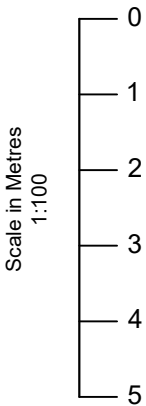


EXISTING GROUND FLOOR LAYOUT

Notes

All drawings to be signed off by building control before the commencement of any works. If works commence on a Building Notice, the Builder/property owner commences works at their own risk and ELA Design (or its Officer's) cannot accept and liability whatsoever for these works carried out.



Rev	Date	Details	By
A	26/10/23	Revision A	CE

Project: New first floor addition

Drawing: Existing Layout

Address: 60 Marlborough Avenue, Ruislip, HA4 7NP

Drawing N°:	Rev:
ELA/1	A

A3 Scale:	Drawn By:	Job No:	Date:
1:100	CE	2802	26/10/23



www.ela-design.co.uk

ELA Design
Beechcroft
Riverside Avenue
Broxbourne
Herts
EN10 6RA
Tel:- 07979510821



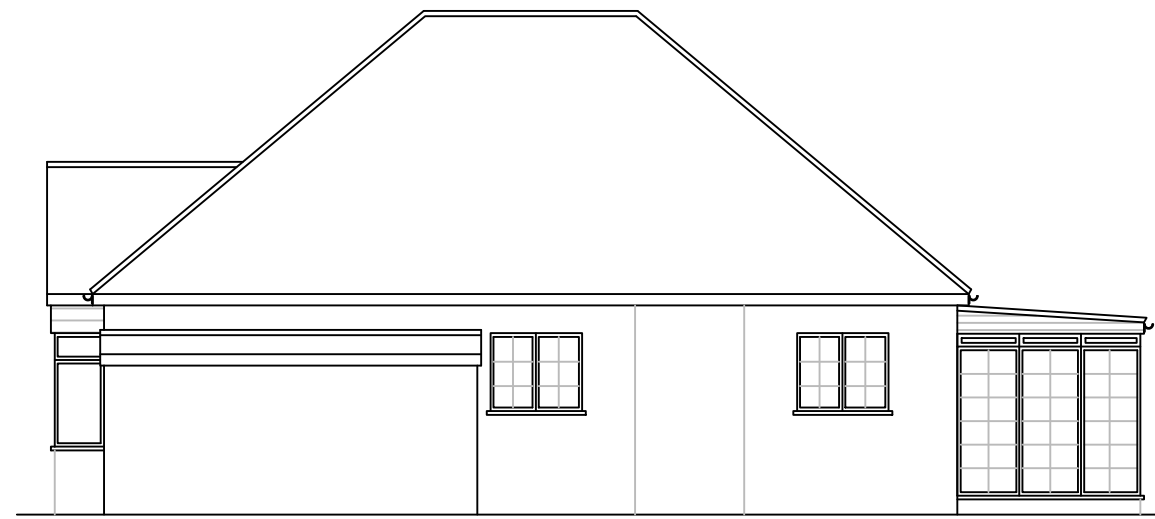
EXISTING FRONT ELEVATION



EXISTING SIDE ELEVATION



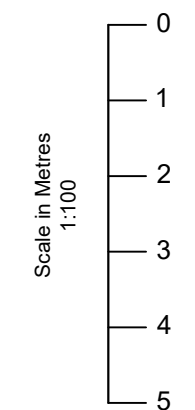
EXISTING REAR ELEVATION



EXISTING SIDE ELEVATION

Notes

All drawings to be signed off by building control before the commencement of any works. If works commence on a Building Notice, the Builder/property owner commences works at their own risk and ELA Design (or its Officer's) cannot accept and liability whatsoever for these works carried out.



Rev	Date	Details	By
A	26/10/23	Revision A	CE

Project: New first floor addition

Drawing: Existing Elevations

Address: 60 Marlborough Avenue,
Ruislip, HA4 7NP

Drawing N°:	Rev:
ELA/2	A

A3 Scale:	Drawn By:	Job No:	Date:
1:100	CE	2802	26/10/23

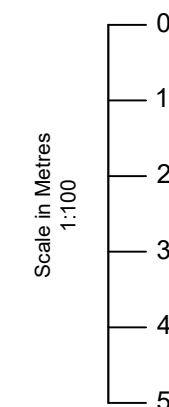


www.ela-design.co.uk

ELA Design
Beechcroft
Riverside Avenue
Broxbourne
Herts
EN10 6RA

Tel:- 07979510821

All drawings to be signed off by building control before the commencement of any works. If works commence on a Building Notice, the Builder/property owner commences works at their own risk and ELA Design (or its Officer's) cannot accept and liability whatsoever for these works carried out.



