

EXISTING GROUND FLOOR LAYOUT

Notes

All drawings to be signed off by building control before the commencement of any works. If works commence on a Building Notice, the Builder/property owner commences works at their own risk and ELA Design (or its Officer's) cannot accept and liability whatsoever for these works carried out.



Rev	Date	Details	By
A	26/10/23	Revision A	CE

Project: New first floor addition

Drawing: Existing Layout

Address: 60 Marlborough Avenue,
Ruislip, HA4 7NP

Drawing N°:	Rev:
ELA/1	A

A3 Scale:	Drawn By:	Job No:	Date:
1:100	CE	2802	26/10/23



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Beechcroft
Riverside Avenue
Broxbourne
Herts
EN10 6RA
Tel:- 07979510821



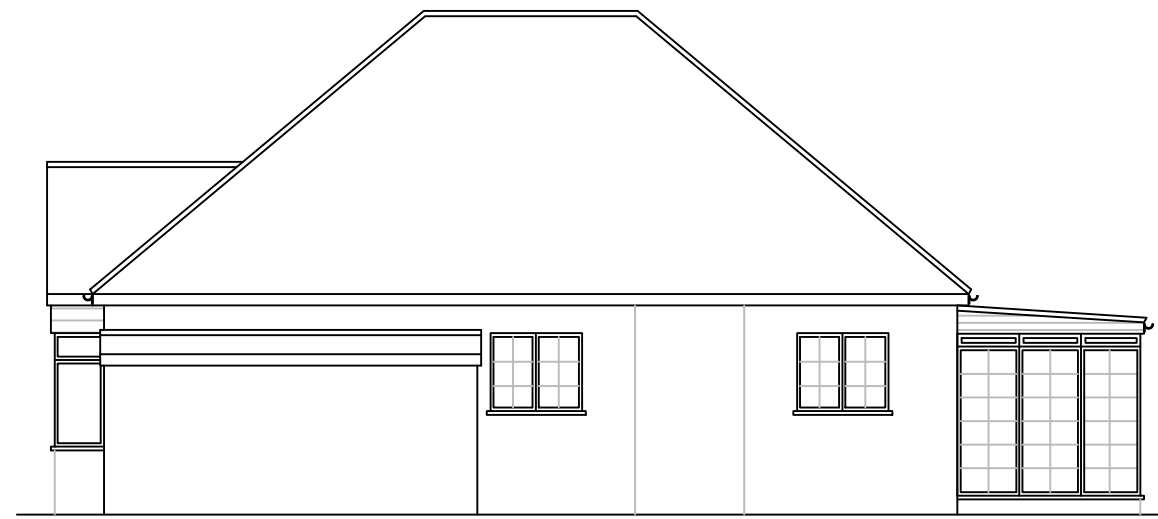
EXISTING FRONT ELEVATION



EXISTING SIDE ELEVATION



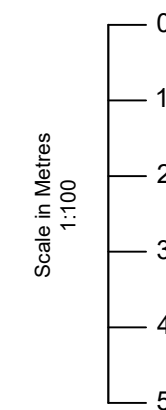
EXISTING REAR ELEVATION



EXISTING SIDE ELEVATION

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Rev	Date	Details	By
A	26/10/23	Revision A	CE

Project: New first floor addition

Drawing: Existing Elevations

Address: 60 Marlborough Avenue,
Ruislip, HA4 7NP

Drawing N°:	Rev:
ELA/2	A

A3 Scale:	Drawn By:	Job No:	Date:
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Beechcroft
Riverside Avenue
Broxbourne
Herts
EN10 6RA
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- Grade D2 Inter-linked Smoke detectors

[illegible]

