



1-2 Warmair House, Green Lane, Northwood

Planning and Prior Approval Applications

Planning Statement

February 2025

1.0 INTRODUCTION

- 1.1 This Planning Statement has been prepared by Create Planning on behalf of 24-38 Green Lane Holdings Limited to support a planning application for external works to the property and a prior approval application for the change of use of 1-2 Warmair House, Green Lane from commercial to residential use in order to provide three residential units.
- 1.2 **Planning permission** is sought for external works to the building in order to ensure that the room sizes and floor to ceiling heights meet London Plan standards and to ensure appropriate daylight in all habitable rooms. It is proposed to raise the ridge line of the roof to match the elevation of the adjoining 3-4 Warmair House, thereby adding a useable first floor to the property for residential space, with the addition of dormer windows, rooflights and internal stairs. In addition, the existing metal corrugated roof would be replaced by slate tiles to be consistent with 3-4 Warmair House. New windows, doors, and roof lights apertures will be introduced to provide access and adequate levels of natural ventilation and daylight.
- 1.3 **Prior Approval** is sought for the change of use from commercial (Class E) to residential (Class C3). Since 1 August 2021, Schedule 2 Part 3 Class MA of the Town and Country Planning (General Permitted Development) 2015 Order, as amended, allows a change of use of a building and any land within its curtilage from Class E (commercial, business and service) to a use falling within Class C3 (dwellinghouses). Changes to The Town and Country Planning General Permitted Development (England) (Amendment) Order 2024 which came into force on 5th March 2024 amended Class MA to remove the 3-month vacancy period (point a) of MA.1.- (1) and also removed the floorspace upper limit for buildings changing use under Class MA (point c).
- 1.4 1-2 Warmair House has been in a continuous use as Class E for at least two years prior to the date of the application. In relation to MA.1- (1), whilst the site is located within a Conservation Area, it is not within land included in any categories under point (d) or a building included in any categories under point (e) of the regulations. In addition, it is not a site occupied under an agricultural tenancy (point (f), and did not fall within Class O.

1.5 However, in relation to the prior approval application, consideration is required of the following matters:

- Transport impacts including safe site access;
- Contamination in relation to the building;
- Flooding risks relating to the building;
- Impacts of noise from commercial premises;
- Provision of adequate natural light to all habitable rooms;
- Impact the change of use would have on the character or sustainability of the conservation area.
- The impact of the development for future residents from the introduction of residential use in an area considered important for industrial, waste management, storage and distribution uses; and
- Fire risk considerations.

1.6 An Assessment of these matters is set out in Section 5 of this Planning Statement.

1.7 This Planning Statement also sets out details of the site and surrounding area; describes the proposed scheme; and assesses the scheme against the criteria set out in the GPDO.

1.8 The following information is submitted in support of the Planning Application and Prior Approval Application.

- A Design and Access Statement prepared by Create Design;
- This Planning Statement prepared by Create Planning; and
- A Daylight/Sunlight Assessment prepared by CPMC Surveying.

1.9 The Tables below sets out the drawings submitted for each application.

Planning Application

Drawing number	Drawing Title
A-PA-100	Location plan 1:1250 @ A3
A-EX-101	Existing site plan
A-EX-102	Existing ground floor
A-EX-103	Existing first floor
A-EX-104	Existing roof plan
A-EX-300	Existing northeast elevation from yard
A-EX-301	Existing southwest elevation
A-EX-302	Existing southeast gable elevation

A-PA-101	Proposed site plan
A-PA-102	Proposed ground floor
A-PA-103	Proposed first floor
A-PA-104	Proposed roof plan
A-PA-300	Proposed northeast elevation from yard
A-PA-301	Proposed southwest elevation
A-PA-302	Proposed southwest gable elevation

Prior Approval Application

Drawing number	Drawing Title
A-PA-100	Location plan 1:1250 @ A3
A-EX-101	Existing site plan
A-EX-102	Existing ground floor
A-EX-103	Existing first floor
A-EX-104	Existing roof plan
A-EX-300	Existing northeast elevation from yard
A-EX-301	Existing southwest elevation
A-EX-302	Existing southeast gable elevation
A-PA-101	Proposed site plan
A-PA-102	Proposed ground floor
A-PA-103	Proposed first floor
A-PA-104	Proposed roof plan

2.0 SITE AND SURROUNDING AREA

The Application Site



Figure 1: 1 and 2 Warmair House



Figure 2: 3 and 4 Warmair House

- 2.1 The application site comprises 1-2 Warmair House. The property adjoins 3-4 Warmair House, with a service yard and parking to the north. The site is accessed via a narrow vehicular access from Green Lane. The existing ground floor is 172 sqm and the first floor 45 sqm, plus first floor loft/storage space of 38 sqm. Fourteen car parking spaces are currently provided for the occupants of both 1-2 and 3-4 Warmair House. The site location is shown on drawing no. A-PA-100.
- 2.2 1-2 Warmair House is a single storey metal clad commercial/light industrial building, which has previously been used for a number of commercial uses including, most recently, as offices for Abbey Electrics and a plumbing and construction company; and for VDBM Chartered Surveyors. The use class of the property is therefore considered to fall within Class E. Number 2 Warmair House has an upper level which connects at first floor to number 3 Warmair House. The current internal condition of the building is poor. The existing layout of the building is shown on drawing nos. A-EX-01-02 and A-EX-103 and the existing elevations on drawing nos. A-EX-300, 301 and 302.



Figure 3: Warmair House and surrounding site

- 2.3 The site is located at the western end of Northwood town centre and approximately 200m to the west of Northwood station. Immediately to the west of the site is the Green Lane car park. The site is within the Northwood Town Centre Conservation Area and the Conservation Area Assessment describes Warmair House as a positive contributor within the Conservation Area. Positive buildings are defined as buildings that *“make a positive contribution to the historic and architectural character and appearance of the conservation area.”*
- 2.4 The site is located within Flood Risk Zone 1, with a low probability of flooding from rivers and the sea.
- 2.5 The site has a PTAL rating of 3 and is well connected by public transport. Northwood Station is 200m to the east of the site and is served by the Metropolitan Line (Zone 6). There are bus stops located on Green Lanes, directly adjacent to the site, with bus routes 282 - Ealing Hospital to Mount Vernon Hospital; 328 - Golders Green to Chelsea Worlds End; 331 - Ruislip Station to Belmont Road; and H11- Mount Vernon Hospital to Harrow Bus Station. There is a well-established network of footways surrounding the site, providing good pedestrian access to other town centre facilities.