Key:

Grade D2 Inter-linked Smoke detectors

Rev	Date	Details	By
A	26/10/23	Revision A	CE

Project: New first floor addition

Drawing: Proposed Layout

Address: 60 Marlborough Avenue,
Ruislip, HA4 7NP

Drawing N°: ELA/3 Rev: A

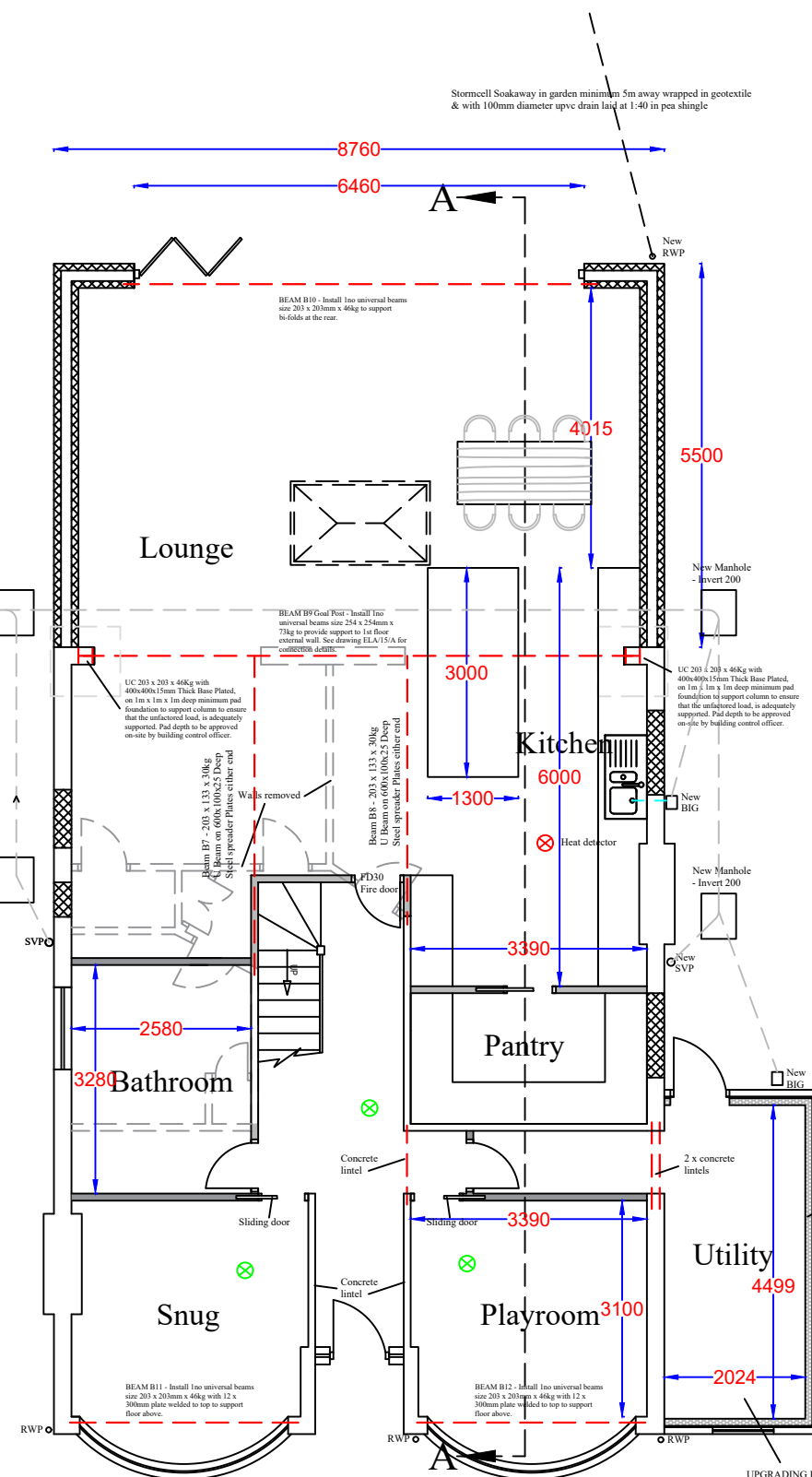
A3 Scale: 1:100 Drawn By: CE Job No: 2802 Date: 26/10/23