Project: **New first floor addition**

Drawing: **Proposed Layout**

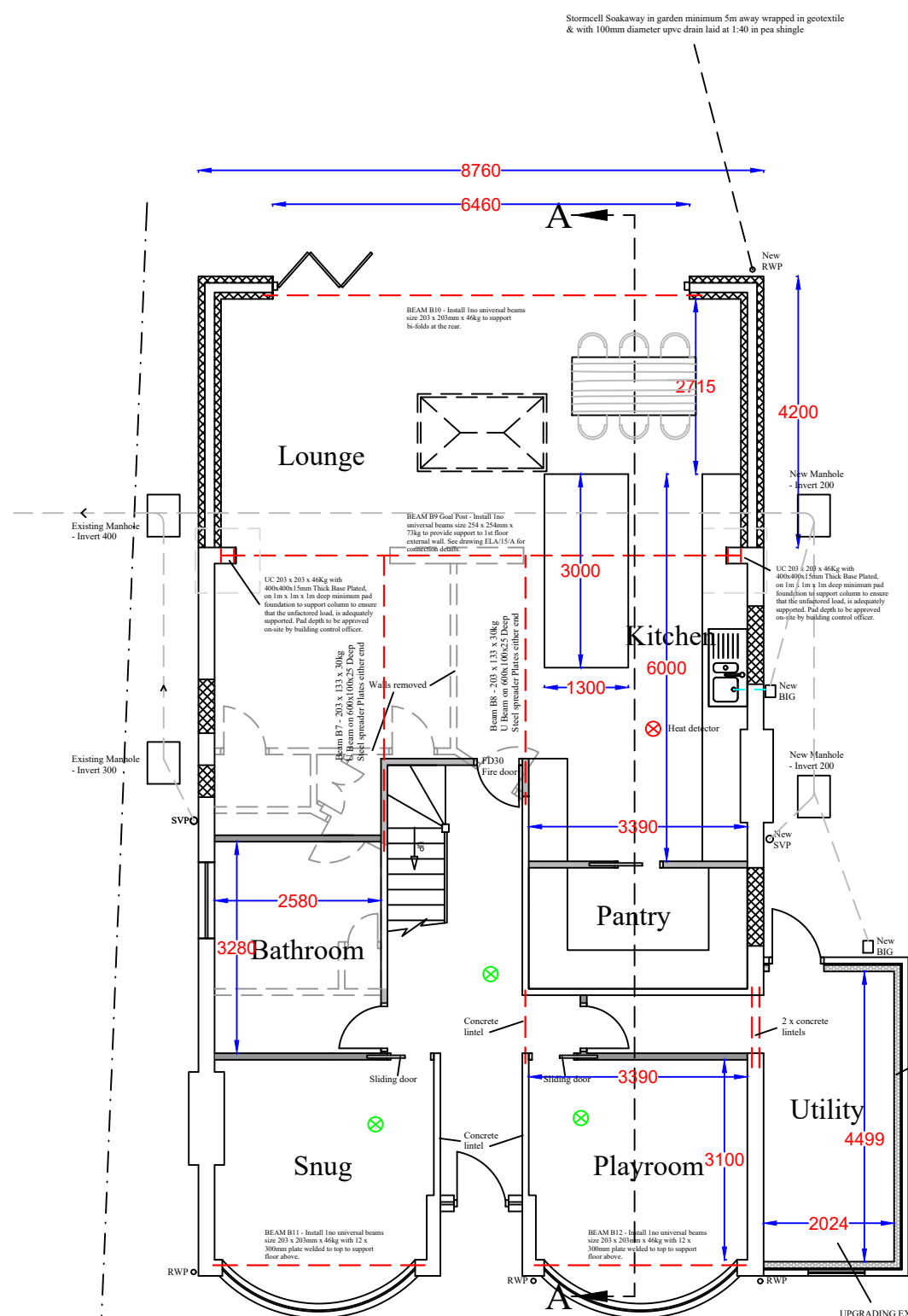
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60 Marlborough Avenue,
Ruislip, HA4 7NP

Drawing N°:	Rev:
ELA/3	B

A3 Scale:	Drawn By:	Job No:	Date:
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PROPOSED GROUND FLOOR LAYOUT

PARTIAL FILL CAVITY WALL WITH INTERNAL INSULATION
To achieve minimum U Value of 0.18 W/m²K
20mm top coat sand/cement render to comply to BS EN 13914-1 with waterproof additive on 100mm standard brick. Ensure a 50mm clear residual cavity and provide 50mm Celotex CW4000 insulation fixed to internal leaf constructed blockwork of 100mm, 0.45 W/m²K standard brick. Provide additional 52.5mm PIR insulated plasterboard internally e.g. Celotex PL4000, fixed using dot and dab method or battens.
Finish with plaster skim. Walls to be built with 1:1:6 cement mortar.
VCL to be provided under insulated plasterboard if required by BCO.

GARAGE EXTERNAL WALL UPGRADE To achieve minimum U Value of 0.30W/m²K Existing garage floor to be exposed and checked for integrity before the external wall is started. Prior to commencement of work and as required by the Building Control Officer, Construct an inner leaf of external studwork using 150mm x 50mm timber studs at 400mm centres. Head and foot plates to be noggled at 400mm centres ensuring a 50mm clear cavity between existing wall and new stud. Provide a breathable membrane on the existing wall, ensuring there is not more than 0.6 MNs/g on cavity side of studwork. Insulation between and over studs to be 90mm Kingspan Isotherm hot board. External wall to be PL4000 insulated plaster board with VCL over studs. Finish with 3mm skim coat of finishing plaster. All joints to be filled with a suitable filler. Seal the perimeter joints with tape internally and with silicon sealant externally. Provide a cavity tray at the base of the wall and at the top of the wall. Apply a 1.5mm polymer (hyalo) damp proof course to new leaf. Minimum 150mm above external ground level. New leaf may also be constructed using a concrete or precast concrete blockwork. Work may now proceed and working in existing wall. New DPC to be made continuous with floor DPM.