Surrounding Area



Figure 4: Immediate Surrounding Area



Figure 5: Retail parade at 24-38 Green Lane

- 2.6 Immediately to the north of the application site is a three-storey retail terrace of eight properties at 24 to 38 Green Lane, which typically comprise commercial at ground floor and residential above. Most of these properties have been extended to the rear with one and two storey extensions. To the north of Green Lane are a number of residential properties including Greenhill Court, as well as mixed-use properties with commercial at ground floor and residential above, such as 27 to 35 Green Lane, to the east of

Dene Road, which incorporates a corner pub.

- 2.7 To the south of the application site there are a number of residential properties including Anthus Mews immediately adjoining the application site and the three storey Pinnacle Apartments to the east of the site.



Figure 6: Anthus Mews to the rear of the site



Figure 7: Pinnacle Apartments to the east

To the west is a public car park (157 spaces), which is separated from the site by an area of trees and vegetation.

- 2.8 The Northwood Town Centre Conservation Area is characterised by a variety of different architectural styles including Arts and Crafts, neoclassical, Tudor/Flemish, Baroque and Georgian revival as well as 1930s Art Deco. The conservation area developed over an extended period from 1887 following the building of the original Northwood Station, with most of the area completed by the time Chester Place was built in the 1930s. The earliest development of Northwood was focussed around the station and by 1896, the earliest housing and shops had developed along Murray Road.

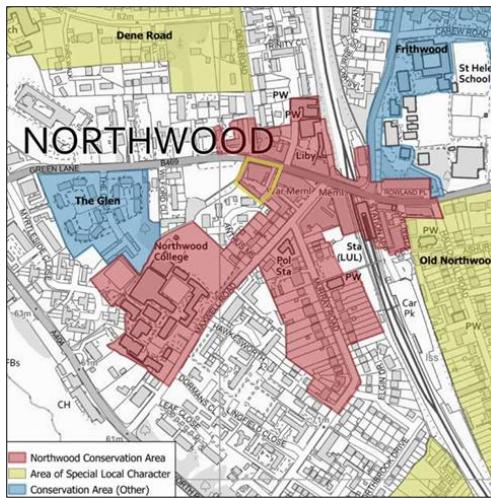


Figure 8: Extent of Northwood CA (red)

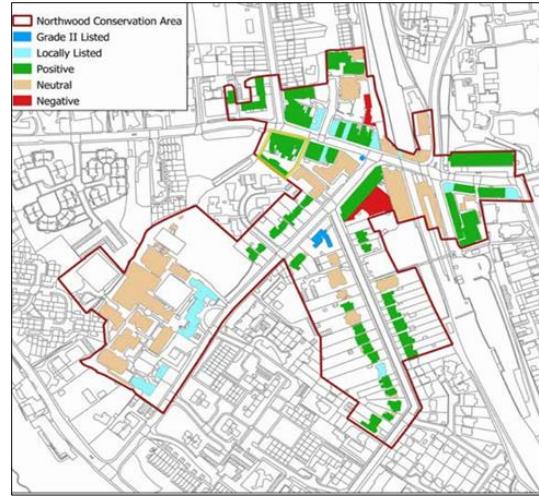


Figure 9: Identified Positive contributors (green)

- 2.9 The Conservation Area Appraisal notes that “*most of the buildings within the conservation area are of high-quality design and include a variety of different architectural styles including Arts and Crafts, neoclassical, Tudor/Flemish, Baroque and Georgian revival as well as 1930s Art Deco, all with very good decorative features. The area is characterised by its late Victorian and Edwardian architecture with pitched roofs, half timbering, strong gables, sash windows, leaded lights, dominant chimney stacks, and decorative door surrounds. It is notable for the vernacular character of the parades of shops which is in contrast to the “superior” classical style of the financial institutions.*”
- 2.10 The Conservation Area Statement states, in relation to the application site, that:
- To the rear of the Pavement located on an alley that runs behind, is an interesting surviving outbuilding, possibly a stable block. It is constructed of London stock brick with slate roofs and has three pitched roof dormers breaking through the eaves.*
- 2.11 Much of the heritage importance of Warmair House has however been eroded by various alterations undertaken since the late 1980’s.

3.0 THE PROPOSED SCHEME

Introduction

- 3.1 It is proposed to change the use of the ground and first floor of units 1 and 2 Warmair House from commercial (Class E) to residential (C3 use class) in order to create three residential self-contained maisonettes. The proposals will result in a slight increase in the overall floor area of the property from 256.7 sqm to 273 sqm, including storage for bins and cycles.
- 3.2 In order to ensure sufficient daylight and sunlight, new windows and doors apertures are proposed, thereby changing the location and configuration of existing external wall openings. The exterior walls will require insulation to provide thermal comfort and acceptable energy performance. For these reasons a completely new roof build up is required, replacing the corrugated metal with traditional slate tiles.
- 3.3 Planning permission is therefore sought for the alterations to the building; and prior approval for the change of use.

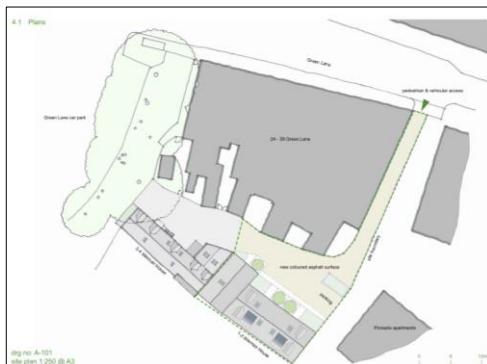


Figure 10: Block Plan



Figure 11: Existing frontage of 1-2 Warmair House

- 3.4 The scheme will create two no. 2 bed/4 person units of 82 and 82.5 sqm maisonettes and one no. 3 bed/5 person maisonette of 95.5 sqm. All units meet the London Plan minimum space standards. All dwellings will have ground floor external private amenity space.
- 3.5 The ridge line of the roof of number 1-2 Warmair House will be raised to match the elevation of 3-4 Warmair House, creating a usable first floor area. The existing metal corrugated roof would be replaced by slate tiles introduced to be consistent with 3-4 Warmair House. New windows, doors, and roof lights apertures will be introduced to provide access and adequate levels of natural ventilation and daylight. PV panels will be introduced on the south roof pitch.