www.ela-design.co.uk

ELA Design
Beechcroft
Riverside Avenue
Broxbourne
Herts
EN10 6RA

Tel:- 07979510821

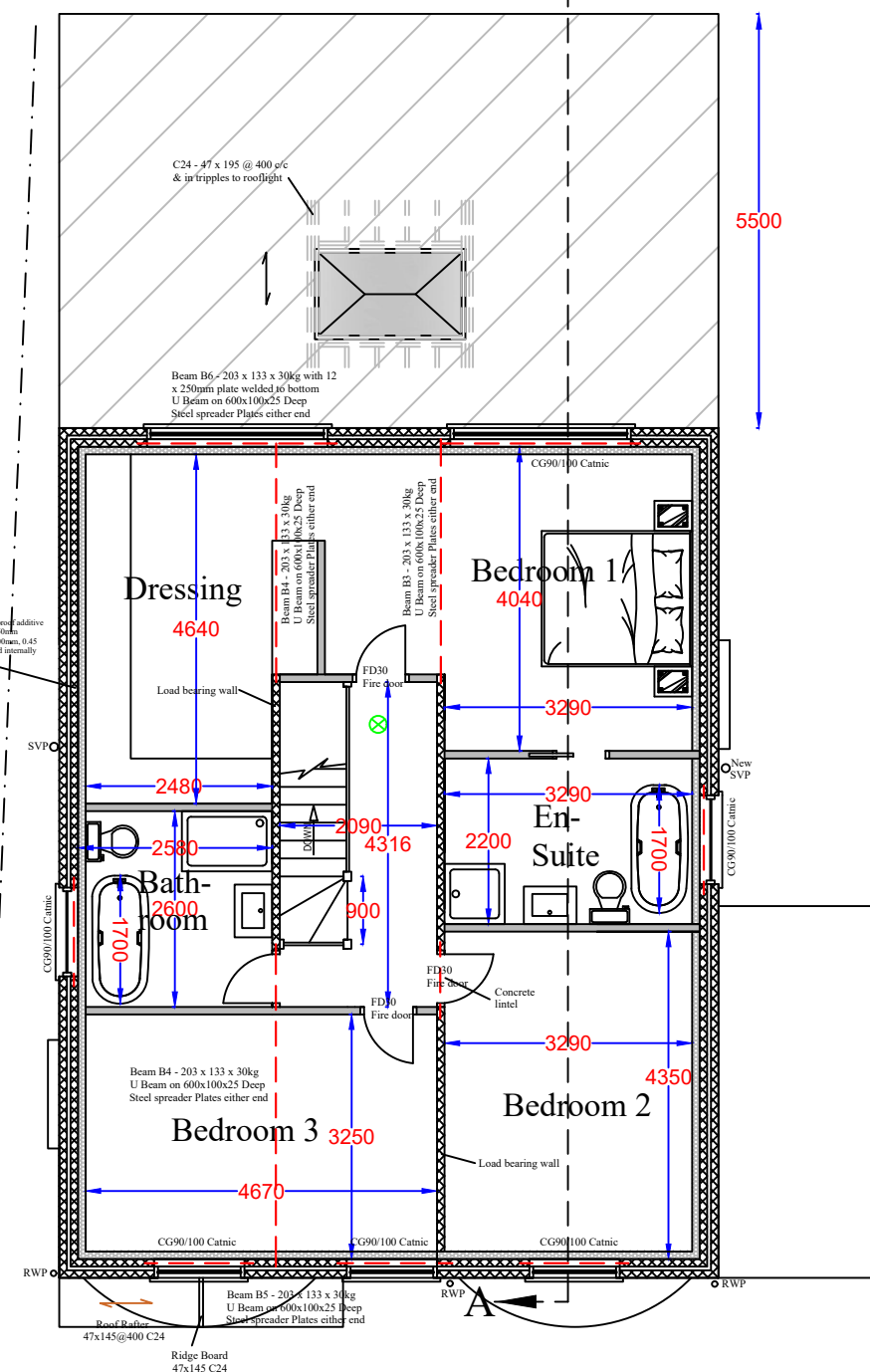


PROPOSED GROUND FLOOR LAYOUT

PARTIAL FILL CAVITY WALL WITH INTERNAL INSULATION
To achieve minimum U Value of 0.18 W/m²K.
20mm two coat sand/cement render to comply to BS EN 12914-1 with waterproof additive on 100mm standard block. Ensure a 50mm clear residual cavity and provide 50mm Celotex CW4000 insulation fixed to internal leaf constructed blockwork of 100mm, 0.45 W/m²K standard block. Provide additional 75.5mm PIR insulated plasterboard internally e.g. Celotex PL4000. Fixed using dot and dab method or buttons.
Finish with plaster skim. Walls to be built with 1:3 cement mortar.
VCL to be provided under insulated plasterboard if required by BCO.

GARAGE EXTERNAL WALL UPGRADE - To achieve minimum U Value of 0.30 W/m²K.
Existing garage floor to be exposed and checked for suitability to carry the load from the new stud wall prior to commencement of work and as required by the Building Control Officer. Construct an inner leaf of timber studwork using 100mm x 50mm treated timbers with head and sole plates and nogging at 400mm ctrs ensuring a 50mm clear cavity between existing wall and new stud. Provide a breathable membrane (having a vapour resistance of not more than 0.6 MNs/g) on cavity side of studwork.
Insulation between and over studs to be 90mm Celotex GA4000 between and 37.5mm Celotex PL4000 insulated plaster board with VCL over studs. Finish with 3mm skim coat of finishing plaster. All junctions to have water tight construction, seal all perimeter joints with tape internally and with silicon sealant externally. Provide a cavity tray at the base with weep holes at 600 ctrs. Provide horizontal strip polymer (hyload) damp proof course to new leaf minimum 150mm above external ground level. An injected DPC may also be required if one is not already present and working in existing wall. New DPC to be made continuous with floor DPM.
A lesser provision of insulation may be appropriate where meeting such a standard would result in a reduction of more than 5% in the internal floor area of the room.

UPGRADING EXISTING SOLID FLOOR
To meet min U value required of 0.18 W/m²K.
The existing solid floor slab must be checked for stability and be free from defects as required by Building Control. The existing floor will need upgrading to ensure adequate damp protection and to prevent heat loss. Provide 1200 gauge polythene DPM or 3 coats RIW over existing concrete slab (if required). DPM to be lapped in with DPC in walls. Floor to be insulated over slab and DPM with min 90mm thick PIR insulation, e.g. Celotex GA4000. 25mm Celotex insulation to continue around floor perimeters to avoid thermal bridging.
A VCL should be laid over the insulation boards and turned up 100mm at room perimeters behind the skirting, all joints to be lapped 150mm and sealed. Finish with 65mm sand/cement finishing screed with light mesh reinforcement. Care should be taken to ensure any existing airbricks for the main house are not obstructed by this work. If so, they should be extended through the new floor to external air. Where drain runs pass under floor provide A142 mesh 1.0m wide and min 50mm concrete cover over length of drain. A lesser provision may be appropriate where meeting such a standard would create significant problems in relation to adjoining floor level.



