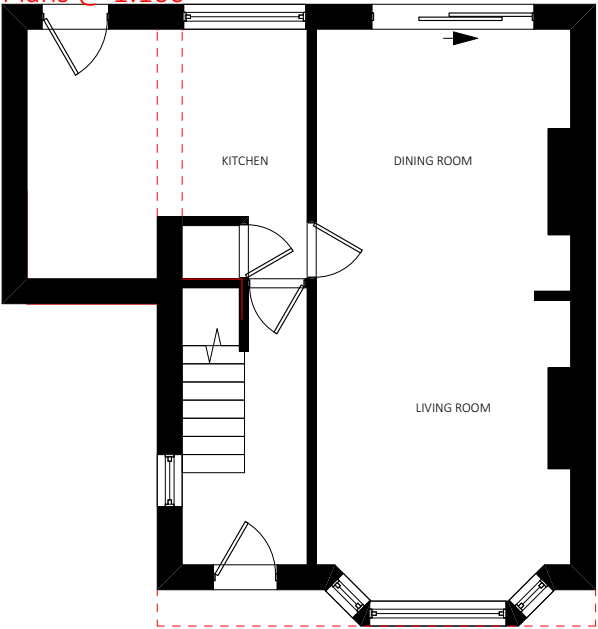
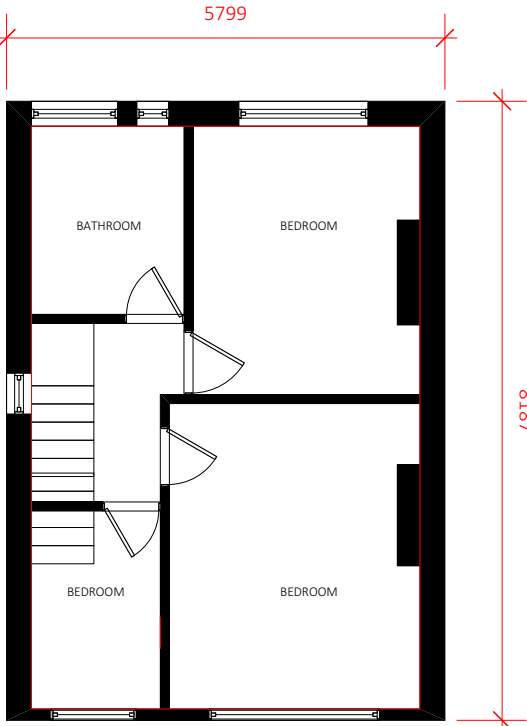


