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Design and Access Statement

2 storey Rear and Side extensions; Part Single storey Rear and side extensions; Loft conversion with 2 rear dormers; addition of 2 front dormers; 4 roof lights on the front slope of the roof; new front porch incorporated into part of the new front gable; and 4 new parking spaces in the frontcourt

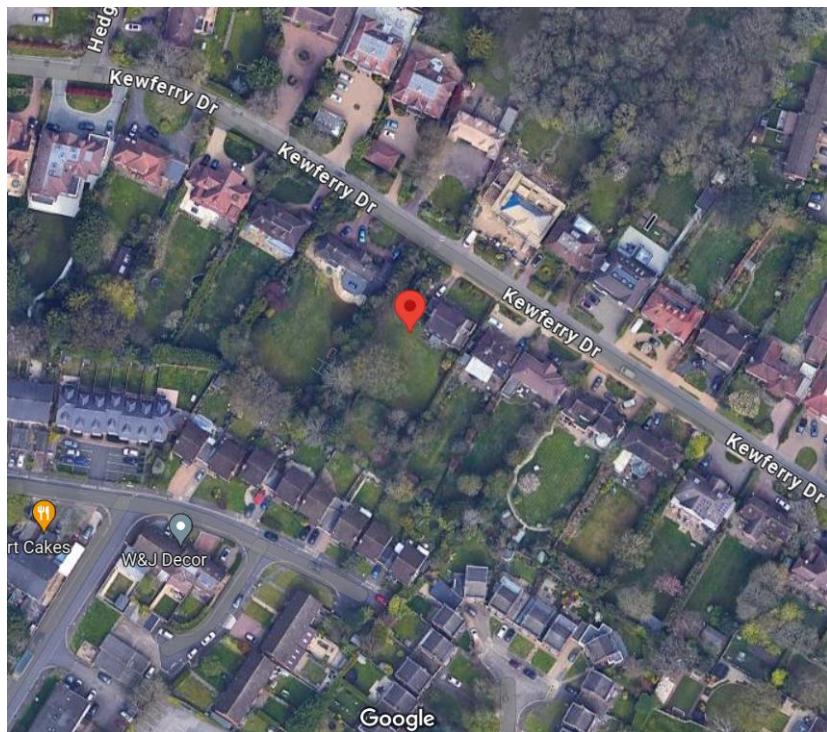
at

Langthwaite, 13 Kewferry Drive, Northwood, HA6 2NT

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OS MAP (Not to Scale)



Aerial Photo of Langthwaite, 13 Kewferry Drive, Northwood

1. Project Description

2 Storey Rear and Side extensions; Part Single Storey Rear and Side extensions; Loft conversion with 2 rear dormers; addition of 2 front dormers; 4 roof lights on the front slope of the roof; new front porch incorporated into part of the new front gable; and 4 new parking spaces in the front court.

2. Existing Site and Building

The property is situated on Kewferry Drive, a private residential road located on the north of Northwood Town Centre on the northern side of the Hillingdon Borough District.

The street scene is residential in character and appearance comprising large detached mainly period properties, with a few different architectural styles and features; some of them have been converted or extended substantially.

Most properties have trees and shrubs/hedges in their front gardens, albeit not all of them have TPOs.

The property at number 13 has rendered brickwork up to eaves/ridge level. The existing roof is of a 'Dutch barn/Gambrel' style with clay roof tiles and there are 3 dormer windows each on the front and rear elevations respectively. Timber-framed windows and doors (single glazing) throughout the property. 2 chimneys on the side elevations.

The property is situated at the west end of Kewferry Drive - a private road located north of Northwood Town Centre on the northern side of the Hillingdon Borough District.

The property is NOT within a Conservation Area; and it is not located within the Green Belt.



Fig. 1 Front elevation



Fig. 2 Rear elevation

3. Transport

The property is about 2.6 miles from Northwood Hills Underground Station (Metropolitan Line) providing access to Baker Street and the City; and about 2.8 miles from Rickmansworth Railway station. The M1, M40 and M25 motorways are also accessible.