- 3.6 In order to mitigate against the build-up of surface water permeable asphalt will be used and an area of private amenity will be introduced in front of the residential units which will contribute to the overall SUDS strategy.



Figure 12: Proposed Ground floor plan (with inset showing existing ground floor plan)

- 3.7 Two garden areas of 21 sqm and 24 sqm will be provided in front of the property and the scheme will incorporate planting opportunities which encourage different habitats for wildlife. The site will accommodate six cycle spaces and waste and recycling bins (one 1100l waste bin and one 1100 recycling bin). Two designated parking spaces will be provided. Vehicular access into the site will remain as existing, via a route from Green Lane.

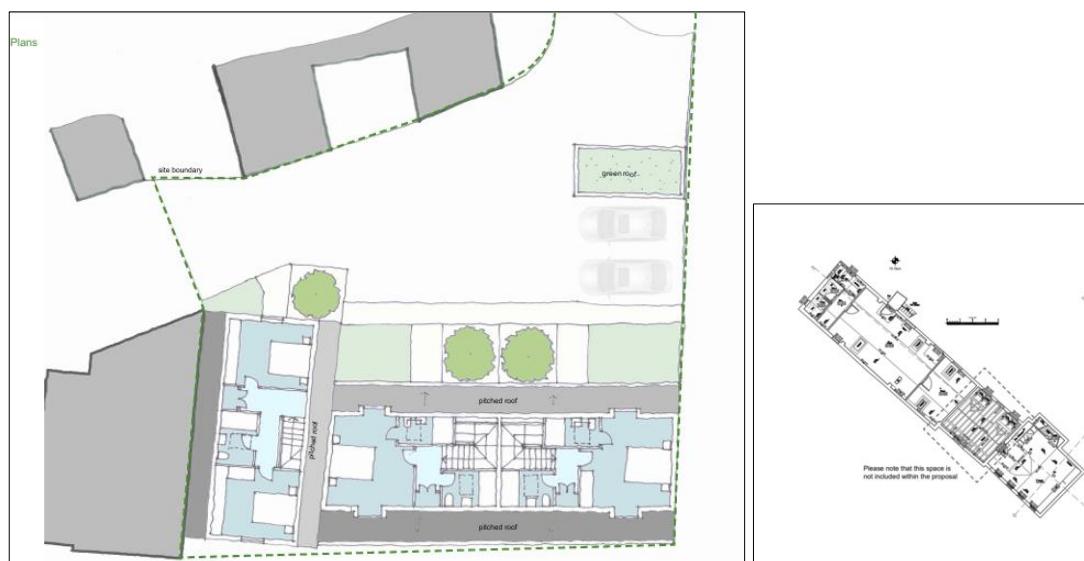


Figure 13: Proposed First floor plan (with inset showing existing first floor plan)



Figure 14: Proposed Roof Plan



Figure 15: Proposed North East Elevation



Figure 16: Comparison of proposed elevation with existing

3.8 As shown in the images above, alterations are proposed to the front elevation of the

building and within the roof to alter the arrangement of windows and doors and introduce new windows in the roof.

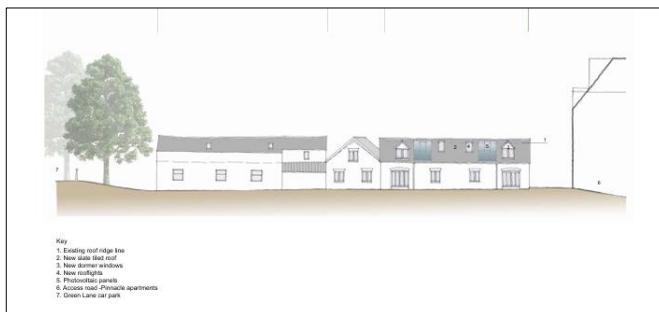


Figure 17: Proposed North West Gable

Comparison of Existing and Proposed Areas

3.9 The Table below shows the increase in floorspace proposed.

	Existing	Proposed
Ground Floor	172	172 plus 13sqm for refuse and cycles
First floor occupied space	45	108
First floor loft/storage space	38	
Total	255 sqm	293 sqm

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3.10 Planning permission is sought for the external alterations and slight increase in floorspace. The key changes comprise:

- the introduction of new external doors and windows;
- the replacement of external doors, roller shutters and windows;
- the replacement of the existing metal corrugated cladding with painted insulated brickwork to match the current yard elevation;
- the replacement of the existing corrugated metal roofing with a new insulated slate tiled roof supported by new timber trusses;
- the increase of the ridge line of the existing roof by 500mm;
- the introduction of a new first floor and internal staircases;
- new dormer windows and roof lights.
- new painted steel gutters and RWPs;
- PV panels on the south roof pitch;
- a new single storey enclosure with a green roof to accommodate storage of 6 cycles and waste and recycling bins; and
- external landscaped areas and two designated parking spaces.

3.11 Further details are provided in the submitted Design and Access Statement.

Prior Approval

- 3.12 Prior approval is sought for the change of use from Class E to Class C3, under Class MA of the Town and Country Planning (General Permitted Development) 2015 Order. The proposed change would allow for the creation of three maisonette dwellings in the slightly enlarged/altered building, following the grant of planning permission.

4.0 PLANNING POLICY

Statutory Development Plan

- 4.1 The Statutory Development Plan is the London Plan (2021) and the Hillingdon Local Plan, which comprises the Local Plan Part 1: Strategic Policies (2012); and the Local Plan Part 2: Development Management Policies (2020) and Site Allocations and Designations (2020). The National Planning Policy Framework (2023) provides a material consideration.