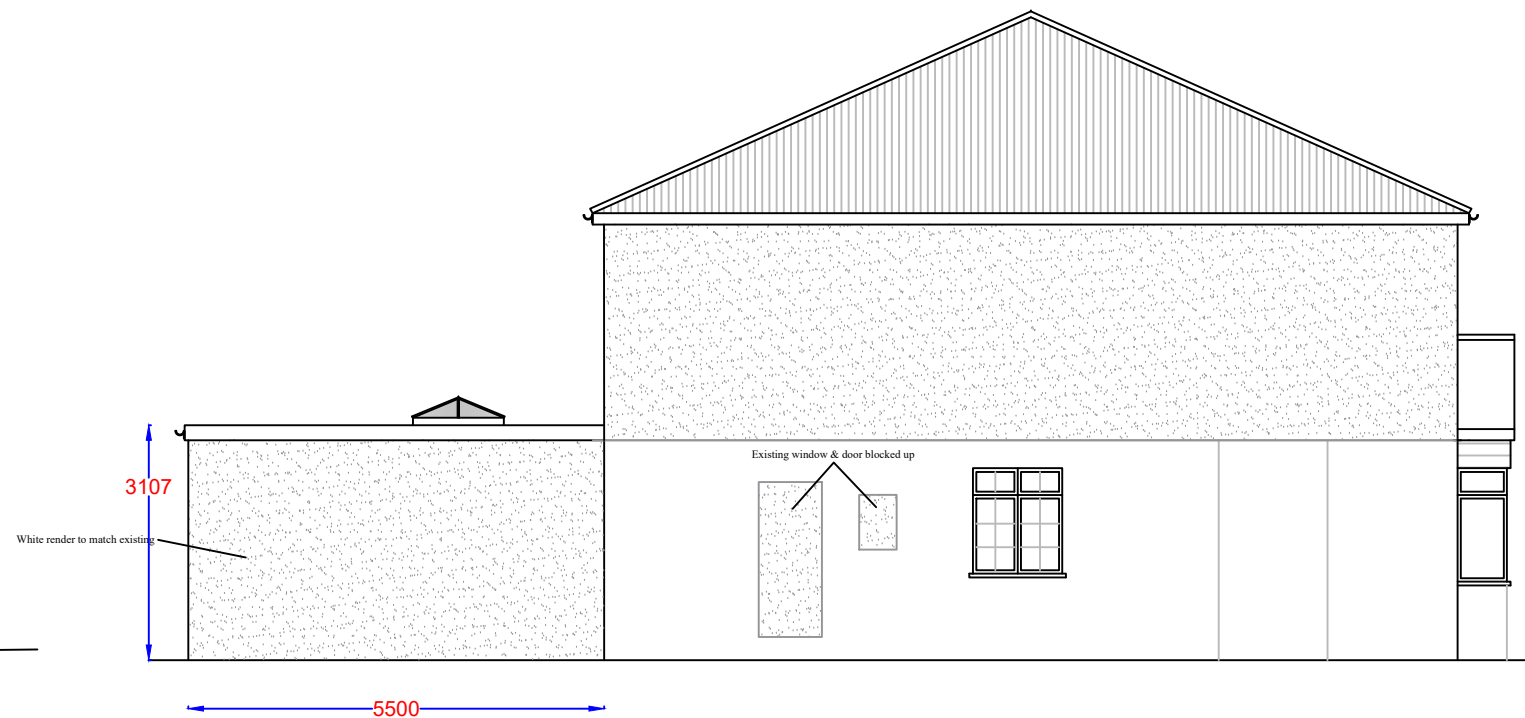
PROPOSED FIRST FLOOR LAYOUT



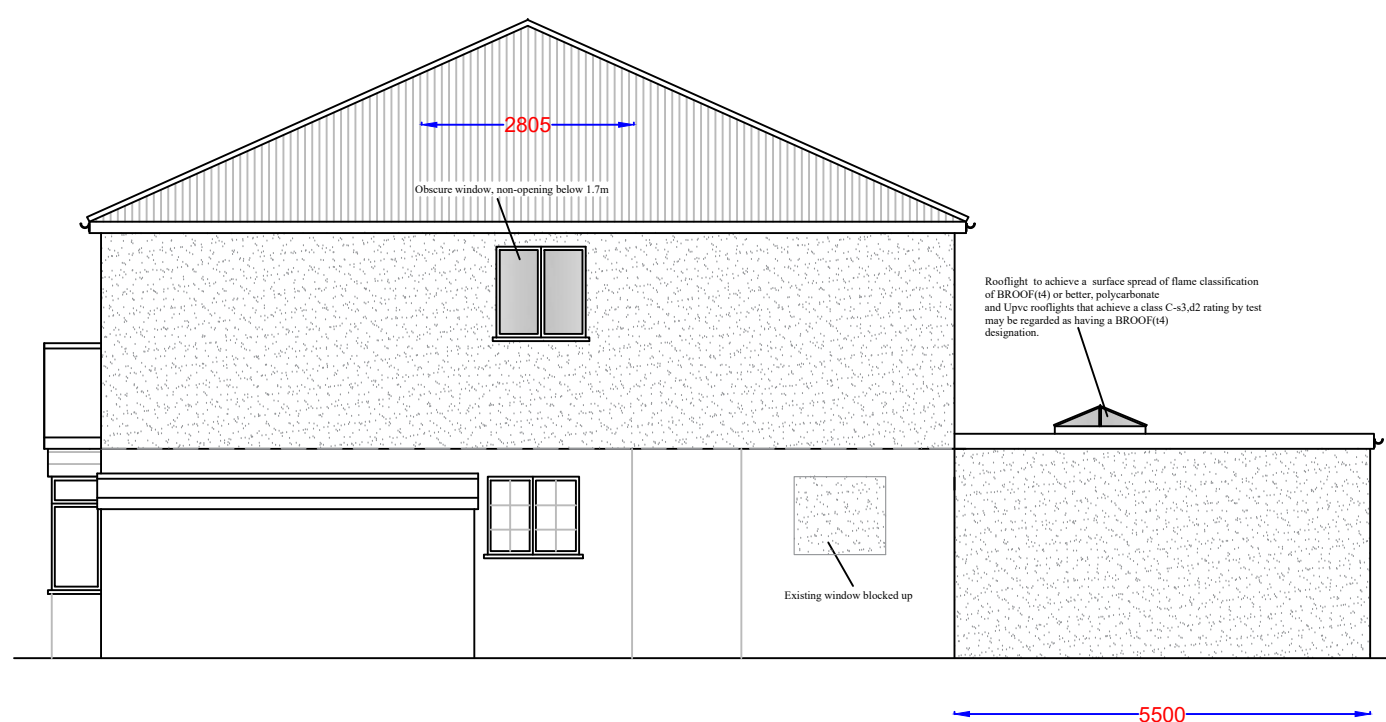
PROPOSED FRONT ELEVATION



PROPOSED REAR ELEVATION



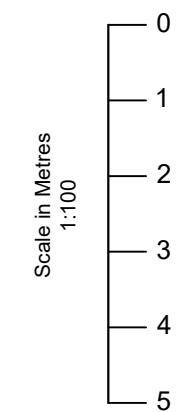
PROPOSED SIDE ELEVATION



PROPOSED SIDE ELEVATION

Notes

All drawings to be signed off by building control before the commencement of any works. If works commence on a Building Notice, the Builder/property owner commences works at their own risk and ELA Design (or its Officer's) cannot accept and liability whatsoever for these works carried out.



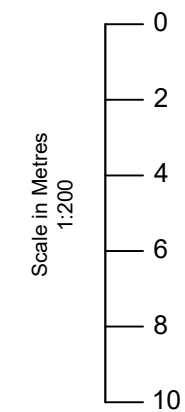
Rev	Date	Details	By
A	26/10/23	Revision A	CE