4. The Project Brief and Proposed Design

The existing house comprises the following:

Ground Floor

Hallway, kitchen, bathroom, living room, dining room, study, and a conservatory at the rear of the house. There are 2 garages, one adjacent to the house, and another separate garage on the side (between numbers 13 & 15).

First Floor

4 bedrooms (3 double and 1 single), a bathroom, and a separate WC. The loft is unused at the moment. The property has been within the same family since the 1950s and has only recently been sold to the current owner.

It requires **complete modernization** (new wiring, double-glazed windows, new radiators/underfloor heating, new wall finishes and floor finishes etc.) throughout the property before the new owner can move in with their family.

The **proposed changes** comprise the following:

Ground floor

- To provide a new garage, new bedroom with ensuite and walk-in wardrobe, a new playroom, new a reception room, a new office, a new family bathroom, new temple, new utility room, new kitchen, new dining room, living room, and a breakout area (with the addition of Ground floor Rear and Side extensions); and a new front porch.

First Floor

-To provide 3 new bedrooms with ensuites and walk-in wardrobes, a laundry room, and a cinema and music room (with the addition of First Floor Rear and Side extensions)

Second Floor

-To provide 2 new bedrooms with ensuite and walk-in wardrobe (with the loft conversion)

The materiality of the proposed extensions/loft conversion will match that of the existing house i.e., rendered brickwork and clay roof tiles. This will ensure an aesthetic constancy is maintained with the neighbouring properties on Kewferry Drive.



Figure 1: View of Langthwaite from Kewferry Drive showing the proposed front and side elevations