UPGRADING EXISTING SOLID FLOOR

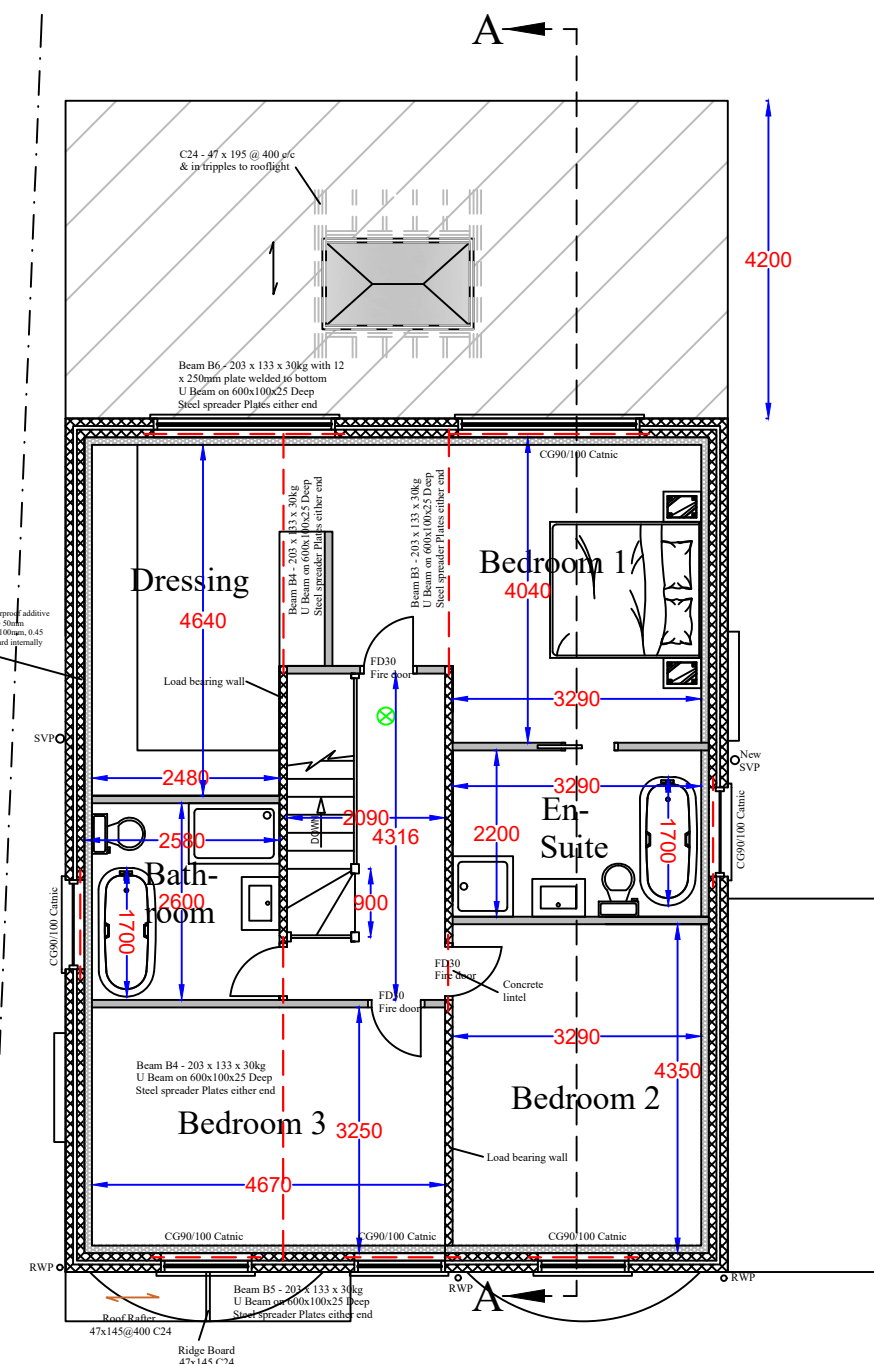
To meet min U value required of 0.18 W/m²/K

The existing solid floor slab must be checked for stability and be free from defects as required by Building Control.

