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# 164 Harefield Road, Uxbridge UB8 1PP

## Biodiversity Net Gain Report

July 2024

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## Revision Schedule

 Biodiversity Net Gain Report  
 July 2024

Rev	Date	Details	Prepared by	Reviewed by	Approved by
1	June 2024	Draft	P Giesberg	S. Bamford	P Giesberg
2	July 2024	Final	P Giesberg	S. Bamford	P Giesberg

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## 1 Introduction

It is proposed to erect a detached three-bedroom house to the rear of 164 Harefield Road, Uxbridge UB8 1PP. Since 2 April 2024 minor development proposals are required to comply with the legislation around Biodiversity Net Gain (BNG). The BNG legislation requires that development projects lead to an improvement in measurable biodiversity. The improvements can be either on-site or where this is not feasible, off-site. Eligible small sites can use a simplified assessment tool, the Small Site Metric calculation tool (SSM) to assess and report on the impact of the proposed development. This document summarises the findings and provides more detail about the assessment and the chosen mitigation and compensation measures.

The proposed development is situated in a sub-urban residential neighbourhood in Uxbridge. (Fig. 1).

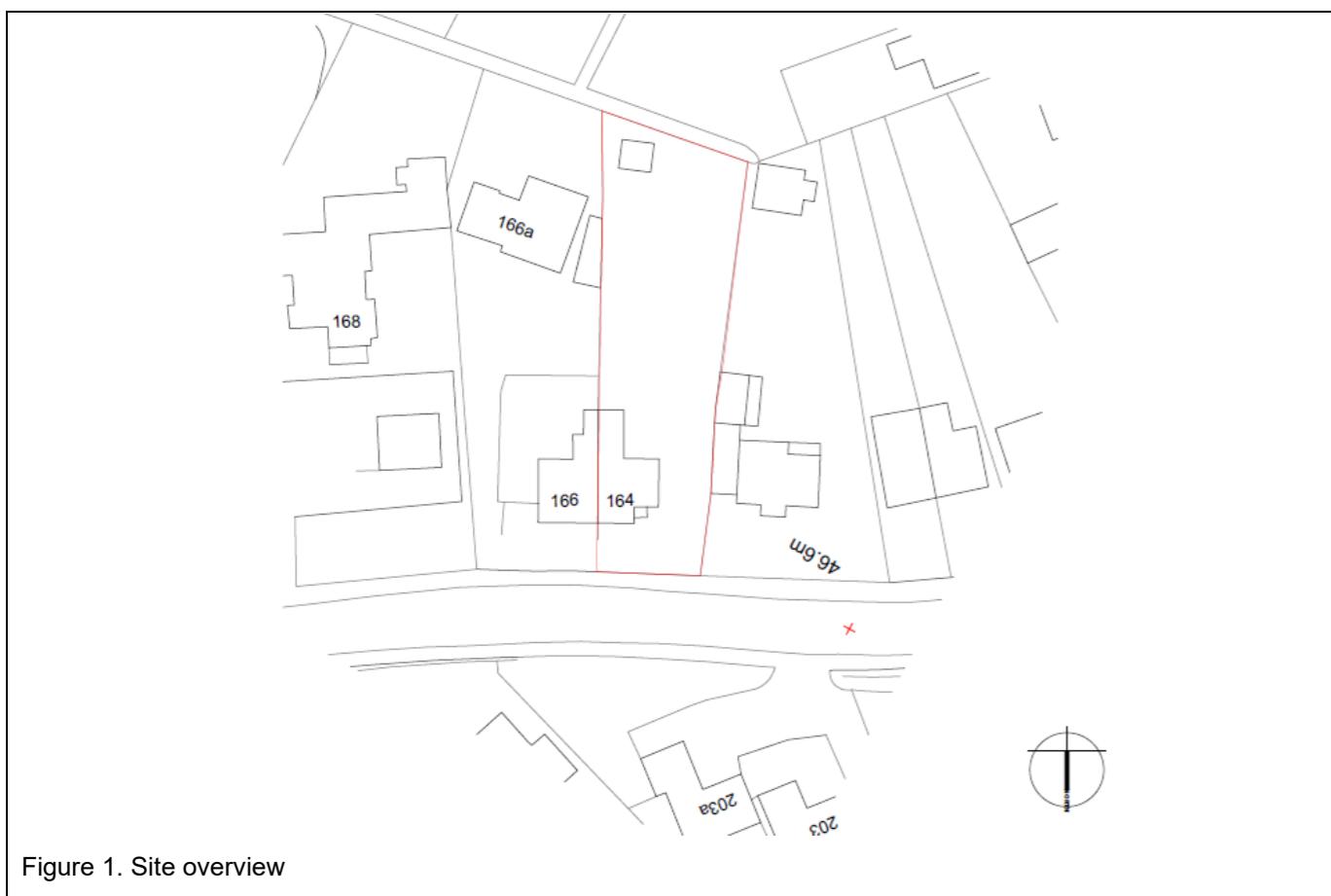


Figure 1. Site overview

The proposed development will take place entirely within the current property boundaries of 164 Harefield Road, which comprises a dwelling and ancillary access structures as well as a garden with a number of garden buildings such as sheds and greenhouse. Details are provided in appendix 1.