National Planning Policy Framework (2024)

- 4.2 The NPPF (2024) sets out the Government's requirements for the planning system only to the extent that it is relevant, proportionate and necessary to do so. Central to the NPPF is a presumption in favour of sustainable development, which involves achieving the three overarching objectives of providing an economic benefit, a social benefit and an environmental benefit.
- 4.3 Chapter 5 of the NPPF (Delivering a sufficient supply of homes) states at paragraph 61 that “*...it is important that a sufficient amount and variety of land can come forward where it is needed, that the needs of groups with specific housing requirements are addressed and that land with permission is developed without unnecessary delay.*” Additionally, paragraph 64 states that “*where a need for affordable housing is identified, planning policies should specify the type of affordable housing required...*” Additionally, paragraph 63 adds “*...the size, type and tenure of housing needed for different groups in the community should be assessed and reflected in planning policies.*”
- 4.4 Chapter 11 (Making effective use of land) notes at paragraph 124 that “*planning policies and decisions should promote an effective use of land in meeting the need for homes and other uses...; and*” paragraph 125 states that “*planning policies and decisions should..(c) give substantial weight to the value of using suitable brownfield land within settlements for homes and other identified needs..*”
- 4.5 Chapter 12: Achieving Well-Designed Places establishes national policy guidance on the design of the built environment. Paragraph 135 notes that “*Planning policies and decisions should ensure that developments a) will function well and add to the overall quality of the area..; b) are visually attractive..; c) are sympathetic to local character and history..; d) establish or maintain a strong sense of place..; e) optimise the*

potential of the site..; and f) create places that are safe, inclusive and accessible..

- 4.6 Section 16 of the NPPF deals with conserving and enhancing the historic environment. Paragraph 203 states that “*in determining applications, local planning authorities should take account of: a) the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation; b) the positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality; and c) the desirability of new development making a positive contribution to local character and distinctiveness.*”

London Plan (2021)

- 4.7 The London Plan 2021 is the Spatial Development Strategy for Greater London and sets out a framework for how London will develop over the next 20-25 years and the Mayor’s vision for Good Growth. Local Plans are required to be in ‘general conformity’ with the London Plan.
- 4.8 Policy D3: Optimising site capacity through the design-led approach requires all development to make the best use of land by following a design-led approach that optimises the capacity of sites but responds to a site’s context and capacity for growth, and existing and planned supporting infrastructure capacity.
- 4.9 Part C of Policy HC1: Heritage conservation and growth states that “*development proposals affecting heritage assets, and their settings, should conserve their significance, by being sympathetic to the assets’ significance and appreciation within their surroundings. The cumulative impacts of incremental change from development on heritage assets and their settings should also be actively managed. Development proposals should avoid harm and identify enhancement opportunities by integrating heritage considerations early on in the design process.*”
- 4.10 Policy D6: Housing quality and standards) requires housing developments to provide adequately designed rooms with functional layouts without differentiating between tenures.
- 4.11 Policy H1: Increasing Housing Supply states that in order to ensure that the ten-year housing targets are met, boroughs should optimise the potential for housing delivery on all suitable brownfield sites.

London Borough of Hillingdon Local Plan

- 4.12 Part 1 of the Local Plan comprises Strategic Policies and was adopted in 2012 and provides the Vision for the borough up to 2026. Part 2 incorporates the Development Policies and Site Allocations and Designations and was adopted in January 2020.
- 4.13 The Local Plan Proposals Map shows that the site is within the Town Centre Boundary of the Green Lane Northwood District Town Centre and within the Northwood Town Conservation Area. The Development Management Policies in Part 2 of the Plan identify that 24-38 Green Lanes is within the Primary Shopping Area of the town centre.

Local Plan Part 1: Strategic policies

- 4.14 Policy H1: Housing Growth states that the Council will meet and exceed its minimum strategic dwelling requirement, where this can be achieved, in accordance with other Local Plan policies.
- 4.15 Policy BE1: Built Environment requires all new development to improve and maintain the quality of the built environment in order to create successful and sustainable neighbourhoods.

Local Plan Part 2

- 4.16 Policy DMHB 1: Heritage Assets expects development proposals to avoid harm to the historic environment. Part A of the policy notes that development that has an impact on heritage assets will only be supported where it sustains and enhances the significance of the heritage assets and puts them into viable uses consistent with their conservation; will not lead to a loss of significance or harm to an asset, unless it can be demonstrated that it will provide public benefit that would outweigh the harm or loss; makes a positive contribution to the local character and distinctiveness of the area; is sympathetically designed and would relate appropriately in terms of siting, style, scale, massing, height, design and materials; would not compromise its setting; and incorporates opportunities to conserve or enhance the setting.
- 4.17 In regard to Conservation Areas, Policy DMHB 4: Conservation Areas requires new development to preserve or enhance the character or appearance of the area; and make a positive contribution to the local character and distinctiveness of the Conservation Area
- 4.18 Part A of Policy DMHB 11: Design of New Development requires all development to

be designed to the highest standards and incorporate principles of good design, taking account of the local context (including height, mass, bulk and building lines) and architectural detailing; and ensuring the use of high-quality building materials and finishes; protecting features of positive value and heritage assets; and enhancing amenity, biodiversity and green infrastructure.

General Permitted Development Order

- 4.19 Under the Town and Country Planning (General Permitted Development (England) Order 2015, as amended, certain works can be undertaken without the need for planning permission, "permitted development rights".
- 4.20 Class MA of Part 3 (changes of use) of Schedule 2 to the GPDO allows a change of use of a building and any land within its curtilage from Class E (commercial, business and service) to a use falling within Class C3 (dwellinghouses).
- 4.21 Prior approval is required from the Ipa and the following matters can be considered:
- Transport impacts including safe site access;
 - Contamination in relation to the building;
 - Flooding risks relating to the building;
 - Impacts of noise from commercial premises;
 - Provision of adequate natural light to all habitable rooms;
 - The impact of the development for future residents from the introduction of residential use in an area considered important for industrial, waste management, storage and distribution uses;
 - Where development involves loss of services by a registered nursery or health centre, what impact that loss of service would be; and
 - Fire risk considerations.
- 4.22 As of 5 March 2024, Article 3 of this Order amended Class MA to remove the requirement that a building must have been vacant for a continuous period of at least 3 months immediately prior to the date of an application for prior approval. Additionally, Class MA was amended to remove the floorspace upper limit for buildings changing use under the right. An extract from the GPDO is contained at Appendix 1 of this Planning Statement.