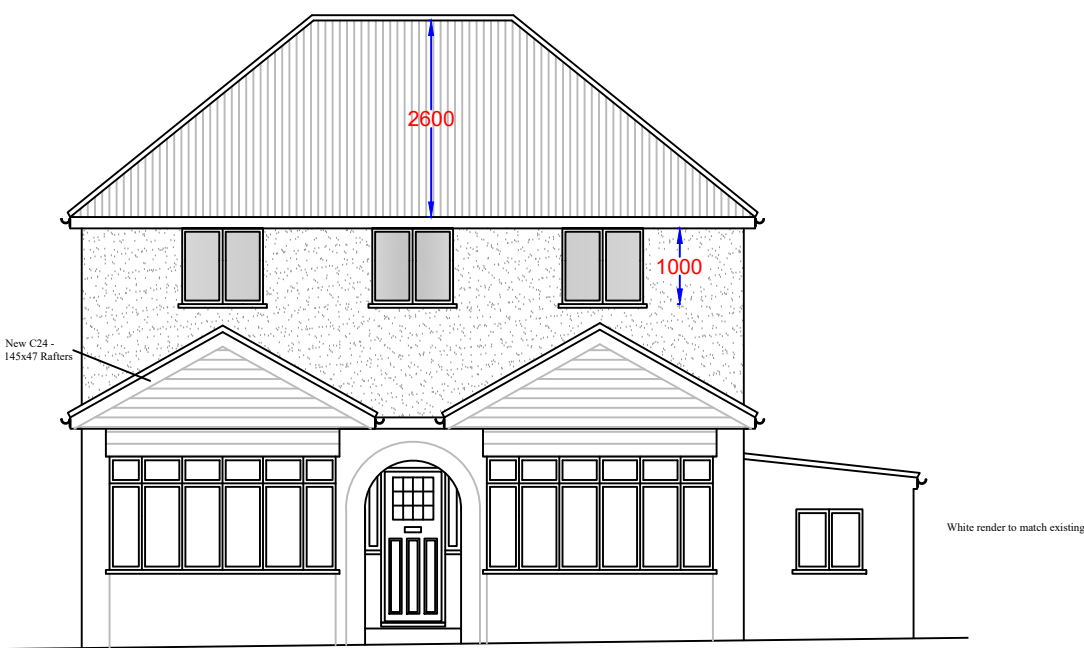
The existing floor will need upgrading to ensure

- The floor is structurally sound
- It is free from moisture problems
- Provide 1200 gauge polythene DPM or 3 coats RIV over existing concrete slab (if required). DPM to be lapped in with DPC in walls. Floor to be insulated over slab and DPM with min 90mm thick PIR insulation, e.g. Celotex G41400, 200mm thick, to provide U value of 0.18 W/m²/K
- Floor perimeter to avoid thermal bridging.