Existing house (16 Hayes End Drive) - unchanged  
Plans @ 1:100

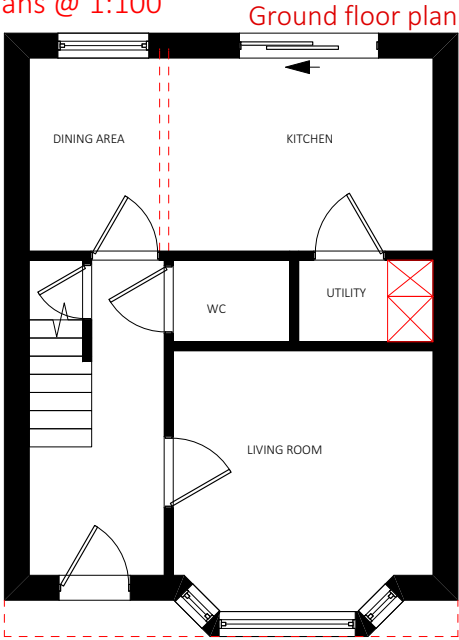


Ground floor plan



First floor plan

New house - (Land adj. to 16 Hayes End Drive)  
Plans @ 1:100

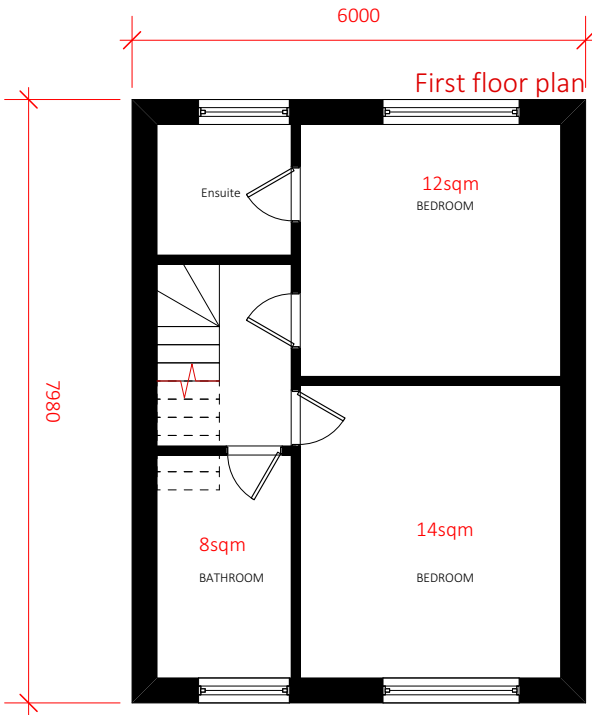


NOTES ON ACCESSIBILITY:

This House meets M4(2): We are happy for this to be conditioned.

It meets all regs at this point and below are some highlights.

- Entrance:
- Canopy at level entrance 900mm wide and 600mm deep
  - Dusk to dawn timer or motion detection lighting adjacent to entrance
  - Entrance door minimum 850mm clear opening
  - If a porch is included it must allow 1,500mm between the two door swings
- Circulation:
- Minimum nib of 300mm to the leading edge of doors (entrance storey only)
  - Step free to all rooms within entrance storey
  - 900mm unobstructed corridor widths.
  - Living area to be included on entrance storey (living room, dining room or kitchen/dining)
  - Stairs 850mm clear width
  - 1,200mm minimum clear space in front of kitchen units and appliances
  - 850mm maximum to glazing of principal window in living room
- Bedrooms:
- Main double bedroom to have 750mm clear zone to both sides and foot of bed (2m x 1.5m bed)
  - Other double beds to have 750mm clear zone to one side and foot of bed (1.9m x 1350m bed)
  - Single beds and twins to have 750mm clear zone to one side of each bed (1.9m x 0.9m bed)
  - All bedrooms to have clear access route 750mm from windows and doors.
- Sanitary Facilities:
- For 1 or 2 bedroom houses, WC within entrance storey 1,600mm x 850mm or 1,050mm x 1,500mm
  - For 3 bedroom and houses, WC within entrance storey capable of taking a future level access shower, 1,450mm x 1,800mm room size
  - WC doors to open outwards
- Bathrooms:
- Every dwelling to have a bathroom including WC, basin and bath on the same floor as the main double bedroom
  - 1,100mm x 700mm clear access zones in front of WC and basin and to the side of a bath
  - Provision for future level access shower within the bathroom (1 or 2 bed houses)



NOTES ON SIZE AND FLOOR SPACE:

This House meets all DMHB 16 of the Hillingdon Local Plan: Part Two - Development Management Policies and Policy D6 of the London Plan (2021)

NOTES ON DESIGN:

This House is matching in all scale and size of houses on the street. It is also matching the design of a recently passed house on a different corner of the same street - Mellow Lane East.

Existing house (16 Hayes End Drive) - unchanged  
Elevations portrayed as photos



Front Elevation



Side Elevation



Rear Elevation



Skerryvore Designs Ltd  
skerryvoredesigns.co.uk

Phone **01633 897922**  
Mobile **07816 934352**  
contact@skerryvoredesigns.co.uk

JOB  
TITLE

16 HAYES END DRIVE

DRAWING  
TITLE

Plans & Photos:  
Existing and proposed  
plans and photos of  
existing

DRAWING No.

SD836 RE 01

SCALE

1:100 & 1:200 @ A3

DATE

APR '24