingdon Local Plan, which comprises the Local Plan Part 1: Strategic Policies (2012); and the Local Plan Part 2: Development Management Policies (2020) and Site Allocations and Designations (2020). The National Planning Policy Framework (2023) provides a material consideration.

### General Permitted Development Order

- 4.2 Under the Town and Country Planning (General Permitted Development (England) Order 2015, as amended, certain works can be undertaken without the need for planning permission, "permitted development rights".
- 4.3 Class MA of Part 3 (changes of use) of Schedule 2 to the GPDO allows a change of use of a building and any land within its curtilage from Class E (commercial, business and service) to a use falling within Class C3 (dwellinghouses).
- 4.4 Prior approval is required from the Ipa and the following matters can be considered:
- Transport impacts including safe site access;
  - Contamination in relation to the building;
  - Flooding risks relating to the building;
  - Impacts of noise from commercial premises;
  - Provision of adequate natural light to all habitable rooms;
  - The impact of the development for future residents from the introduction of residential use in an area considered important for industrial, waste management, storage and distribution uses;
  - Where development involves loss of services by a registered nursery or health centre, what impact that loss of service would be; and
  - Fire risk considerations.
- 4.5 As of 5 March 2024, Article 3 of this Order amended Class MA to remove the requirement that a building must have been vacant for a continuous period of at least 3 months immediately prior to the date of an application for prior approval. Additionally, Class MA was amended to remove the floorspace upper limit for buildings changing use under the right. An extract from the GPDO is contained at Appendix 1 of this Planning Statement.

### **Use Classes Order**

- 4.6 The Town and Country Planning (Use Classes) (Amendment) (England) Regulations 2020 introduced new use classes from 1 September 2020.
- 4.7 Class E as defined in the Use Classes Order as Commercial, Business and Service Use, or part use, for all or any of the following purposes:
- a) Shop other than for the sale of hot food;
  - b) Food and drink which is mostly consumed on the premises;
  - c) the following kinds of services principally to visiting members of the public i. financial services ii. professional services (other than medical services) iii. any other services which it is appropriate to provide in a commercial, business or service locality;
  - d) Indoor sport and recreation (not swimming pools, ice rinks or motorised vehicles or firearms);
  - e) Medical services not attached to the residence of the practitioner;
  - f) Non-residential creche, day centre or nursery; and
  - g) i) office ii) the research and development of products or processes or iii) any industrial process, (which can be carried out in any residential area without causing detriment to the amenity of the area)
- 4.8 An extract from The Town and Country Planning (Use Classes) (Amendment) (England) Regulations 2020 is set out at Appendix 2 of this Planning Statement.

### **Article 4 Direction**

- 4.9 On 14 July 2022, Hillingdon Council confirmed a non-immediate Article 4 Direction to remove permitted development rights to change from commercial, business and service uses to dwellinghouses in specific areas of the borough including primary shopping areas, such as Northwood. Whilst the land fronting onto Green Lane is included in the primary shopping area, the application site is excluded as shown on the Map in Appendix 3 of this Planning Statement.

## 5.0 ASSESSMENT

### Introduction

- 5.1 In this Section of the Planning Statement, consideration is given to the conditions set out in Schedule 2 Part 3 Class MA of the Town and Country Planning (General Permitted Development) Order 2020.