Project:	New first floor addition		
Drawing:	Proposed Elevations		
Address:	60 Marlborough Avenue, Ruislip, HA4 7NP		
Drawing N°:	ELA/4	Rev:	A
A3 Scale:	1:100	Drawn By:	CE
Job No:	2802	Date:	26/10/23

	ELA Design Beechcroft Riverside Avenue Broxbourne Herts EN10 6RA www.ela-design.co.uk
Tel:- 07979510821	

Notes

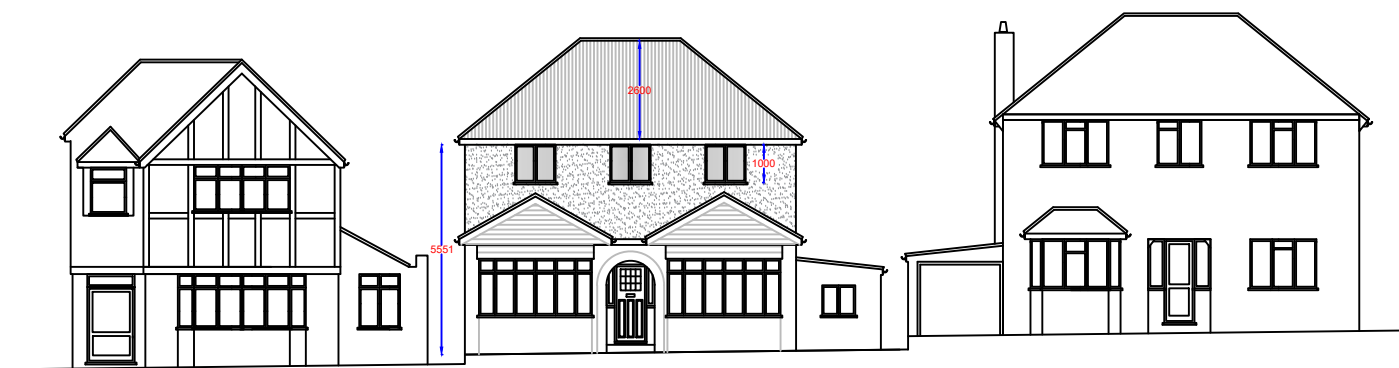
All drawings to be signed off by building control before the commencement of any works. If works commence on a Building Notice, the Builder/property owner commences works at their own risk and ELA Design (or its Officer's) cannot accept and liability whatsoever for these works carried out.