Use Classes Order

- 4.23 The Town and Country Planning (Use Classes) (Amendment) (England) Regulations 2020 introduced new use classes from 1 September 2020.
- 4.24 Class E as defined in the Use Classes Order as Commercial, Business and Service

Use, or part use, for all or any of the following purposes:

- a) Shop other than for the sale of hot food;
- b) Food and drink which is mostly consumed on the premises;
- c) the following kinds of services principally to visiting members of the public i. financial services ii. professional services (other than medical services) iii. any other services which it is appropriate to provide in a commercial, business or service locality;
- d) Indoor sport and recreation (not swimming pools, ice rinks or motorised vehicles or firearms);
- e) Medical services not attached to the residence of the practitioner;
- f) Non-residential creche, day centre or nursery; and
- g) i) office ii) the research and development of products or processes or iii) any industrial process, (which can be carried out in any residential area without causing detriment to the amenity of the area)

4.25 An extract from The Town and Country Planning (Use Classes) (Amendment) (England) Regulations 2020 is set out at Appendix 2 of this Planning Statement.

Article 4 Direction

4.26 On 14 July 2022, Hillingdon Council confirmed a non-immediate Article 4 Direction to remove permitted development rights to change from commercial, business and service uses to dwellinghouses in specific areas of the borough including primary shopping areas, such as Northwood. Whilst the land fronting onto Green Lane is included in the primary shopping area, the application site is excluded as shown on the Map in Appendix 3 of this Planning Statement.

5.0 ASSESSMENT

Introduction

- 5.1 In this Section of the Planning Statement, consideration is given to (i) the case for granting planning permission for the proposed external alterations to the property; and (ii) the conditions set out in Schedule 2 Part 3 Class MA of the Town and Country Planning (General Permitted Development) Order 2020.

Works requiring planning permission

- 5.2 Planning permission is sought for the alterations to the roof and external elevations.
- 5.3 It is proposed to raise the ridge line of the roof of number 1-2 Warmair House to match that of 3-4 Warmair House. The existing metal corrugated roof would be replaced by slate tiles to match those of number 3-4 Warmair House.
- 5.4 Alterations to the roof profile will also ensure appropriate floor to ceiling heights for habitable rooms, in accordance with London Plan standards. The proposed internal layout will also ensure that the proposed residential units will meet space standards.
- 5.5 It is proposed to introduce new windows, doors and roof lights apertures in order to make the property more accessible and to increase the level of daylight and natural ventilation to all rooms. PV panels will be introduced on the south roof pitch.
- 5.6 The proposed alterations will improve the appearance of the existing property and enhance the character of this part of the conservation area.

Prior Approval Application

- 5.7 An assessment of the proposed change of use has been carried out in accordance with the guidance in the GPDO.

Criteria where development is not permitted under Class MA-1

Criteria where development is not permitted	Met/ not met	Comment
a) unless the building has been vacant for a continuous period of at least 3 months immediately prior to the date of the application for prior approval	N/A	This requirement was deleted on 5 March 2024.
b) unless the use of the building fell within one or more of the classes specified in sub paragraph (2) for a continuous period	Met	The building has been in commercial/industrial use or more than two years.

of at least 2 years prior to the date of the application for prior approval;		
c)if the cumulative floor space of the existing building changing use under Class MA exceeds 1,500 square metres;	N/A	This requirement was deleted on 5 March 2024.
d)if land covered by, or within the curtilage of, the building— (i)is or forms part of a site of special scientific interest; (ii)is or forms part of a listed building or land within its curtilage; (iii)is or forms part of a scheduled monument or land within its curtilage; (iv)is or forms part of a safety hazard area; or (v)is or forms part of a military explosives storage area;	Met	The land is none of these.
(e)if the building is within— (i)an area of outstanding natural beauty; (ii)an area specified by the Secretary of State for the purposes of section 41(3) of the Wildlife and Countryside Act 1981; (iii)the Broads; (iv)a National Park; or (v)a World Heritage Site;	Met	The building is not within any of these.
(f)if the site is occupied under an agricultural tenancy, unless the express consent of both the landlord and the tenant has been obtained;	Met	The site is not occupied under an Agricultural Tenancy.
(g)before 1 August 2022, if— (i)the proposed development is of a description falling within Class O of this Part as that Class had effect immediately before 1st August 2021; and (ii)the development would not have been permitted under Class O immediately before 1st August 2021 by virtue of the operation of a direction under article 4(1) of this Order which has not since been cancelled in accordance with the provisions of Schedule 3.	Met	Class O does not apply.

5.8 The current proposals therefore meet the criteria set out in MA-1.

Other Matters set out in Section MA-2

5.9 The following paragraphs assess the proposed development against criteria (a) to (i) in Part MA-2 of the GPDO.

(a) Transport and highways impacts of the development

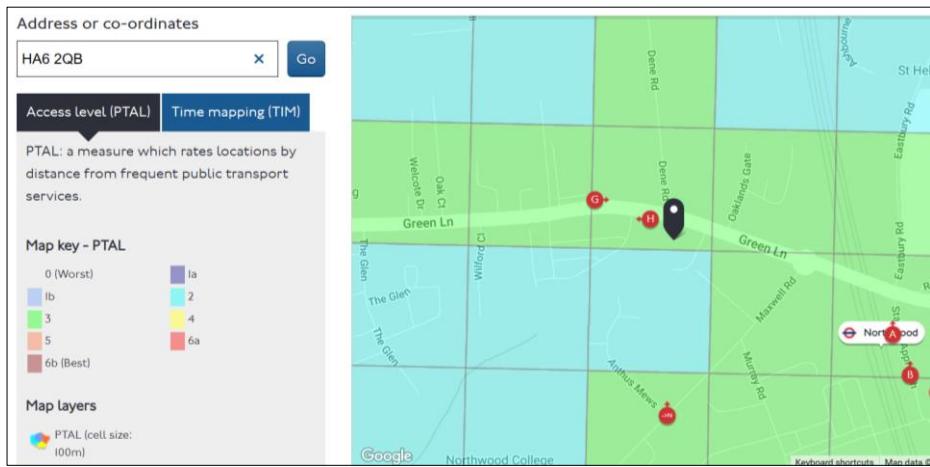


Figure 18: Site PTAL

- 5.10 The application site has a PTAL of 3 (good). The site is well located in terms of shops, services and facilities within the Northwood Town Centre and has good public transport accessibility, with a bus stop on Green Lane adjacent to the site and a range of bus services linking the site to Ealing, Golders Green, Ruislip and Harrow, amongst other places. In addition, Northwood Station located within 200 metres. A recent Parking Survey has identified a good level of parking availability within the adjoining Green Lane car park. Six cycle parking will be provided within the scheme in accordance with London Plan standards. Two car parking spaces will be provided within the eastern part of the application site, thereby reducing the number of parking spaces on site, and as a result there will be less vehicle trips into the site and less impact on the local highway network.