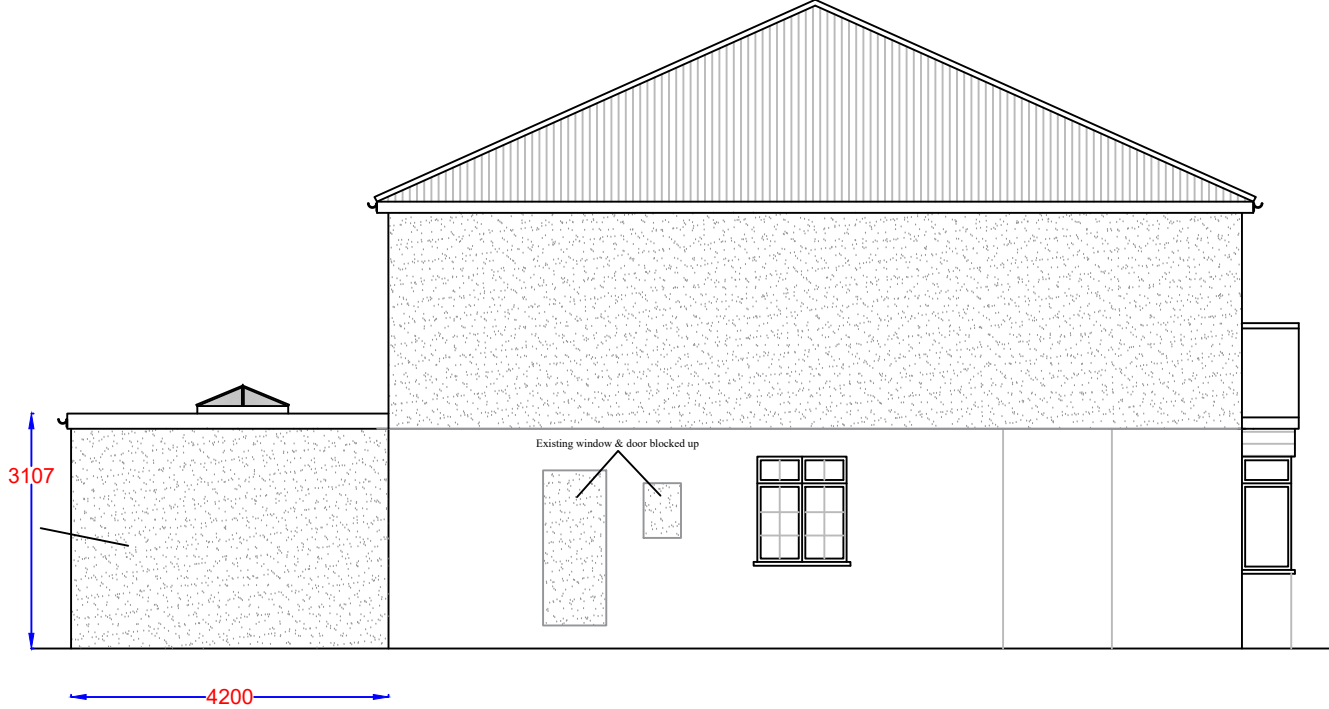
A VCL should be laid over the insulation boards and turned up 100mm at room perimeters behind the skirting, all joints to be taped with mastic and sealed. Finish with 65mm concrete screed and finishing with 12mm mesh reinforcement. Care should be taken to ensure any existing airbricks for the main house are not obstructed by this work. If so, they should be extended through the G41400 DPM and insulation to the underside of the floor concrete above. A142 mesh 1.0m wide and min 50mm concrete cover over length of drain. A lesser provision may be appropriate where meeting such a standard would create significant problems in relation to adjoining properties.