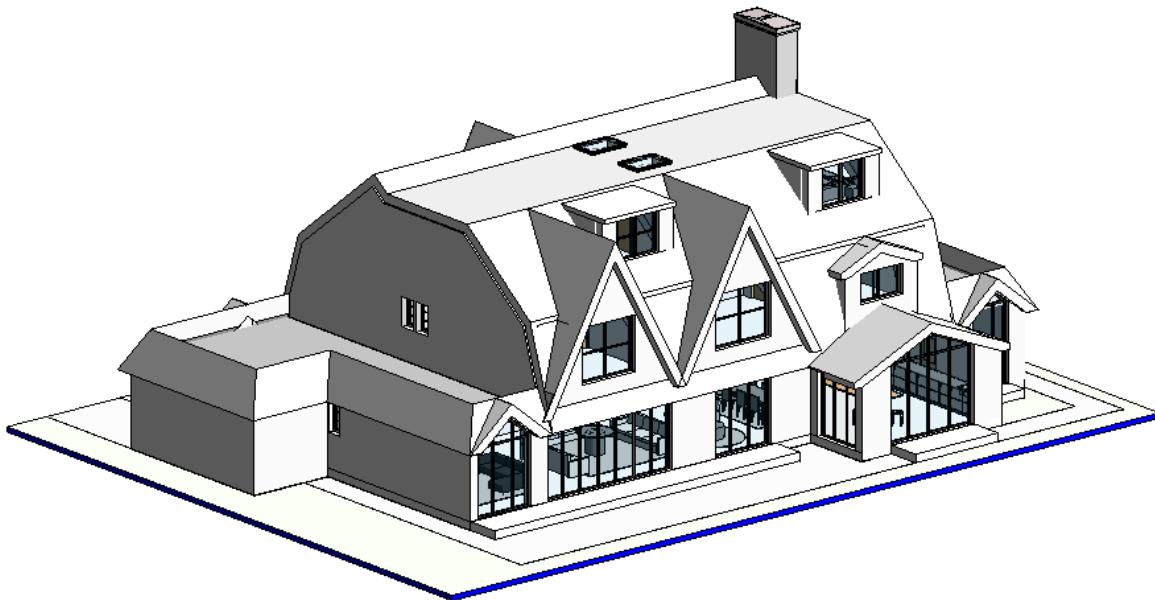


Figure 2: View 1 of Langthwaite showing rear and side elevations



Figure 3: View 2 of Langthwaite showing rear and side elevations

Consideration of the Proposal/impact on the character of the area

- i) The extensions will enhance the living space of the existing house.
- ii) The materials used to build the loft conversion will match the architecture of the main building.
- iii) Overlooking into neighbouring properties will be minimal.
- iv) All windows on side windows will be obscured as outlined in the HDAS SPD.
- v) The proposed dormer windows on the first floor will appear secondary to the size of the roof face, without creating a third-storey appearance.
- vi) The proposed 2-storey rear extension will not be more than 4m deep as outlined in the HDAS SPD
- vii) The proposed 2-storey side extension is integrated with the existing house, following the shape and profile of the existing roof.
- viii) There is a minimum of 2 metres from the proposed garage to the boundary line between numbers 13 & 15.

- ix) There will be no significant over-dominance, overshadowing, loss of outlook and daylight. The proposed first floor will not be extending beyond a 45-degree angle on both sides of the current house.
- x) All habitable rooms will receive adequate daylight and sunlight.
- xi) The property benefits from a large rear garden and adequate garden space would be retained.
- xii) The front garden provides ample parking, which would be unaffected, and still retains adequate off-street parking spaces by the proposed development.

Properties on the same road have received planning permission to carry out alterations and/or extensions of similar scale/style, here are some examples:

Greenacre, Kewferry Drive, Northwood, HA6 2NU

Part two storey, part single storey rear extension and conversion of roof space to habitable use to include 2 rear dormers and 2 front dormers and single storey outbuilding to rear.
(Ref: 25284/APP/2016/3443)

Wynchfield, 12 Kewferry Drive, Northwood, HA6 2PA

Single storey side/rear extension, two storey rear extension, canopy to front, conversion of attached garage to habitable use to include alterations to front elevation, and alterations of roof to existing side element. (Ref: 12182/APP/2018/3523)

White Ridges, 29 Kewferry Drive, Northwood, HA6 2PA

Part two storey, part single storey rear extension, conservatory to rear and conversion of roof space to habitable use to include 3 rear dormers and creation of basement (Ref: 26239/APP/2017/825)

Our proposal is not dissimilar to the above proposals in terms of size, proportion, and scale. Hence, we believe that the proposed alterations and extension will preserve and enhance the heritage asset of the original house, whilst improving the quality of space inside the property at the same time. We have proposed a high-quality design that look aesthetically pleasing and elegant, with large windows allowing sufficient daylight and sunlight into the house.

5. Landscaping

There are NO Tree Protection Orders to be observed.

According to records, there are no trees with Tree Protection Order in neighbouring properties.

6. Access

No changes to existing – access to the property remains the same.

7. Parking

There is currently a driveway in the front court which has **2** parking spaces.

There is on-street parking available on the road.

Emergency vehicles can access the property with no obstructions.

The proposed alterations will create **2 additional parking spaces** for the extended property. The provision of 'off-street parking' will not create extra demand for additional parking on the road.

8. Sustainability

All new construction will be executed to current standards for sustainability, and best practices will be followed in the procurement of all materials. All timber will be FSC-certified, all surface materials will have low VOCs. The external walls, windows, new roofs, and floors of the proposed extension will be designed to provide an effective thermal envelope as well as limit noise ingress.

9. Bin and Refuse Storage

The proposal will not impact the existing bin and refuse storage and will remain the same.

10. Planning Constraints

The site is **NOT** within a high flood risk area (**Flood Zone 1**).

The site is **NOT** classified as a '**Listed Building**'.

11. Relevant Planning Policy

Hillingdon Local Plan: Part One - Strategic Policies (November 2012).

Hillingdon Local Plan: Part Two: Saved UDP Policies (November 2012)

HDAS SPD: Residential Extensions (December 2008).



12. Conclusion

The proposed extensions and alterations will provide the extra space needed for the owner and their family. The current layout is limited and the entire interior needs modernisation throughout.

Our proposal seeks to improve the quality of life of the occupier, while preserving the original character of the property, to be in keeping to the architectural style of the other properties on the same road.

Therefore, we believe our proposal is acceptable for the grounds of a planning permission to be granted.

Prepared by The Market Design and Build

December 2023