### Criteria where development is not permitted under Class MA-1

Criteria where development is not permitted	Met/ not met	Comment
a)unless the building has been vacant for a continuous period of at least 3 months immediately prior to the date of the application for prior approval	N/A	This requirement was deleted on 5 March 2024.
b)unless the use of the building fell within one or more of the classes specified in sub paragraph (2) for a continuous period of at least 2 years prior to the date of the application for prior approval;	Met	The building has been in commercial/industrial use or more than two years.
c)if the cumulative floor space of the existing building changing use under Class MA exceeds 1,500 square metres;	N/A	This requirement was deleted on 5 March 2024.
d)if land covered by, or within the curtilage of, the building— (i)is or forms part of a site of special scientific interest; (ii)is or forms part of a listed building or land within its curtilage; (iii)is or forms part of a scheduled monument or land within its curtilage; (iv)is or forms part of a safety hazard area; or (v)is or forms part of a military explosives storage area;	Met	The land is none of these.
(e)if the building is within— (i)an area of outstanding natural beauty; (ii)an area specified by the Secretary of State for the purposes of section 41(3) of the Wildlife and Countryside Act 1981; (iii)the Broads; (iv)a National Park; or (v)a World Heritage Site;	Met	The building is not within any of these.
(f)if the site is occupied under an agricultural tenancy, unless the express consent of both the landlord and the tenant has been obtained;	Met	The site is not occupied under an Agricultural Tenancy.
(g)before 1 August 2022, if— (i)the proposed development is of a description falling within Class O of this Part as that Class had effect immediately before 1st August 2021; and (ii)the development would not have been permitted under Class O immediately before 1st August 2021 by virtue of the operation of a direction under article 4(1) of this Order which has not since been cancelled in accordance with the provisions of Schedule 3.	Met	Class O does not apply.

- 5.2 The current proposals therefore meet the criteria set out in MA-1.

## **Other Matters set out in Section MA-2**

- 5.3 The following paragraphs assess the proposed development against criteria (a) to (i) in Part MA-2 of the GPDO.

### (a) Transport and highways impacts of the development

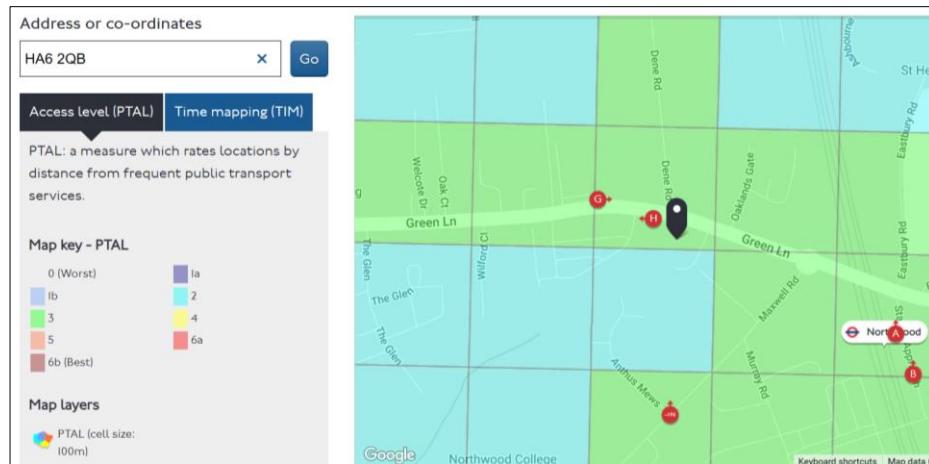


Figure 17: Site PTAL

- 5.4 The application site has a PTAL of 3 (good). The site is well located in terms of shops, services and facilities within the Northwood Town Centre and has good public transport accessibility, with a bus stop on Green Lane adjacent to the site and a range of bus services linking the site to Ealing, Golders Green, Ruislip and Harrow, amongst other places. In addition, Northwood Station located within 200 metres. A recent Parking Survey has identified a good level of parking availability within the adjoining Green Lane car park. Six cycle parking will be provided in accordance with London Plan standards. Two car parking spaces will be provided within the eastern part of the application site, thereby reducing the number of parking spaces on site, and as a result there will be less vehicle trips into the site and less impact on the local highway network.

**(b) Contamination risks in relation to the building,**



Figure 18: Site Context

- 5.5 Warmair House has been in use for a mix of light industrial and commercial uses for many years. There is no evidence of heavy industry or polluting industries operating from the site, which comprises a number of light industrial and commercial properties located around a yard area which is used for parking. A recent survey of the building identified some maintenance issues including damp and mould which will be rectified as part of the improvements works. Therefore, it is considered that the risk of contamination is very low.

**(c) Flooding risks in relation to the building,**

- 5.6 The application site is located within Flood Zone 1 and has a low probability of flood risk from rivers or the sea.