## 2 Methodology and assessment criteria

### 2.1 Legislation

#### Environment Act 2021

Under the Environment Act 2021, all planning permissions granted in England (with a few exemptions) except for small sites will have to deliver at least 10% biodiversity net gain from 12 February 2024. BNG will be required for small sites from 2 April 2024. BNG will be measured using Defra's biodiversity metric and all off-site and significant on-site habitats will need to be secured for at least 30 years. This sits alongside:

- a strengthened legal duty for public bodies to conserve and enhance biodiversity,
- new biodiversity reporting requirements for local authorities, and
- mandatory spatial strategies for nature: Local Nature Recovery Strategies or 'LNRS'.

To calculate the number of biodiversity units for existing habitat, or habitat enhancements to achieve BNG, the calculator called the statutory biodiversity metric tool must be used. For eligible small sites, a simplified metric, the Small Site Metric calculation tool can be used.

This tool applies the statutory biodiversity metric formula.

### 2.2 Small Sites Metric Calculation Tool

The SSM can only be used for small sites which are defined as not major developments under the Town and Country Planning (Development Management Procedure) (England) Order 2015. This means:

- residential development where the number of dwellings is between 1 and 9 on a site of an area 1 hectare or less, or if the number of dwellings is unknown, the site area is less than 0.5 hectares, or
- commercial development where floor space created is less than 1,000 square metres or total site area is less than 1 hectare, or
- development that is not the winning and working of minerals or the use of land for mineral-working deposits, or
- development that is not waste development

In certain circumstances the standard Statutory Biodiversity Metric Calculation tool should be used, even for sites that fall within the above definition of small site. These circumstances are:

- where habitats that are not available in the SSM are present on-site
  - any site containing any additional habitats (including riparian zones where relevant) not included in the SSM must use the statutory biodiversity metric calculation tool
- where priority habitats are present on-site
  - some hedgerows and arable field margins are excluded from the above as these are medium distinctiveness habitats and are included in the SSM
- where statutory protected sites or habitats are present
- where European protected species are present

If statutory protected sites or priority habitats are located within 500m of the development site boundary, consideration should be given whether an ecologist and the use the statutory biodiversity metric calculation tool are required. If it is chosen to continue to use the SSM, a section of the calculation tool must be filled in to reflect this and a warning flag will appear where this is the case.

## 3 Results and conclusion

### 3.1 Baseline

The desktop study shows that there is statutory site present within 500 m: the Fray's Farm Meadows SSSI is located 444 m to the north of the proposed development site. It is across the A42.

The Fray river itself (which is a BAP habitat in the London BAP) passes to the west of the site at a distance of 115 meters.

The nature and size of the development site, compared with the distance of the SSSI and the river Fray mean that it is unlikely that the proposed development will have an effect on the statutory site or the BAP habitat. We therefore continue to apply the SSM for the proposed development.

The site in its current condition comprises a dwelling with paving for access to parking space and garden structures, such as sheds and green house. The vegetated areas are a typical garden lawn and flower beds, although currently not well maintained. Along the boundary with 166A Harefield Road a Leylandii hedge is present. Two trees are present on the site. The plan in Appendix 2 gives an overview of the current habitats present on the site.