58 MARLBOROUGH AVE

60 MARLBOROUGH AVE
EXISTING STREET SCENE

62 MARLBOROUGH AVE



58 MARLBOROUGH AVE

60 MARLBOROUGH AVE
PROPOSED STREET SCENE

62 MARLBOROUGH AVE

Rev	Date	Details	By
A	26/10/23	Revision A	CE

Project:
New first floor addition

Drawing:
Street View

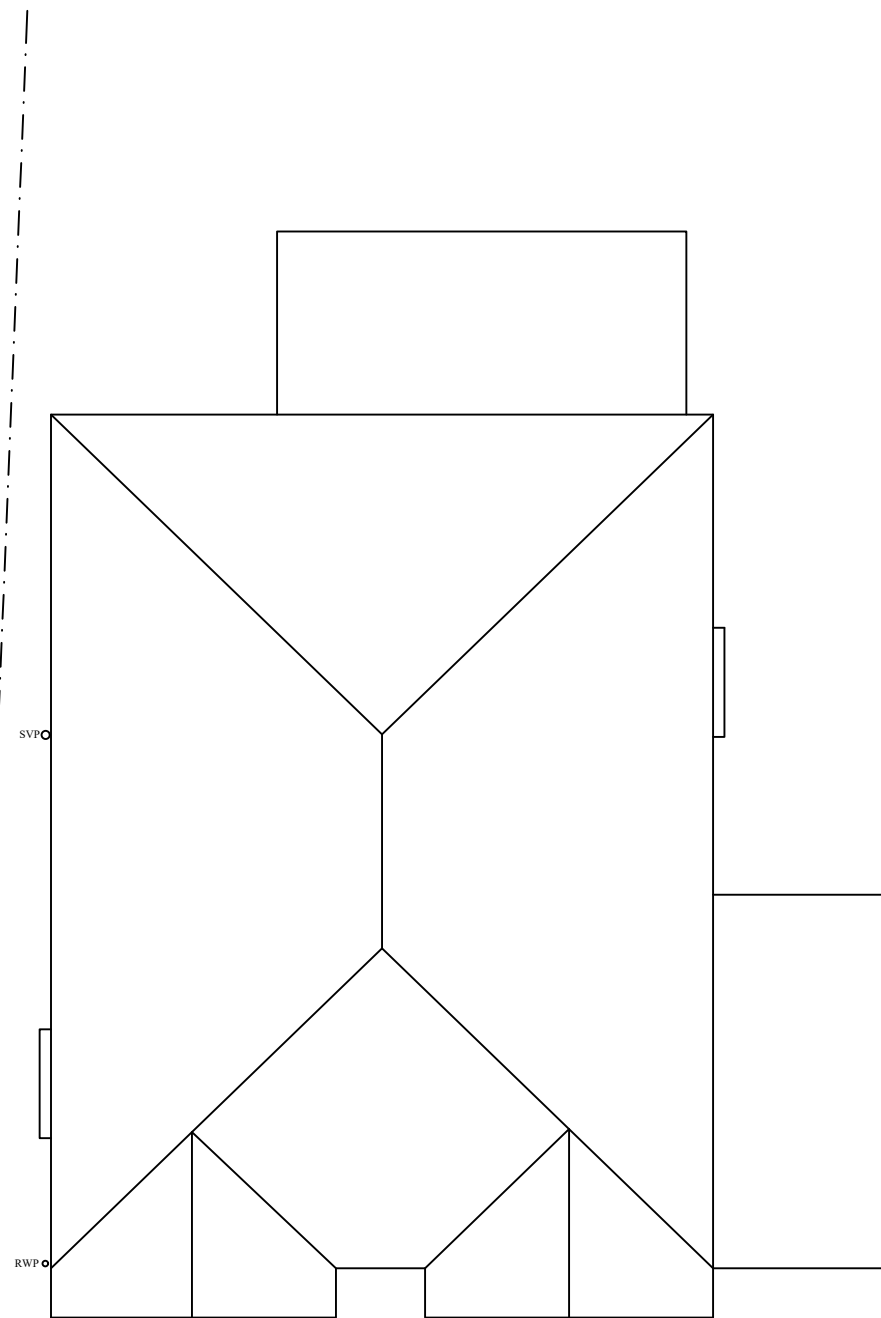
Address:
60 Marlborough Avenue,
Ruislip, HA4 7NP