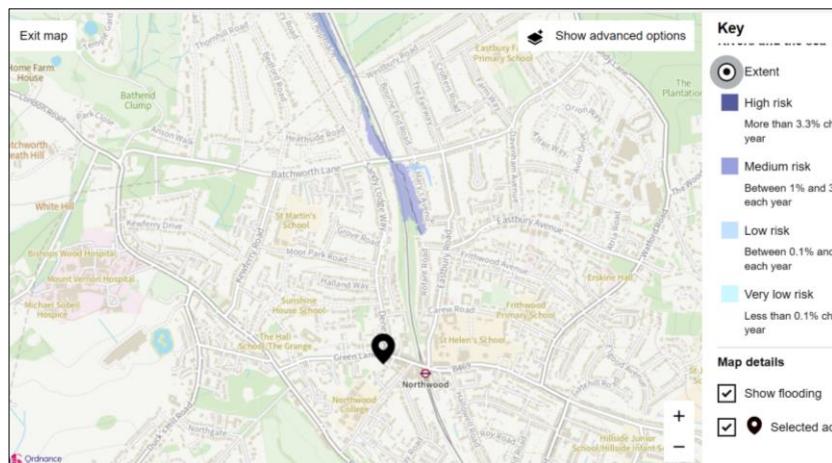


Figure 19: Flood Risk from Rivers and Sea (Source [www.gov.uk](http://www.gov.uk))

- 5.7 The site has a medium to high risk of flooding from surface water due to the low-lying

nature of this part of the site and in order to mitigate this, the communal amenity space will also function as a SUDS feature or rain garden.

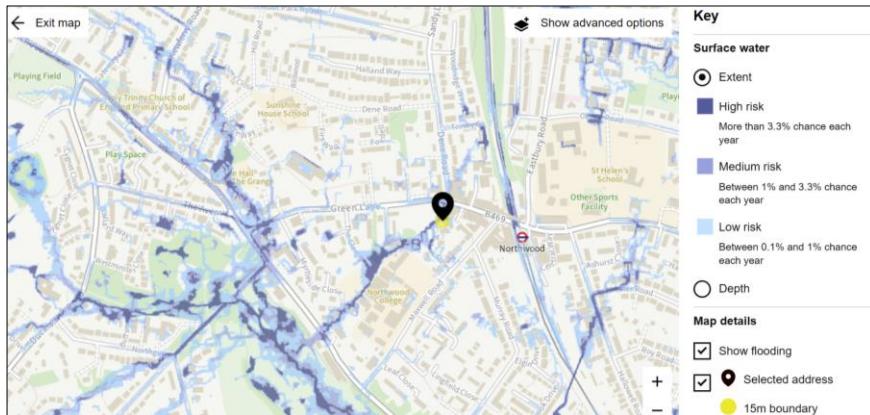


Figure 20: Flood Risk from Surface Water (Source [www.gov.uk](http://www.gov.uk))

- 5.8 The proposal will not involve any external alterations to the existing building and therefore it is not anticipated that the risk of flooding will increase on or off site as a result of the proposed works.

**(d) Impacts of noise from commercial premises on the intended occupiers of the development**

- 5.9 Warmair House is not located in a designated employment area and there are no noisy commercial or industrial uses near to the application site. There are existing residential properties to the south and east of the application site, and to the north, the upper floors of the commercial units on Green Lane are in residential use. The commercial properties on Green Lane are separated from the site by single storey extensions and the servicing of the Green Lane retail/restaurant uses is done on street, so it is not anticipated that there would be any noise from these into the site. Modifications will be made to the fabric of the building internally to ensure that adequate noise insulation is provided as required by the Building Regulations.

**(e) where— (i) the building is located in a conservation area, and (ii) the development involves a change of use of the whole or part of the ground floor, the impact of that change of use on the character or sustainability of the conservation area;**

- 5.10 The application site is within the Northwood Town Centre Conservation Area and number 3-4 Warmair House is identified in the Conservation Area Appraisal as making a positive contribution to the conservation area. The proposed change of use to residential will provide an opportunity to repair and enhance the property, thereby making a more positive contribution to the appearance of the conservation area.

5.11 Warmair House is not within the Town Centre designation, although properties fronting onto Green Lane are. Due to the location of the building at the rear of the site, it is not a building that provides an active frontage and the change of use of the ground floor to residential will not have an impact on the character or sustainability of this part of the conservation area.