PROPOSED FIRST FLOOR LAYOUT



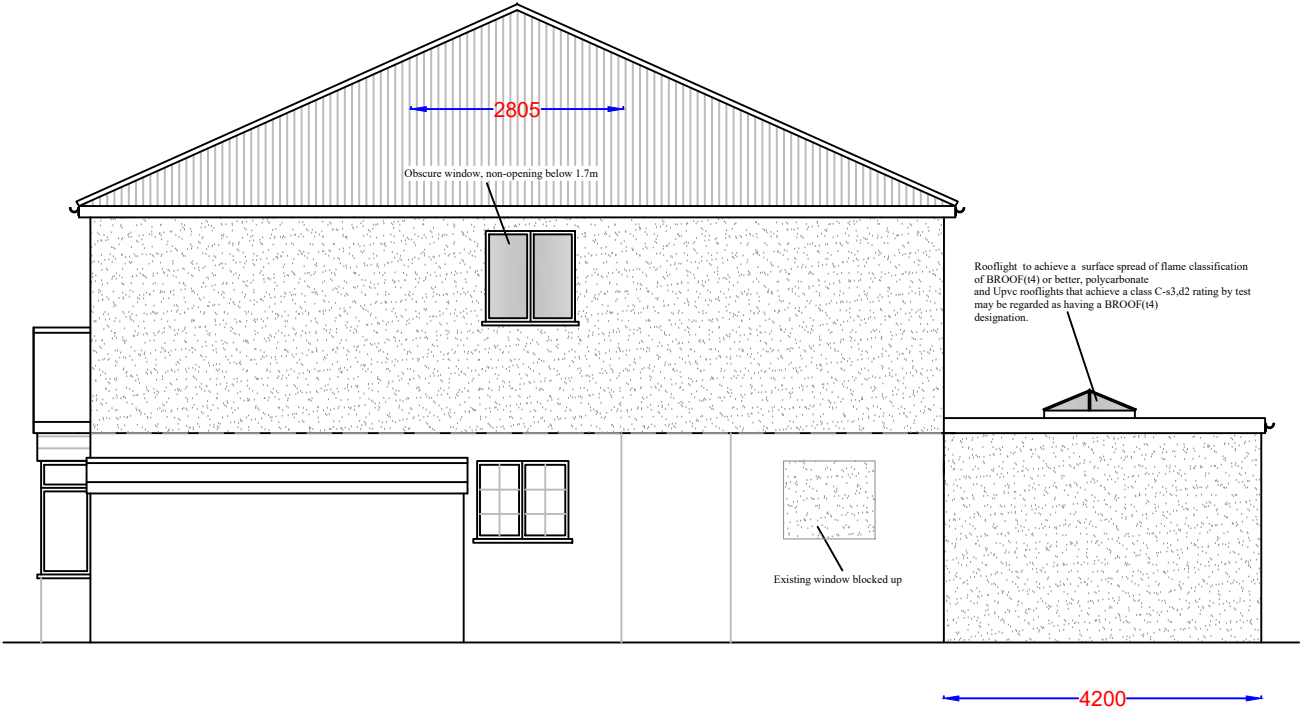
PROPOSED FRONT ELEVATION



PROPOSED SIDE ELEVATION



PROPOSED REAR ELEVATION



PROPOSED SIDE ELEVATION

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Rev	Date	Details	By
A	26/10/23	Revision A	CE
B	04/09/24	Revision B	CE

Project: New first floor addition

Drawing: Proposed Elevations

Address: 60 Marlborough Avenue, Ruislip, HA4 7NP

Drawing N°: ELA/4 Rev: B

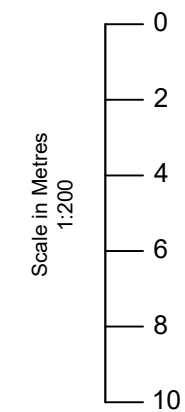
A3 Scale: 1:100 Drawn By: CE Job No: 2802 Date: 26/10/23



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Beechcroft
Riverside Avenue
Broxbourne
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EN10 6RA
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Notes

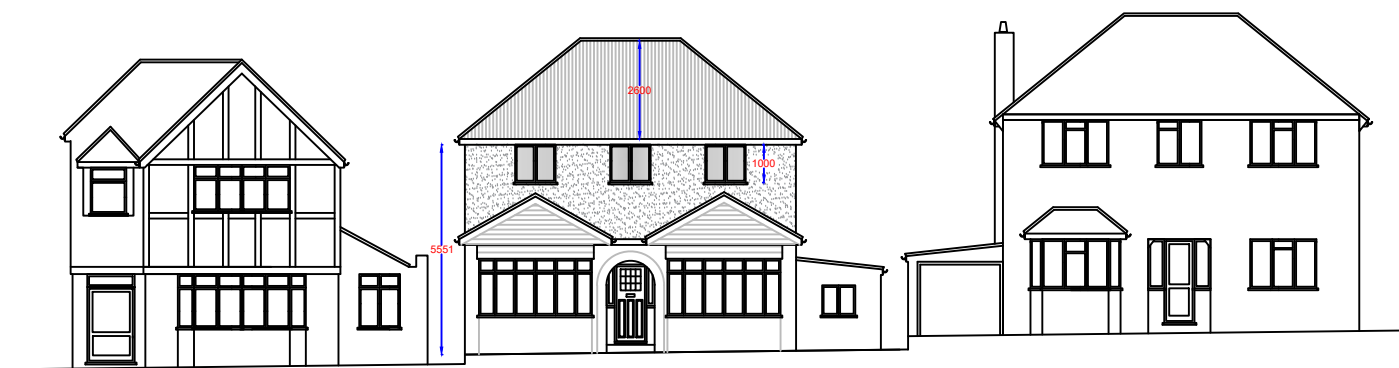
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58 MARLBOROUGH AVE

