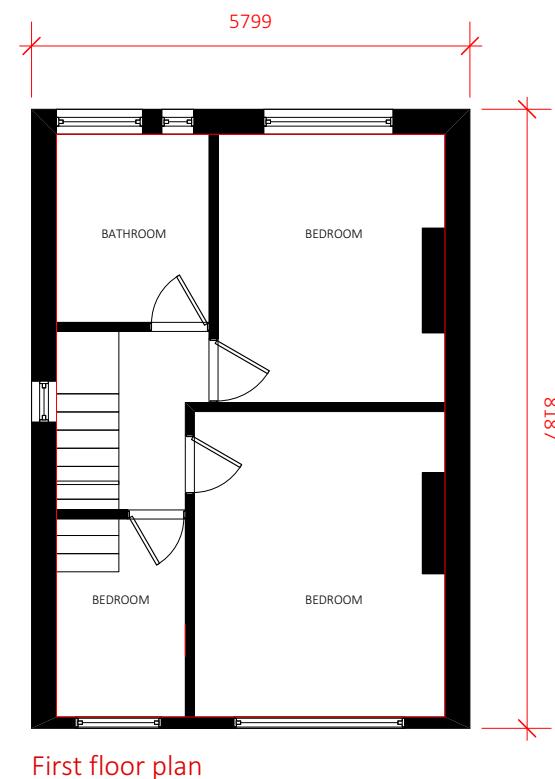
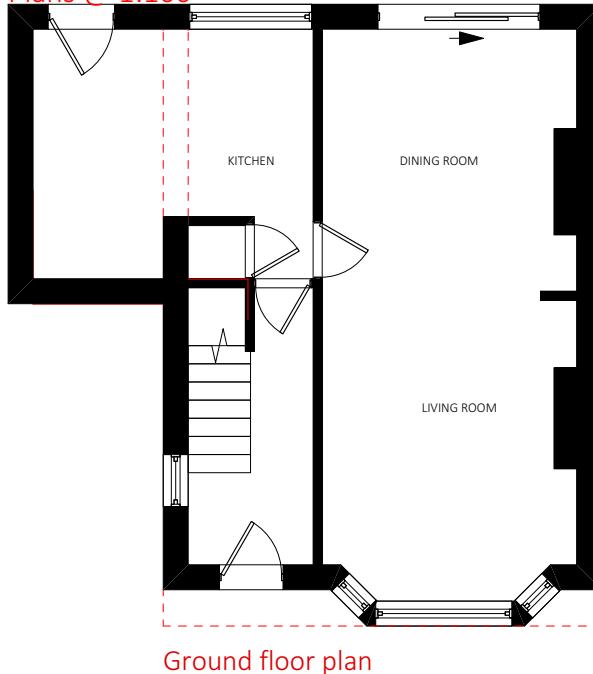


Existing house (16 Hayes End Drive) - unchanged

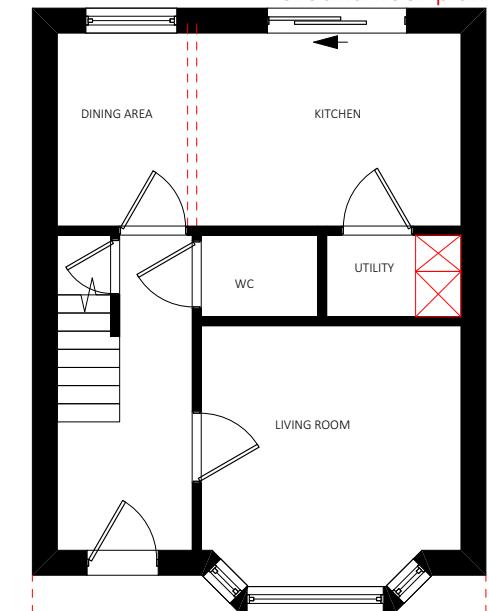
Plans @ 1:100



New house - (Land adj. to 16 Hayes End Drive)

Plans @ 1:100

Ground floor plan



NOTES ON ACCESSIBILITY:

This House meets M4(2): We are happy for this to be conditioned.