**(f) The provision of adequate natural light in all habitable rooms of the dwellinghouses**



Figure 21: Existing front and rear elevations of Warmair House

5.12 Number 3-4 Warmair House has a number of windows in the north, south and west elevations and six rooflights spread across the roof of the building. The building depth of around 4.5 metres also allows for good light penetration. A Daylight and Sunlight Assessment was carried out by CMPC Surveying.

5.13 The assessment was made in accordance with the 2022 (3rd Edition) Building Research Establishment's 'Site Layout Planning for Daylight and Sunlight - A Guide to Good Practice' (The BRE Guide) and BS EN 17037:2018. In terms of daylight, all rooms assessed achieve SDA values above the BRE guidelines. In terms of sunlight, the main living areas pass the sunlight exposure test.

**(g) The impact on intended occupiers of the development of the introduction of residential use in an area the authority considers to be important for general or heavy industry, waste management, storage and distribution, or a mix of such uses**

5.14 The site is not allocated as an employment site in the Hillingdon Local Plan and there is no realistic prospect of the land being used for general or heavy industry or waste management or storage/distribution on a large scale due to its location within the Northwood Town Centre, adjacent to residential uses and the narrow vehicular access into the site from Green Lane.

**(h) Where the development involves the loss of services provided by— (i)a registered nursery, or (ii)a health centre maintained under section 2 or 3 of the National Health Service Act 2006, the impact on the local provision of the type of services lost**

5.15 Warmair House has not been used as a registered nursery or health centre. A previous use of the premises as an office for Northwood Nursing Home Care did not form part of a health centre maintained under section 2 or 3 of the NHS Act 2006.

**(i) Where the development meets the fire risk condition, the fire safety impacts on the intended occupants of the building**

5.16 3-4 Warmair House is on two floors. There is an internal staircase and also an external fire escape at the front of the building, providing a secondary escape. Any necessary alterations will be made to ensure that the property meets current Building Regulations for fire safety.

## **6.0 SUMMARY AND CONCLUSION**

- 6.1 Prior approval is sought under Schedule 2 Part 3 Class MA of the Town and Country Planning (General Permitted Development) 2015 Order, as amended, for the change of use of 3-4 Warmair House, Green Lane from commercial to residential use in order to provide three residential units. The units meet national planning space standards and will receive adequate daylight. Moreover, the change of use of the property will not impact on the appearance or use of the Conservation Area or the activities of any adjoining commercial premises.
- 6.2 It is considered that the site meets the requirements set out under MA-1 and the Assessment in Section 5 of this Statement demonstrates that the proposed change of use meets the criteria set out in MA-2.
- 6.3 It is therefore considered that the proposed change of use is acceptable in terms of Schedule 2 Part 3 Class MA of the Town and Country Planning (General Permitted Development) Order 2020 including MA.1 Development not permitted and MA.2 Conditions. It is therefore requested that permitted development is granted.

## APPENDICES

### **Appendix 1: Schedule 2 Part 3 Class MA of the Town and Country Planning (General Permitted Development) 2015 Order, as amended**

#### **Permitted development**

**MA.** *Development consisting of a change of use of a building and any land within its curtilage from a use falling within Class E (commercial, business and service) of Schedule 2 to the Use Classes Order to a use falling within Class C3 (dwellinghouses) of Schedule 1 to that Order.*

#### **Development not permitted**

**MA.1.—(1)** Development is not permitted by Class MA—

- (a) unless the building has been vacant for a continuous period of at least 3 months immediately prior to the date of the application for prior approval;
- (b) unless the use of the building fell within one or more of the classes specified in subparagraph (2) for a continuous period of at least 2 years prior to the date of the application for prior approval;
- (c) if the cumulative floor space of the existing building changing use under Class MA exceeds 1,500 square metres;
- (d) if land covered by, or within the curtilage of, the building—
  - (i) is or forms part of a site of special scientific interest;
  - (ii) is or forms part of a listed building or land within its curtilage;
  - (iii) is or forms part of a scheduled monument or land within its curtilage;
  - (iv) is or forms part of a safety hazard area; or
  - (v) is or forms part of a military explosives storage area;
- (e) if the building is within—
  - (i) an area of outstanding natural beauty;
  - (ii) an area specified by the Secretary of State for the purposes of section 41(3) of the Wildlife and Countryside Act 1981;
  - (iii) the Broads;
  - (iv) a National Park; or
  - (v) a World Heritage Site;