60 MARLBOROUGH AVE
EXISTING STREET SCENE

62 MARLBOROUGH AVE



58 MARLBOROUGH AVE

60 MARLBOROUGH AVE
PROPOSED STREET SCENE

62 MARLBOROUGH AVE

Rev	Date	Details	By
A	26/10/23	Revision A	CE

Project:
New first floor addition

Drawing:
Street View

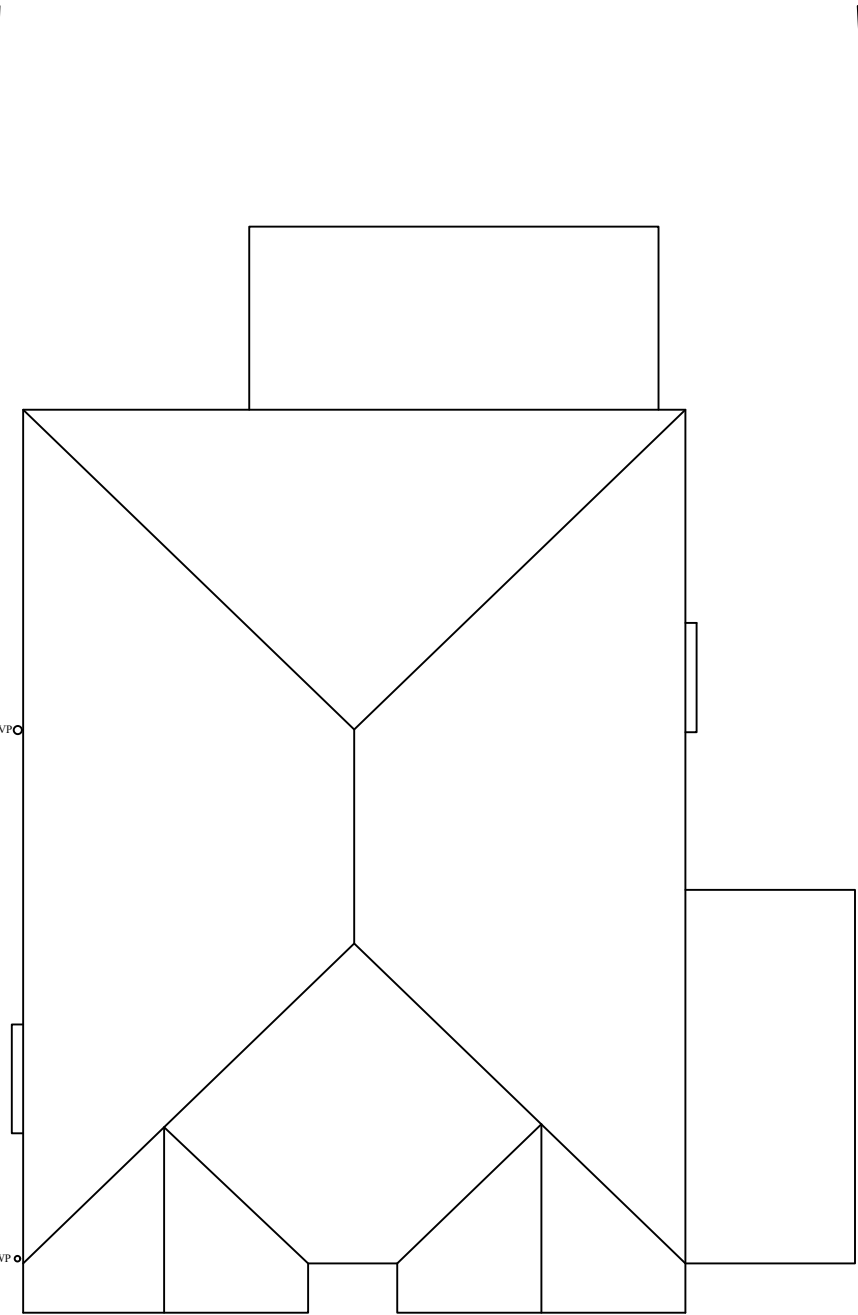
Address:
60 Marlborough Avenue,
Ruislip, HA4 7NP

