

MATERIALS & NOTES:

- ALL EXTERIAL WALLS TO BE RENDERED. COLOR WILL BE THE CHOICE OF THE BUILDING OWNERS, CREAMY OR GREY.
- ALL BOUNDARY WALLS AROUND DWELLINGS WILL BE IN HEIGHT OF NOT LESS THAN 1.8m
- ALL DOORS AND WINDOWS WILL BE IN ALUMINIUM DOUBLE GLAZED AND COLOR WILL BE STANDARD WHITE
- ROOF TILES WILL BE PLAINLY USED TO THE PROPOSED ROOF STRUCTURE IN RED
- PIPES AND GUTTERS WILL BE IN PLASTIC BLACK IN COLOR
- LIGHTING WITH BE DESIGNED WITH ENERGY SAVINGES FOR SUSTAINABLE DEVELOPMENT. A
- HEAT PUMPS WILL BE ALSO USED AS NECESSARY.
- VEHICLE ACCESS AND HARD STANDING FRONT DRIVE IS AVAILABLE AND WILL BE Laid WITH SUITABLE HARD STANDING MATERIAL IN CONCRETE SLABS WHERE REQUIRED.
- ELECTRIC CHARGING POINT WILL BE INSTALLED FOR FUTURE ELECTRIC VEHICLES USE TO FRONT DRIVE.
- SECOND FLOOR WILL HAVE SKY-LIGHT WINDOWS TO FRONT ROOF SLOPE. DOUBLE GLAZED IN ALUMINIUM, AND WILL ALLOW FOR DAY-LIGHTING TO THE HABITABLE ROOM.

PROPOSED DWELLINGS:

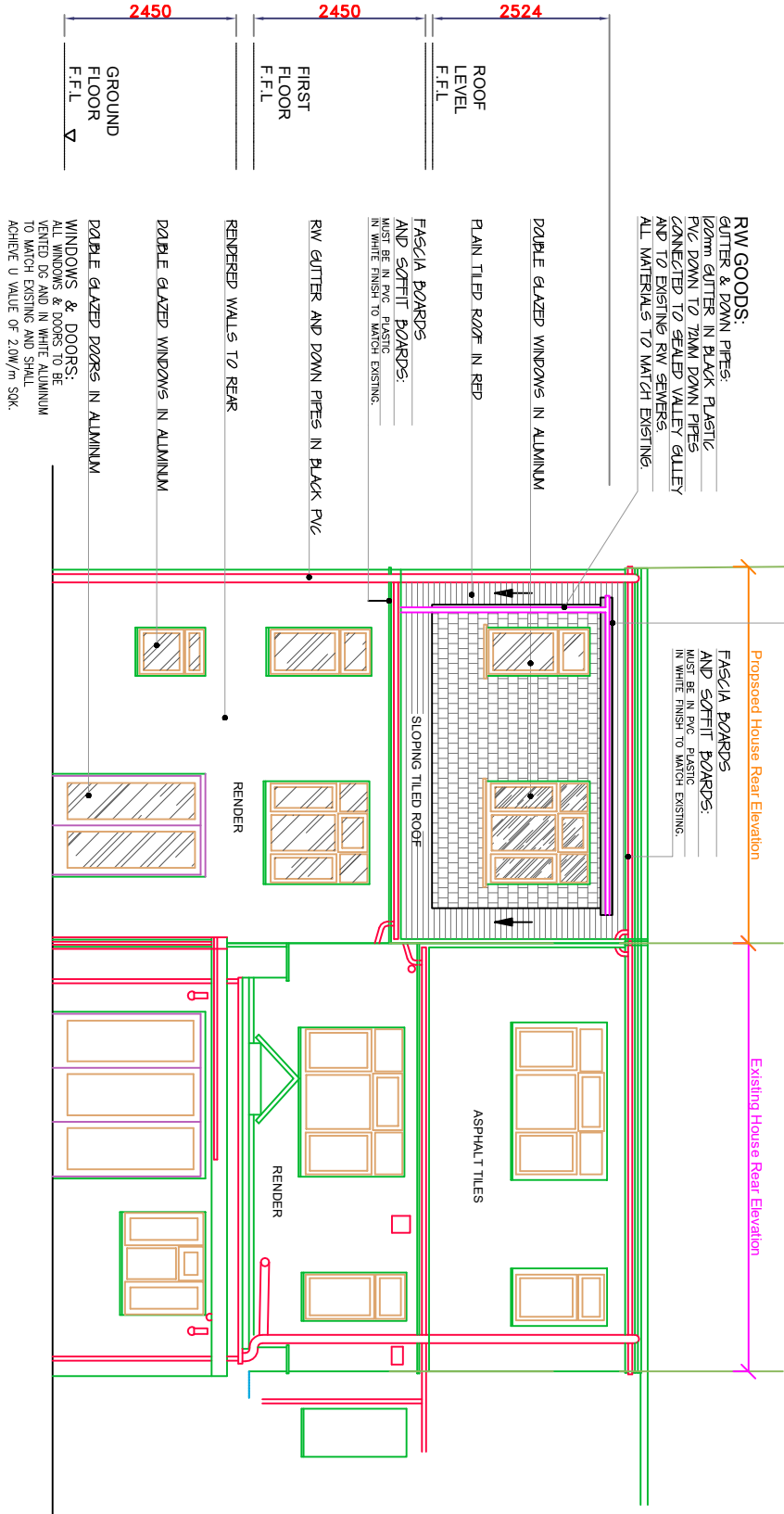
DORMER WINDOW:

FLAT ROOF WITH GRP FINISHES LEAD FLASHING TO SITES AS NECESSARY.

RW GOODS:

GUTTER & DOWN PIPES: DOWN GUTTER IN BLACK PLASTIC PVC DOWN TO DRAIN DOWN PIPES CONNECTED TO SEWER VALLEY GUTTER AD TO EXISTING RW SERVICES. ALL MATERIALS TO MATCH EXISTING.

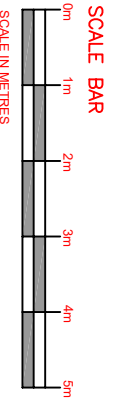
FASCIA BOARDS AND SOFFIT BOARDS: MUST BE IN PVC PLASTIC IN WHITE FINISH TO MATCH EXISTING.



NOTES:

PROPOSED 3 BEDROOM SELF CONTAINED DWELLINGS:  
PROPOSED DWELLINGS SHALL HAVE MIN ONE PARKING SPACE TO FRONT, PROPOSED TOTAL AREA:  
GF: 35.29m<sup>2</sup>  
FF: 24.47m<sup>2</sup>  
GT: 30.40m<sup>2</sup>

REV:	
Date:	



FOR PLANNING ONLY  
Proposed Rear Elevation  
SCALE 1:100@A3

NOTES: WINDOWS :

All windows to be glazed with 24mm (4:16:4) sealed double glazed (low - E of 0.15) units with minimum U Value of 2.0 W/m<sup>2</sup>K. White in colour. All glass shall be in accordance with BS 6262: 1978. All windows shall be weather stripped. Window sill height should not be more than 1100 above finished floor level.

NOTES:

- PROPOSED DWELLINGS SHALL HAVE RENDERED WALLS TO FRONT, TO SIDE AND REAR.
- FRONT ROOF SLOPE TO HAVE TWO ROOF SKYLIGHTS (VELUX TYPE)
- FLAT ROOF WITH DORMER WINDOW TO REAR ROOF SLOPE WITH GRP FINISHES.

DRAINAGE:

ALL DRAINAGE TO BE CONNECTED TO EXISTING. ALL EXTERIAL PIPES ABOVE GROUND LEVEL MUST BE IN BLACK PLASTIC.

NOTES:

THIS IS TO ALLOW FOR THE ADDITIONAL THREE BEDROOM SELF CONTAINED DWELLINGS, KITCHEN, LIVING AND DINING WITH THREE BATHROOMS.

ALL WINDOWS ARE DOUBLE GLAZED ALUMINIUM FINISHED WHITE IN COLOR WITH SELF CONTROL TRICKLE VENT.

GABLE END PITCHED ROOF TO THE MAIN HOUSE WITH RAIN TILES TO SUIIT EXISTING ADJOINING PROPERTIES.

RENDERED WALLS TO MATCH EXISTING DWELLINGS.

ALL MATERIALS TO MATCH EXISTING, THIS IS TO SYMPATHISE WITH THE SURROUNDING RESIDENTIAL PROPERTIES

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Health and Safety Information

In addition to the hazards/risks normally associated with the types of work detailed on the drawing, please read the following

CONSTRUCTION RISKS

Maintenance / Cleaning / Operation  
MAINTENANCE RISKS

Design / Installation / Construction  
DESIGN / INSTALLATION / CONSTRUCTION RISKS

Client	Ryszard Sokolowski
Address	107 Victoria Avenue Hillingdon, Middlesex UB10 9AU
Drawing title	Proposed Rear Elevation

Scale: as A3	1:100
File Ref	FILE REF
Drawn by	AB
Checked by	nh
Date of issue	OCT 22
Revision Date	
Project number	107VA-207