Drawing N°: ELA/5 Rev: A

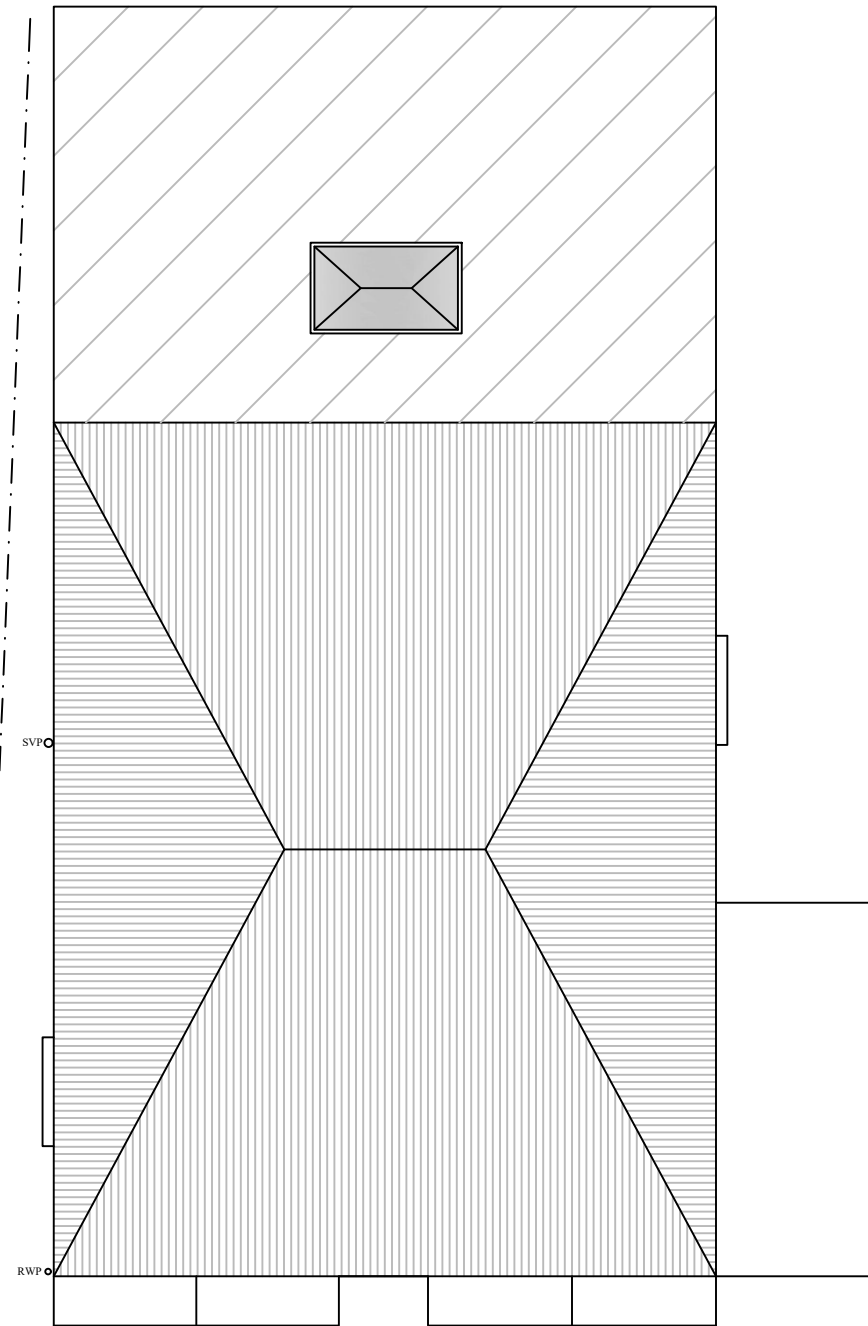
A3 Scale: 1:200 Drawn By: CE Job No: 2802 Date: 26/10/23



ELA Design
Beechcroft
Riverside Avenue
Broxbourne
Herts
EN10 6RA
Tel:- 07979510821



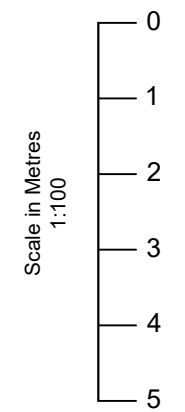
EXISTING ROOF PLAN



PROPOSED ROOF PLAN

Notes

All drawings to be signed off by building control before the commencement of any works. If works commence on a Building Notice, the Builder/property owner commences works at their own risk and ELA Design (or its Officer's) cannot accept and liability whatsoever for these works carried out.