(f) if the site is occupied under an agricultural tenancy, unless the express consent of both the landlord and the tenant has been obtained; or

(g) before 1 August 2022, if—

(i) the proposed development is of a description falling within Class O of this Part as that Class had effect immediately before 1st August 2021; and

(ii) the development would not have been permitted under Class O immediately before 1st August 2021 by virtue of the operation of a direction under article 4(1) of this Order which has not since been cancelled in accordance with the provisions of Schedule 3.

(2) The classes mentioned in sub-paragraph (1)(b) are the following classes of the Use Classes Order—

(a) the following classes of the Schedule as it had effect before 1st September 2020—

(i) Class A1 (shops);

(ii) Class A2 (financial and professional services);

(iii) Class A3 (food and drink);

(iv) Class B1 (business);

(v) Class D1(a) (non-residential institutions – medical or health services);

(vi) Class D1(b) (non-residential institutions – crèche, day nursery or day centre);

(vii) Class D2(e) (assembly and leisure – indoor and outdoor sports), other than use as an indoor swimming pool or skating rink;

(b) on or after 1st September 2020, Class E (commercial, business and service) of Schedule 2.

## **Conditions**

MA.2.—(1) Development under Class MA is permitted subject to the following conditions.

(2) Before beginning development under Class MA, the developer must apply to the local planning authority for a determination as to whether the prior approval of the authority will be required as to—

(a) transport impacts of the development, particularly to ensure safe site access;

(b) contamination risks in relation to the building;

(c) flooding risks in relation to the building;

(d) impacts of noise from commercial premises on the intended occupiers of the development;

(e) where—

- (i) the building is located in a conservation area, and
- (ii) the development involves a change of use of the whole or part of the ground floor, the impact of that change of use on the character or sustainability of the conservation area;
- (f) the provision of adequate natural light in all habitable rooms of the dwellinghouses;
- (g) the impact on intended occupiers of the development of the introduction of residential use in an area the authority considers to be important for general or heavy industry, waste management, storage and distribution, or a mix of such uses;
- (h) where the development involves the loss of services provided by—
  - (i) a registered nursery, or
  - (ii) a health centre maintained under section 2 or 3 of the National Health Service Act 2006, the impact on the local provision of the type of services lost; and
- (i) where the development meets the fire risk condition, the fire safety impacts on the intended occupants of the building.

**The Town and Country Planning (General Permitted Development) (England) (Amendment) Order 2024: Amendments to Schedule 2**

**Citation, commencement, extent and interpretation**

- 1.—(1) This Order may be cited as the Town and Country Planning (General Permitted Development) (England) (Amendment) Order 2024 and comes into force on 5th March 2024.
- (2) This Order extends to England and Wales.

(3) In this Order, “the GPDO” means the Town and Country Planning (General Permitted Development) (England) Order 2015<sup>(2)</sup>.

**Amendments to Schedule 2 (permitted development rights) to the GPDO**

2. Schedule 2 to the GPDO is amended in accordance with article 3.

**Amendments to Part 3 (changes of use)**

- 3.—(1) Part 3 is amended as follows.

(2) In Class MA (commercial, business and service uses to dwellinghouses), in subparagraph (1) of paragraph MA.1—

- (a) omit paragraph (a);
- (b) omit paragraph (c).

