

MATERIALS PALETTE:

- 1. Roof: Plain Tiles Colour to Match Adjacent Houses
- 2. Walls: Portal Brickwork, Sides and Rear to be Fairface Brickwork to Match Adjacent Houses
- 3. Walls: Front Inset Brickwork Fairface Contrasting in Dark Grey
- 4. Windows and Patio Doors: UPVC in Anthracite
- 5. FF Bedroom Windows to be Tilt/reversible for Cleaning, in Clear Glass
- 7. Oriel Front Clear Glass above 1.7m
- 8. Oriel Front, Stairs and, FF Hall to be part frosted to 1.7m Height AFFL
- 9. Oriel Front Lower Part in Zinc Cladding
- 10. Front Door & Side Light: Black Stained Solid Oak
- 11. Boundary Fence: Refer to 2025/D/353/0/03 rev A or Later Revisions.
- 12. Separating Fences to Front: 450mm High Brick Wall With Hoop Top Petal fence to 1.2m height
- 13. Separating Fences to Rear: 1.5m High Close Board Timber Fence
- 14. PIR Lighting to Frontage, Matching Lighting to Rear But Non-PIR
- 15. 450mm Deep Canopy to Front Doors

SCHEDULE OF ACCOMMODATION:
2 x 3 bed 6 person semis
2 x Adaptable car parking space with EV Chargers

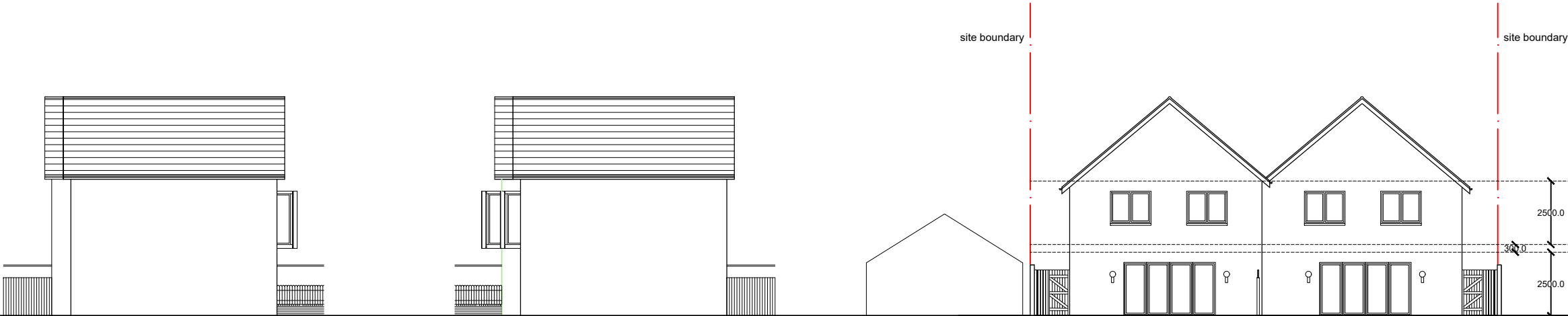
PLOT 1 AMENITY:
Front Garden 45.1m²
Rear Garden 86.0m²

PLOT 2 AMENITY:
Front Garden 75.9
Rear Garden 78.1m²

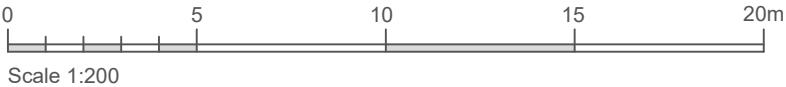
TOTAL GEA & GIA PER HOUSE:
GEA = 126.0m²
GIA = 108.0m²



41 AND 43 ST CHRISTOPHER ROAD FRONT ELEVATION



NORTH FACING ELEVATION SOUTH FACING ELEVATION REAR ELEVATION



A	Elevation fully revised to reflect new design	db	30.07.25
Rev	Revision notes	Initials	Date



PLACE DIRECTORATE
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PROJECT
FORMER GARAGE SITE
ST CHRISTOPHERS ROAD
UXBRIDGE. UB8 3SG

DESCRIPTION
PROPOSED ELEVATIONS

SCALE 1:200 @ A3	DRAWN BY DB	CHECKED BY SV	DATE JUL 2025
DRAWING No. 2025/D/353/P/05			REV. A