Rev	Date	Details	By
A	26/10/23	Revision A	CE

Project: New first floor addition

Drawing: Roof Plan

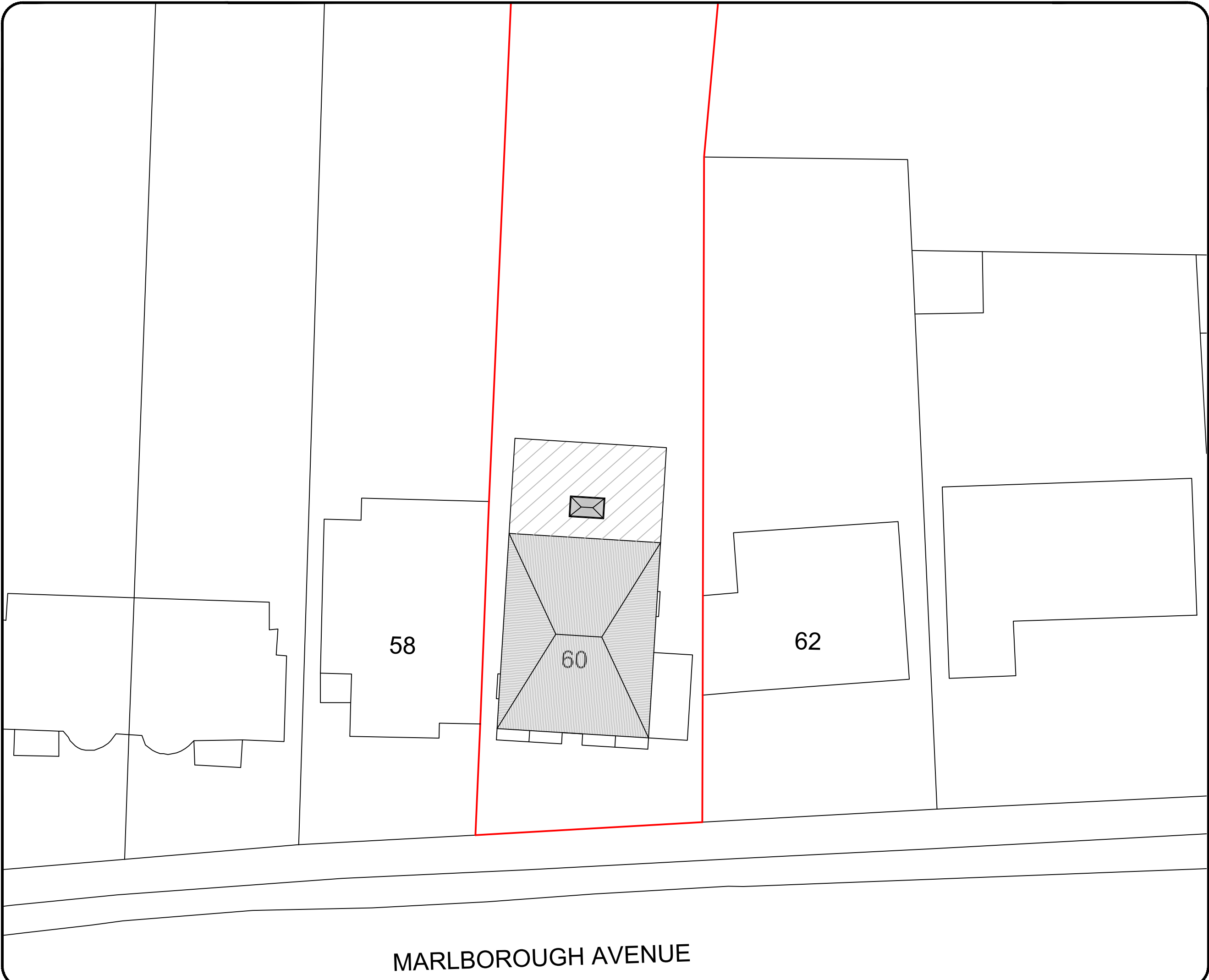
Address: 60 Marlborough Avenue,
Ruislip, HA4 7NP

Drawing N°: ELA/9 Rev: A

A3 Scale: 1:100 Drawn By: CE Job No: 2802 Date: 26/10/23

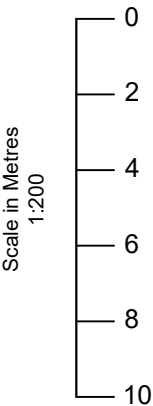
ELA design
www.ela-design.co.uk

ELA Design
Beechcroft
Riverside Avenue
Broxbourne
Herts
EN10 6RA
Tel:- 07979510821



Notes

All drawings to be signed off by building control before the commencement of any works. If works commence on a Building Notice, the Builder/property owner commences works at their own risk and ELA Design (or its Officer's) cannot accept and liability whatsoever for these works carried out.



O/S licence number
100060020

Rev	Date	Details	By
A	26/10/23	Revision A	CE

Project:
New first floor addition

Drawing:
Block Plan

Address:
60 Marlborough Avenue,
Ruislip, HA4 7NP

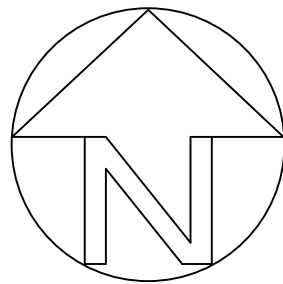
Drawing N°:	Rev:
ELA/11	A

A3 Scale:	Drawn By:	Job No:	Date:
1:200	CE	2802	26/10/23



www.ela-design.co.uk

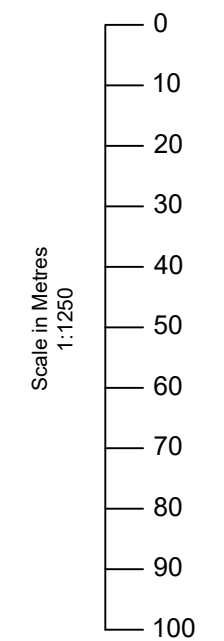
ELA Design
Beechcroft
Riverside Avenue
Broxbourne
Herts
EN10 6RA
Tel:- 07979510821




LOCATION PLAN

Notes

All drawings to be signed off by building control before the commencement of any works. If works commence on a Building Notice, the Builder/property owner commences works at their own risk and ELA Design (or its Officer's) cannot accept and liability whatsoever for these works carried out.



O/S licence number			
100060020			
Rev	Date	Details	By
A	26/10/23	Revision A	CE
Project: New first floor addition			
Drawing: Site Location Plan			
Address: 60 Marlborough Avenue, Ruislip, HA4 7NP			
Drawing N°: ELA/15			Rev: A
A3 Scale: 1:1250	Drawn By: CE	Job No: 2802	Date: 26/10/23
 www.ela-design.co.uk		ELA Design Beechcroft Riverside Avenue Broxbourne Herts EN10 6RA Tel:- 07979510821	