Contamination risks in relation to the building,



Figure 19: Site Context

5.11 Warmair House has been in use for a mix of light industrial and commercial uses for many years. There is no evidence of heavy industry or polluting industries operating from the site, which comprises a number of light industrial and commercial properties located around a yard area which is used for parking. A recent survey of the building identified some maintenance issues including damp and mould which will be rectified as part of the improvements works. Therefore, it is considered that the risk of contamination is very low.

(c) Flooding risks in relation to the building,

5.12 The application site is located within Flood Zone 1 and has a low probability of flood risk from rivers or the sea.

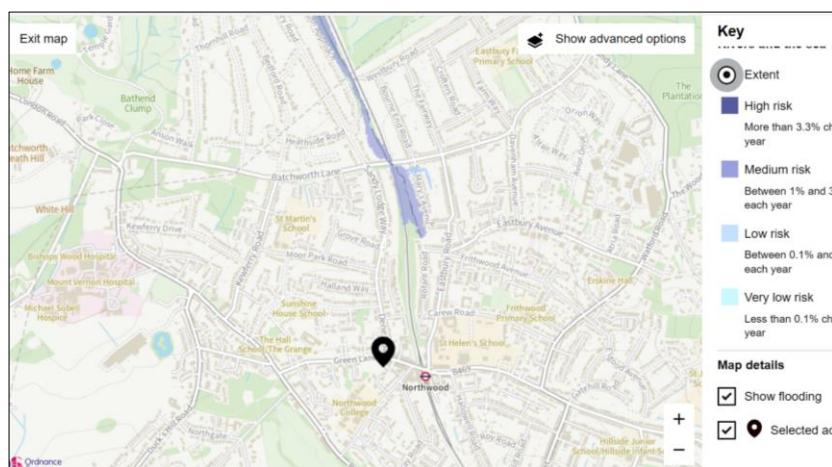


Figure 20: Flood Risk from Rivers and Sea (Source www.gov.uk)

5.13 The site has a medium to high risk of flooding from surface water due to the low-lying nature of this part of the site and in order to mitigate this, the communal amenity space will also function as a SUDS feature or rain garden.

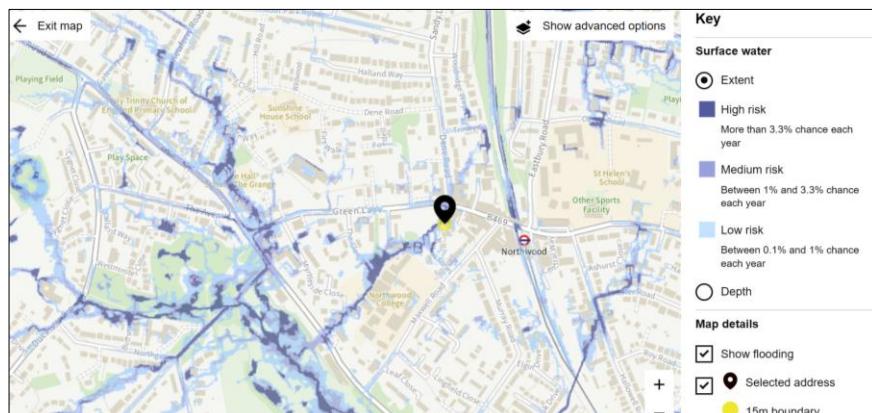


Figure 21: Flood Risk from Surface Water (Source www.gov.uk)

5.14 The proposal will not involve any significant external alterations to the existing building and therefore it is not anticipated that the risk of flooding will increase on or off site as a result of the proposed works.

(d) Impacts of noise from commercial premises on the intended occupiers of the development

5.15 Warmair House is not located in a designated employment area and there are no noisy commercial or industrial uses near to the application site. There are existing residential properties to the south and east of the application site, and to the north, the upper floors of the commercial units on Green Lane are in residential use. The commercial properties on Green Lane are separated from the site by single storey extensions and the servicing of the Green Lane retail/restaurant uses is done on street from Green Lane, so it is not anticipated that there would be any noise from these into the site. Modifications will be made to the fabric of the building internally to ensure that adequate noise insulation is provided as required by the Building Regulations.

(e) where— (i) the building is located in a conservation area, and (ii) the development involves a change of use of the whole or part of the ground floor, the impact of that change of use on the character or sustainability of the conservation area;

5.16 The application site is within the Northwood Town Centre Conservation Area and number 1-2 Warmair House is identified in the Conservation Area Appraisal as making a positive contribution to the conservation area. The proposed change of use to residential will provide an opportunity to repair and enhance the property, thereby making a more positive contribution to the appearance of the conservation area.

5.17 Warmair House is not within the Town Centre designation, although properties fronting onto Green Lane are. Due to the location of the building at the rear of the site, it is not a building that provides an active frontage and the change of use of the ground floor to residential will not have an impact on the character or sustainability of this part of the conservation area.