Drawing N°: ELA/5
Rev: A

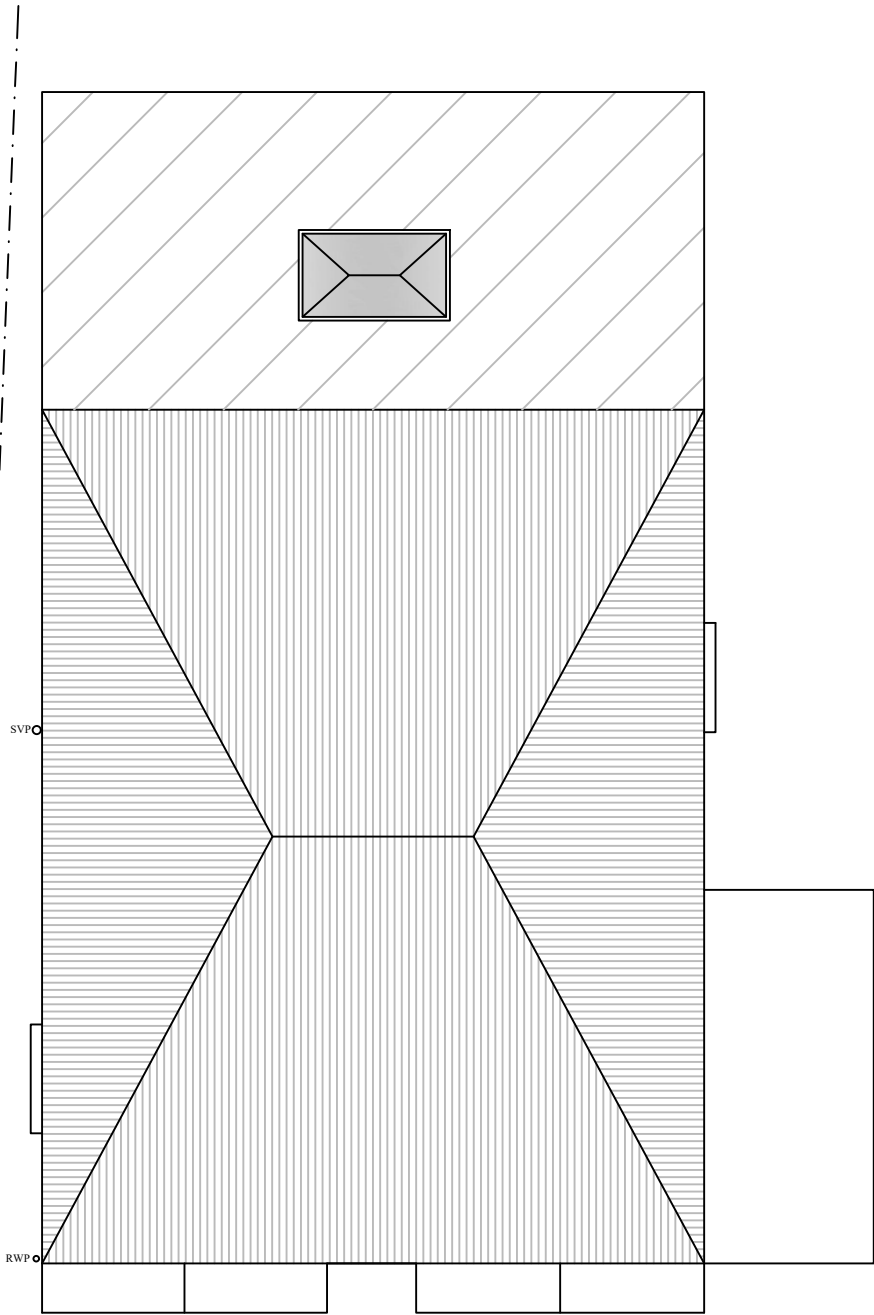
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EXISTING ROOF PLAN



PROPOSED ROOF PLAN

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Rev	Date	Details	By
A	26/10/23	Revision A	CE
B	04/09/24	Revision B	CE

Project: New first floor addition

Drawing: Roof Plan

Address: 60 Marlborough Avenue, Ruislip, HA4 7NP

Drawing N°:	ELA/9	Rev:	B
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A3 Scale:	Drawn By:	Job No:	Date:
1:100	CE	2802	26/10/23

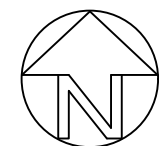
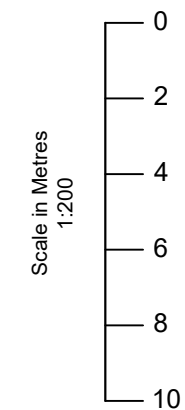


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Beechcroft
Riverside Avenue
Broxbourne
Herts
EN10 6RA
www.ela-design.co.uk

Tel:- 07979510821

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O/S licence number
100060020

Rev	Date	Details	By
A	26/10/23	Revision A	CE
B	04/09/24	Revision B	CE

Project:
New first floor addition

Drawing:
Block Plan

Address:
60 Marlborough Avenue,
Ruislip, HA4 7NP

Drawing N°:	ELA/11	Rev:	B
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A3 Scale:	Drawn By:	Job No:	Date:
1:200	CE	2802	26/10/23



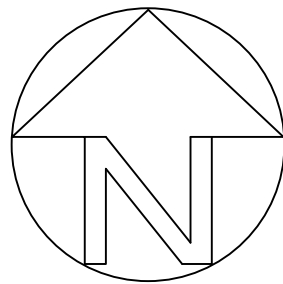
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MARLBOROUGH AVENUE

58

60

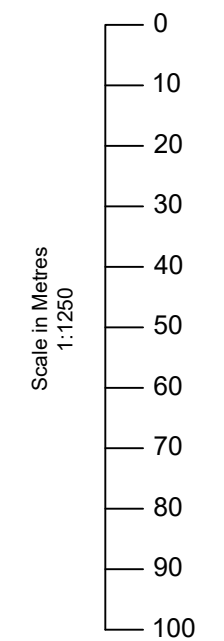
62




LOCATION PLAN

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O/S licence number			
100060020			
Rev	Date	Details	By
A	26/10/23	Revision A	CE
Project: New first floor addition			
Drawing: Site Location Plan			
Address: 60 Marlborough Avenue, Ruislip, HA4 7NP			
Drawing N°: ELA/15			Rev: A
A3 Scale: 1:1250	Drawn By: CE	Job No: 2802	Date: 26/10/23
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