

**MATERIALS PALETTE:**

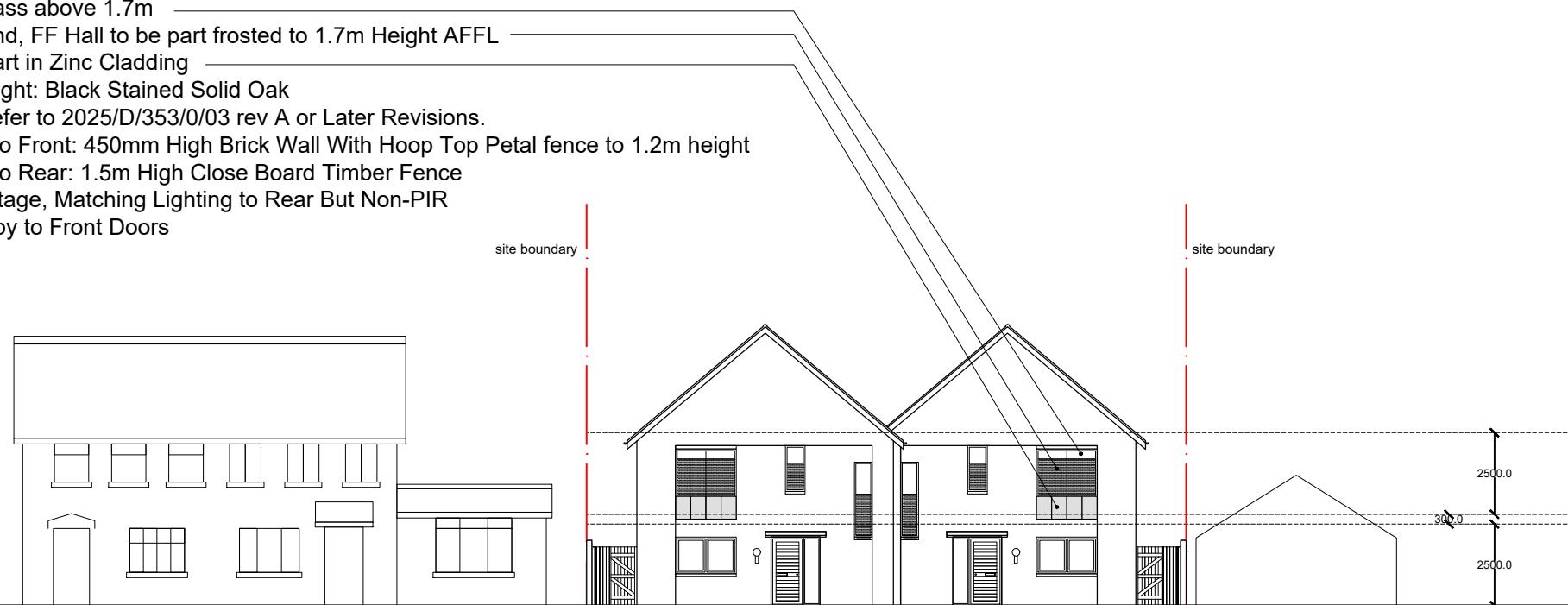
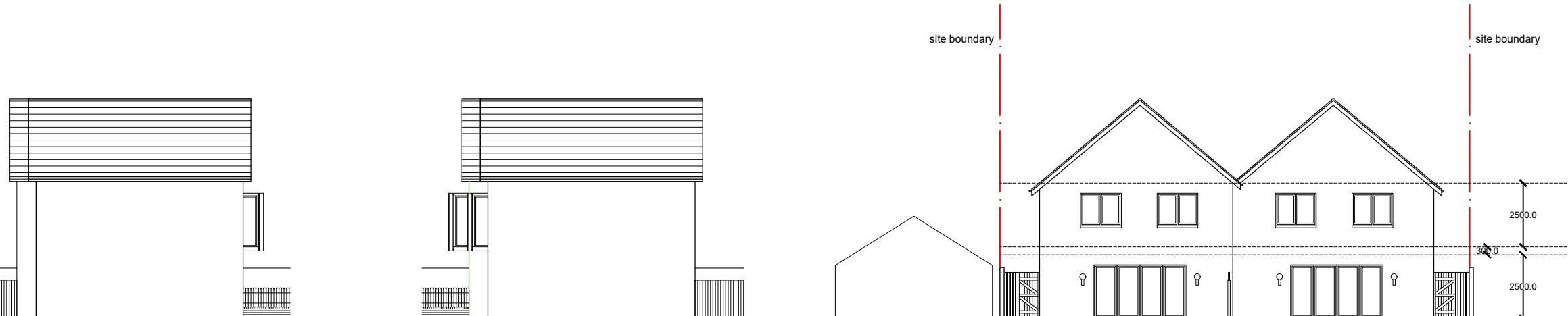
1. Roof: Plain Tiles Colour to Match Adjacent Houses
2. Walls: Portal Brickwork, Sides and Rear to be Fairface Brickwork to Match Adjacent Houses
3. Walls: Front Inset Brickwork Fairface Contrasting in Dark Grey
4. Windows and Patio Doors: UPVC in Anthracite
5. FF Bedroom Windows to be Tilt/reversible for Cleaning, in Clear Glass
6. Oriel Front Clear Glass above 1.7m
7. Oriel Front, Stairs and, FF Hall to be part frosted to 1.7m Height AFFL
8. Oriel Front Lower Part in Zinc Cladding
9. Front Door & Side Light: Black Stained Solid Oak
10. Boundary Fence: Refer to 2025/D/353/0/03 rev A or Later Revisions.
11. Separating Fences to Front: 450mm High Brick Wall With Hoop Top Petal fence to 1.2m height
12. Separating Fences to Rear: 1.5m High Close Board Timber Fence
13. PIR Lighting to Frontage, Matching Lighting to Rear But Non-PIR
14. 450mm Deep Canopy to Front Doors

**SCHEDULE OF ACCOMMODATION:**  
 2 x 3 bed 6 person semis  
 2 x Adaptable car parking space with EV Chargers

**PLOT 1 AMENITY:**  
 Front Garden 45.1m<sup>2</sup>  
 Rear Garden 86.0m<sup>2</sup>

**PLOT 2 AMENITY:**  
 Front Garden 75.9  
 Rear Garden 78.1m<sup>2</sup>

**TOTAL GEA & GIA PER HOUSE:**  
 GEA = 126.0m<sup>2</sup>  
 GIA = 108.0m<sup>2</sup>


**41 AND 43 ST CHRISTOPHER ROAD**
**FRONT ELEVATION**

**NORTH FACING ELEVATION**
**SOUTH FACING ELEVATION**
**REAR ELEVATION**

0 5 10 15 20m  
 Scale 1:200

A		Elevation fully revised to reflect new design		db	30.07.25
Rev	Revision notes			Initials	Date
 <b>HILLINGDON</b> LONDON					
PLACE DIRECTORATE CAPITAL PROGRAMME WORKS SERVICE 4N, CIVIC CENTRE, UXBRIDGE, UB8 1UW Tel: 01895 250 111 <a href="http://www.hillingdon.gov.uk">www.hillingdon.gov.uk</a>					
PROJECT FORMER GARAGE SITE ST CHRISTOPHERS ROAD UXBRIDGE, UB8 3SG					
DESCRIPTION					
PROPOSED ELEVATIONS					
SCALE	1:200 @ A3	DRAWN BY	DB	CHECKED BY	SV
DRAWING NO.					DATE
2025/D/353/P/05					REV.
					A