(f) The provision of adequate natural light in all habitable rooms of the dwellinghouses



Figure 22: Existing front and rear elevations of Warmair House

- 5.18 In order to ensure that Number 1-2 Warmair House has adequate natural light, planning permission is being sought separately from the prior approval application for alterations to the existing apertures and the introduction of additional windows in the roof. A Daylight/Sunlight assessment has been undertaken by CPM Surveying which has confirmed that adequate natural light will be available in all of the habitable rooms.
- 5.19 The Assessment was undertaken in accordance with the 2022 (3rd Edition) Building Research Establishment's 'Site Layout Planning for Daylight and Sunlight - A Guide to Good Practice' (The BRE Guide) and BS EN 17037:2018. In terms of daylight, the results show that all rooms except for one living, kitchen, dining (LKD) room (R4) at ground floor level will meet the SDA standard. However, this room has a lux over 170, which is above the standard for a living or dining room. In an urban location this is considered to be appropriate for a combined LKD on the basis that such rooms in flats are primarily used as living rooms. In regard to sunlight, the LKD rooms meet or exceed the BRE recommendations for sunlight exposure.
- (g) The impact on intended occupiers of the development of the introduction of residential use in an area the authority considers to be important for general or heavy industry, waste management, storage and distribution, or a mix of such uses**
- 5.20 The site is not allocated as an employment site in the Hillingdon Local Plan and there is no realistic prospect of the land being used for general or heavy industry or waste management or storage/distribution on a large scale due to its location within the Northwood Town Centre, adjacent to residential uses and the narrow vehicular access into the site from green Lane.
- (h) Where the development involves the loss of services provided by— (i)a registered nursery, or (ii)a health centre maintained under section 2 or 3 of the National Health Service Act 2006, the impact on the local provision of the type of services lost**

5.21 Warmair House has not been used as a registered nursery or health centre. A previous use of the premises as an office for Northwood Nursing Home Care did not form part of a health centre maintained under section 2 or 3 of the NHS Act 2006.

(i) Where the development meets the fire risk condition, the fire safety impacts on the intended occupants of the building

5.22 The proposed residential units within 1-2 Warmair House will be on two floors, with two internal staircases. Any necessary alterations will be made to ensure that the property meets current Building Regulations for fire safety.

6.0 SUMMARY AND CONCLUSION

- 6.1 This Planning Statement supports a planning application for alterations to the external appearance of the building at 1-2 Warmair House; and a prior approval application for the change of use of the property from Class E to Class C3.
- 6.2 Firstly, in order to ensure that the three proposed residential properties meet London Plan standards and have adequate daylight, **planning permission** is sought for alterations to the property comprising
- 6.3 1-2 Warmair House is identified as positive contributor within the Northwood Town Centre Conservation Area. However, the building has been badly compromised through alterations and piecemeal accretions and moreover is in a poor physical condition. The proposed works to 1-2 Warmair House will ensure that the building is of a suitable quality to convert to residential use, with homes that meet London Plan standards. There are no proposals to materially extend the property, except through the introduction of dormer windows which will result in an increase of sqm.
- 6.4 It is considered that the proposed alterations to the elevations will enhance the property and the appearance of this part of the Conservation Area.
- 6.5 Secondly, **prior approval** is sought under Schedule 2 Part 3 Class MA of the Town and Country Planning (General Permitted Development) 2015 Order, as amended, for the change of use of 1-2 Warmair House, Green Lane from Class E (commercial) to Class C3 (residential) in order to provide three residential units. The units meet national planning space standards and, as demonstrated by the daylight/sunlight assessment carried out, will receive adequate daylight. The change of use of the property will not impact on the activities of any nearby commercial premises.
- 6.6 It is considered that following the external alterations which are subject to a separate planning application, the site meets the requirements set out under MA-1 of the GPDO and the Assessment in Section 5 of this Statement demonstrates that the proposed change of use meets the criteria set out in MA-2.

APPENDICES

Appendix 1: Schedule 2 Part 3 Class MA of the Town and Country Planning (General Permitted Development) 2015 Order, as amended

Permitted development

MA. *Development consisting of a change of use of a building and any land within its curtilage from a use falling within Class E (commercial, business and service) of Schedule 2 to the Use Classes Order to a use falling within Class C3 (dwellinghouses) of Schedule 1 to that Order.*

Development not permitted

MA.1.—(1) Development is not permitted by Class MA—

- (a) unless the building has been vacant for a continuous period of at least 3 months immediately prior to the date of the application for prior approval;
- (b) unless the use of the building fell within one or more of the classes specified in subparagraph (2) for a continuous period of at least 2 years prior to the date of the application for prior approval;
- (c) if the cumulative floor space of the existing building changing use under Class MA exceeds 1,500 square metres;
- (d) if land covered by, or within the curtilage of, the building—
 - (i) is or forms part of a site of special scientific interest;
 - (ii) is or forms part of a listed building or land within its curtilage;
 - (iii) is or forms part of a scheduled monument or land within its curtilage;
 - (iv) is or forms part of a safety hazard area; or
 - (v) is or forms part of a military explosives storage area;
- (e) if the building is within—
 - (i) an area of outstanding natural beauty;
 - (ii) an area specified by the Secretary of State for the purposes of section 41(3) of the Wildlife and Countryside Act 1981;
 - (iii) the Broads;
 - (iv) a National Park; or
 - (v) a World Heritage Site;

(f) if the site is occupied under an agricultural tenancy, unless the express consent of both the landlord and the tenant has been obtained; or

(g) before 1 August 2022, if—

(i) the proposed development is of a description falling within Class O of this Part as that Class had effect immediately before 1st August 2021; and

(ii) the development would not have been permitted under Class O immediately before 1st August 2021 by virtue of the operation of a direction under article 4(1) of this Order which has not since been cancelled in accordance with the provisions of Schedule 3.

(2) The classes mentioned in sub-paragraph (1)(b) are the following classes of the Use Classes Order—

(a) the following classes of the Schedule as it had effect before 1st September 2020—

(i) Class A1 (shops);

(ii) Class A2 (financial and professional services);

(iii) Class A3 (food and drink);

(iv) Class B1 (business);

(v) Class D1(a) (non-residential institutions – medical or health services);

(vi) Class D1(b) (non-residential institutions – crèche, day nursery or day centre);

(vii) Class D2(e) (assembly and leisure – indoor and outdoor sports), other than use as an indoor swimming pool or skating rink;

(b) on or after 1st September 2020, Class E (commercial, business and service) of Schedule 2.

Conditions

MA.2.—(1) Development under Class MA is permitted subject to the following conditions.

(2) Before beginning development under Class MA, the developer must apply to the local planning authority for a determination as to whether the prior approval of the authority will be required as to—

(a) transport impacts of the development, particularly to ensure safe site access;

(b) contamination risks in relation to the building;

(c) flooding risks in relation to the building;

(d) impacts of noise from commercial premises on the intended occupiers of the development;

(e) where—

- (i) the building is located in a conservation area, and
- (ii) the development involves a change of use of the whole or part of the ground floor, the impact of that change of use on the character or sustainability of the conservation area;
- (f) the provision of adequate natural light in all habitable rooms of the dwellinghouses;
- (g) the impact on intended occupiers of the development of the introduction of residential use in an area the authority considers to be important for general or heavy industry, waste management, storage and distribution, or a mix of such uses;
- (h) where the development involves the loss of services provided by—
 - (i) a registered nursery, or
 - (ii) a health centre maintained under section 2 or 3 of the National Health Service Act 2006, the impact on the local provision of the type of services lost; and
- (i) where the development meets the fire risk condition, the fire safety impacts on the intended occupants of the building.