It meets all regs at this point and below are some highlights.

Entrance:

- Canopy at level entrance 900mm wide and 600mm deep
- Dusk to dawn timer or motion detection lighting adjacent to entrance
- Entrance door minimum 850mm clear opening
- If a porch is included it must allow 1,500mm between the two door swings

Circulation:

- Minimum nib of 300mm to the leading edge of doors (entrance storey only)
- Step free to all rooms within entrance storey
- 900mm unobstructed corridor widths.
- Living area to be included on entrance storey (living room, dining room or kitchen/dining)
- Stairs 850mm clear width
- 1,200mm minimum clear space in front of kitchen units and appliances
- 850mm maximum to glazing of principal window in living room

Bedrooms:

- Main double bedroom to have 750mm clear zone to both sides and foot of bed (2m x 1.5m bed)
- Other double beds to have 750mm clear zone to one side and foot of bed (1.9m x 1350m bed)
- Single beds and twins to have 750mm clear zone to one side of each bed (1.9m x 0.9m bed)
- All bedrooms to have clear access route 750mm from windows and doors.

Sanitary Facilities:

- For 1 or 2 bedroom houses, WC within entrance storey 1,600mm x 850mm or 1,050mm x 1,500mm
- For 3 bedroom and houses, WC within entrance storey capable of taking a future level access shower, 1,450mm x 1,800mm room size
- WC doors to open outwards

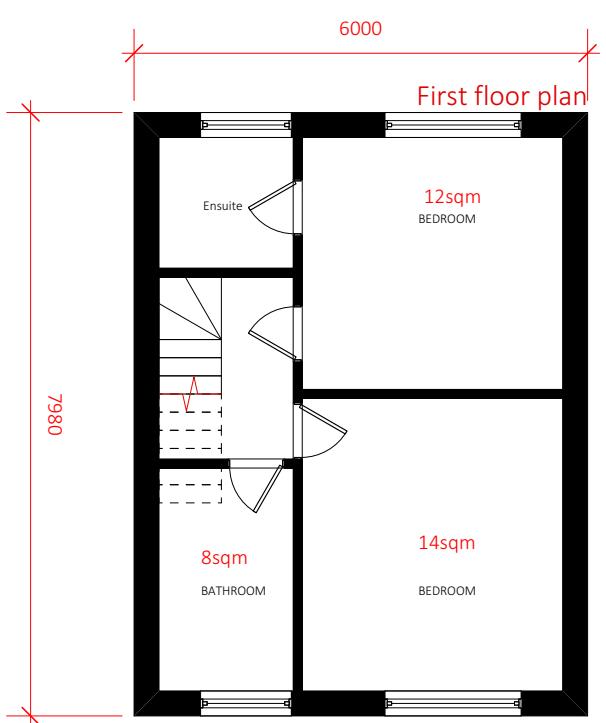
Bathrooms:

- Every dwelling to have a bathroom including WC, basin and bath on the same floor as the main double bedroom
- 1,100mm x 700mm clear access zones in front of WC and basin and to the side of a bath
- Provision for future level access shower within the bathroom (1 or 2 bed houses)

New house - (Land adj. to 16 Hayes End Drive)

Plans @ 1:100

Ground floor plan



NOTES ON SIZE AND FLOOR SPACE:

This House meets all DMHB 16 of the Hillingdon Local Plan: Part Two - Development Management Policies and Policy D6 of the London Plan (2021)

NOTES ON DESIGN:

This House is matching in all scale and size of houses on the street. It is also matching the design of a recently passed house on a different corner of the same street - Mellow Lane East.

Existing house (16 Hayes End Drive) - unchanged

Elevations portrayed as photos



Front Elevation



Side Elevation



Rear Elevation