## **Appendix 2**

### **The Town and Country Planning (Use Classes) (Amendment) (England) Regulations 2020**

#### **Article 3 - SCHEDULE 2 - PART A Commercial, Business and Service**

##### **Class E. Commercial, Business and Service**

Use, or part use, for all or any of the following purposes—

- (a)for the display or retail sale of goods, other than hot food, principally to visiting members of the public,
- (b)for the sale of food and drink principally to visiting members of the public where consumption of that food and drink is mostly undertaken on the premises,
- (c)for the provision of the following kinds of services principally to visiting members of the public—
  - (i)financial services,
  - (ii)professional services (other than health or medical services), or
  - (iii)any other services which it is appropriate to provide in a commercial, business or service locality,
- (d)for indoor sport, recreation or fitness, not involving motorised vehicles or firearms, principally to visiting members of the public,
- (e)for the provision of medical or health services, principally to visiting members of the public, except the use of premises attached to the residence of the consultant or practitioner,
- (f)for a creche, day nursery or day centre, not including a residential use, principally to visiting members of the public,
- (g)for—
  - (i)an office to carry out any operational or administrative functions,
  - (ii)the research and development of products or processes, or
  - (iii)any industrial process, being a use, which can be carried out in any residential area without detriment to the amenity of that area by reason of noise, vibration, smell, fumes, smoke, soot, ash, dust or grit.

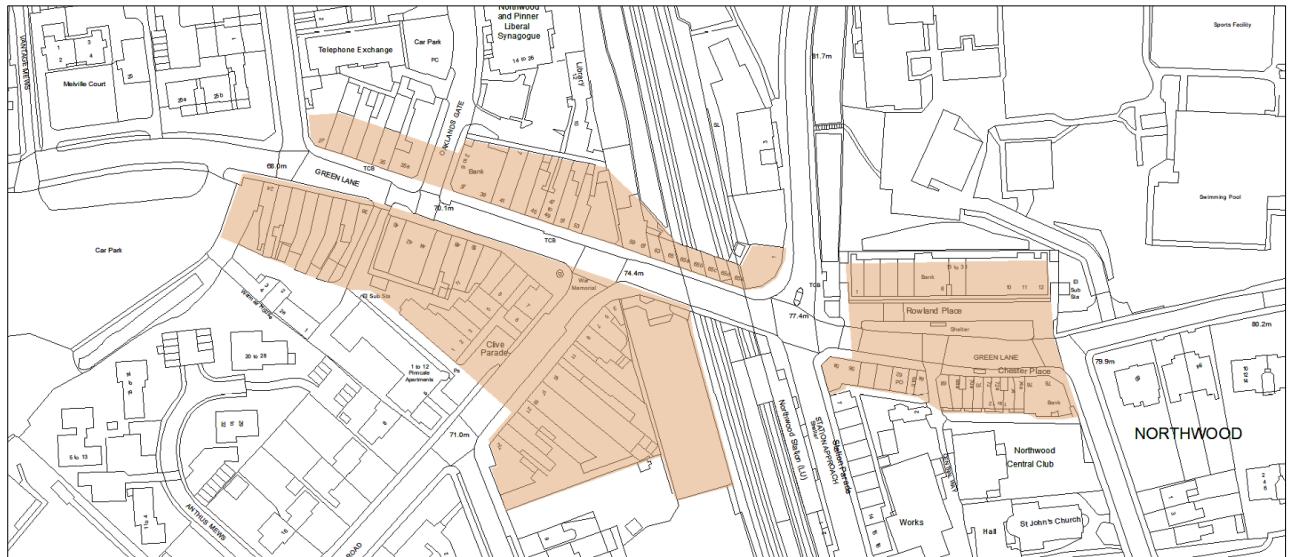
### Appendix 3: Article 4 Direction: Changes of use from commercial, business and service uses to dwellinghouses

On 14 July 2022, Hillingdon Council confirmed a non-immediate Article 4 Direction to remove permitted development rights to change from commercial, business and service uses to dwellinghouses. This is the permitted development right covered by Class MA of Part 3 of Schedule 2 of the Town and Country Planning (General Permitted Development) Order. The Article 4 Direction came into force on 24 September 2022.

The Article 4 Direction in relation to Class MA applies in the following areas of the borough:

- office and hotel growth location
- locally significant employment locations
- Hayes opportunity area
- strategic industrial locations
- locally significant industrial sites
- primary and secondary shopping areas in metropolitan town centres
- primary and secondary shopping areas in district town centre
- primary and secondary shopping areas in minor town centres
- local centres
- local parades.

This type of development in these areas will require full planning permission. This is to ensure we can control and protect important areas of economic activity within the borough, including industrial areas and high streets. Where new residential development is proposed, it will continue to be subject to consideration against the policies in the Local Plan.



The extract from the Article 4 Direction Map shows that the buildings within the application site are not included within the primary shopping area (shaded brown).