The Town and Country Planning (General Permitted Development) (England) (Amendment) Order 2024: Amendments to Schedule 2

Citation, commencement, extent and interpretation

- 1.—(1) This Order may be cited as the Town and Country Planning (General Permitted Development) (England) (Amendment) Order 2024 and comes into force on 5th March 2024.
- (2) This Order extends to England and Wales.

(3) In this Order, “the GPDO” means the Town and Country Planning (General Permitted Development) (England) Order 2015⁽²⁾.

Amendments to Schedule 2 (permitted development rights) to the GPDO

2. Schedule 2 to the GPDO is amended in accordance with article 3.

Amendments to Part 3 (changes of use)

- 3.—(1) Part 3 is amended as follows.

(2) In Class MA (commercial, business and service uses to dwellinghouses), in subparagraph (1) of paragraph MA.1—

- (a) omit paragraph (a);
- (b) omit paragraph (c).

Appendix 2

The Town and Country Planning (Use Classes) (Amendment) (England) Regulations 2020

Article 3 - SCHEDULE 2 - PART A Commercial, Business and Service

Class E. Commercial, Business and Service

Use, or part use, for all or any of the following purposes—

- (a)for the display or retail sale of goods, other than hot food, principally to visiting members of the public,
- (b)for the sale of food and drink principally to visiting members of the public where consumption of that food and drink is mostly undertaken on the premises,
- (c)for the provision of the following kinds of services principally to visiting members of the public—
 - (i)financial services,
 - (ii)professional services (other than health or medical services), or
 - (iii)any other services which it is appropriate to provide in a commercial, business or service locality,
- (d)for indoor sport, recreation or fitness, not involving motorised vehicles or firearms, principally to visiting members of the public,
- (e)for the provision of medical or health services, principally to visiting members of the public, except the use of premises attached to the residence of the consultant or practitioner,
- (f)for a creche, day nursery or day centre, not including a residential use, principally to visiting members of the public,
- (g)for—
 - (i)an office to carry out any operational or administrative functions,
 - (ii)the research and development of products or processes, or
 - (iii)any industrial process, being a use, which can be carried out in any residential area without detriment to the amenity of that area by reason of noise, vibration, smell, fumes, smoke, soot, ash, dust or grit.

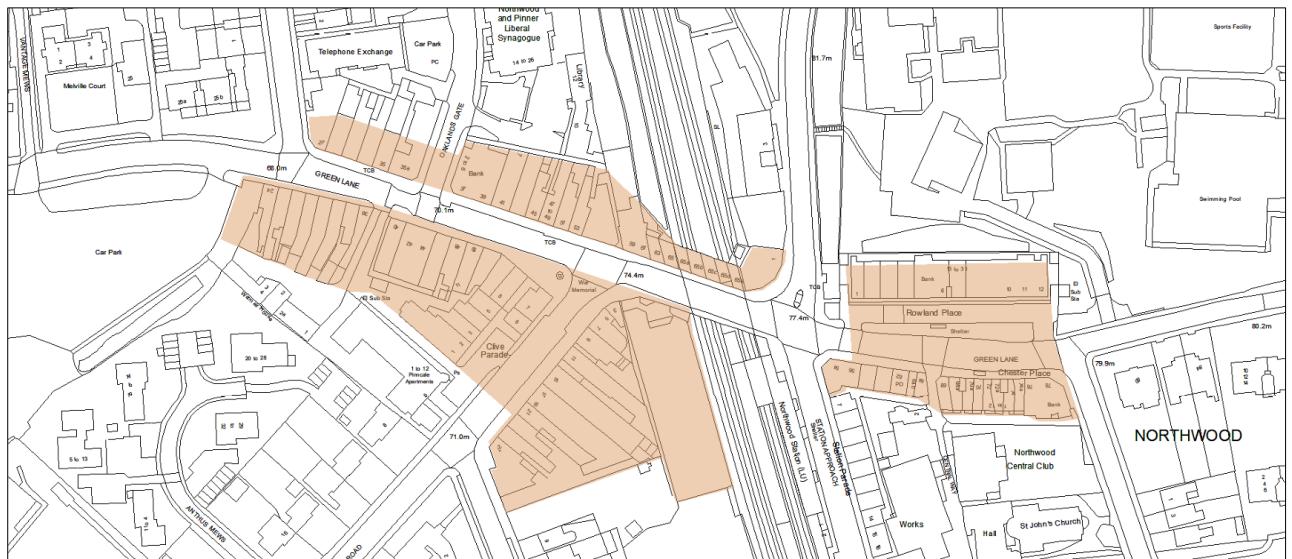
Appendix 3: Article 4 Direction: Changes of use from commercial, business and service uses to dwellinghouses

On 14 July 2022, Hillingdon Council confirmed a non-immediate Article 4 Direction to remove permitted development rights to change from commercial, business and service uses to dwellinghouses. This is the permitted development right covered by Class MA of Part 3 of Schedule 2 of the Town and Country Planning (General Permitted Development) Order. The Article 4 Direction came into force on 24 September 2022.

The Article 4 Direction in relation to Class MA applies in the following areas of the borough:

- office and hotel growth location
- locally significant employment locations
- Hayes opportunity area
- strategic industrial locations
- locally significant industrial sites
- primary and secondary shopping areas in metropolitan town centres
- primary and secondary shopping areas in district town centre
- primary and secondary shopping areas in minor town centres
- local centres
- local parades.

This type of development in these areas will require full planning permission. This is to ensure we can control and protect important areas of economic activity within the borough, including industrial areas and high streets. Where new residential development is proposed, it will continue to be subject to consideration against the policies in the Local Plan.



The extract from the Article 4 Direction Map shows that the buildings within the application site are not included within the primary shopping area (shaded brown).