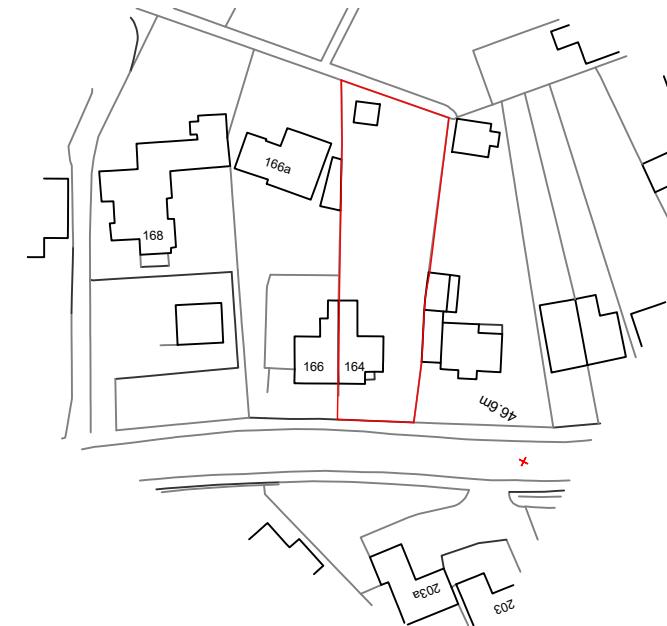
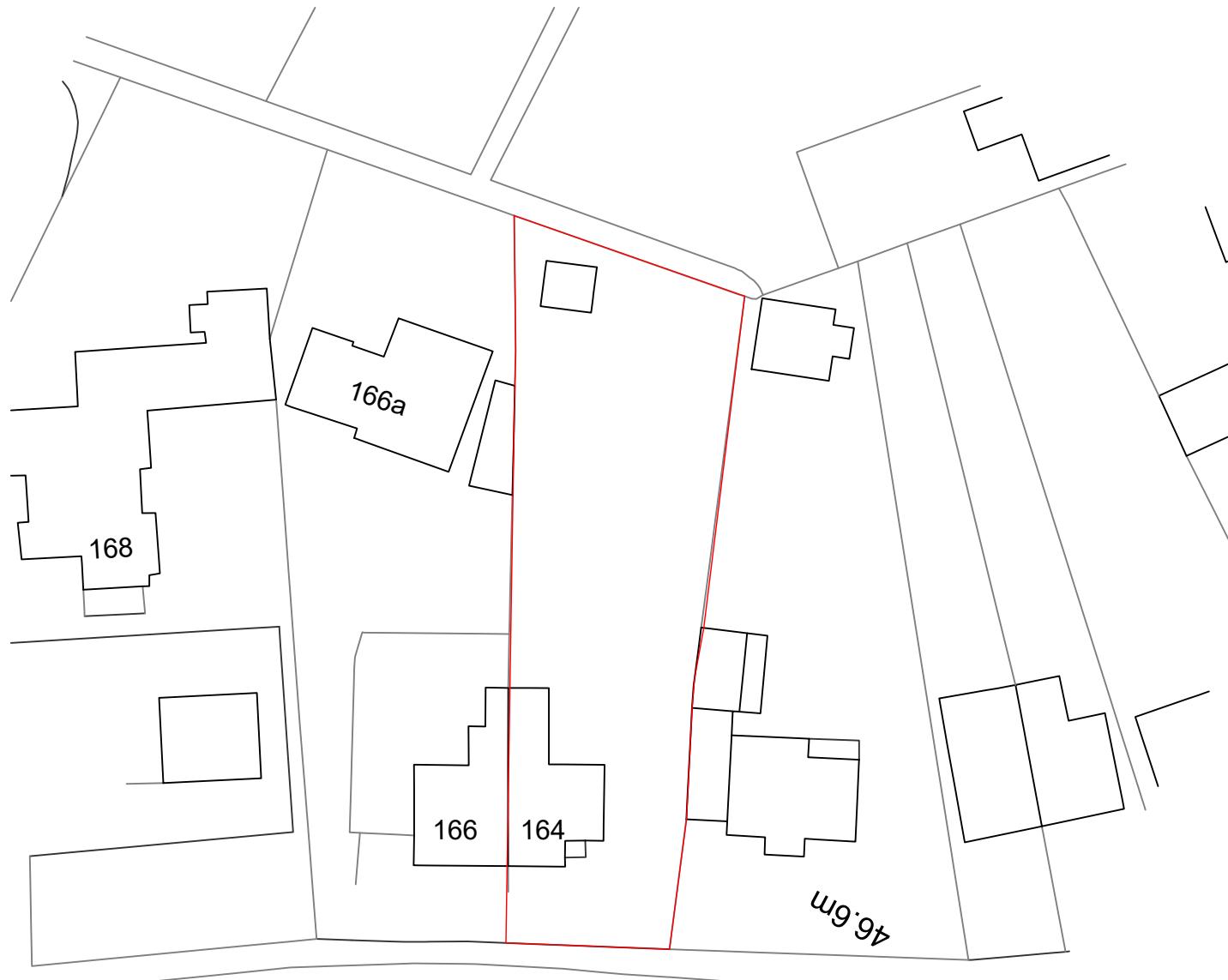
A total of 0.2761 habitat units are present on site, requiring an increase of 0.028 to meet the 10% increase target.

### 3.2 Proposed development

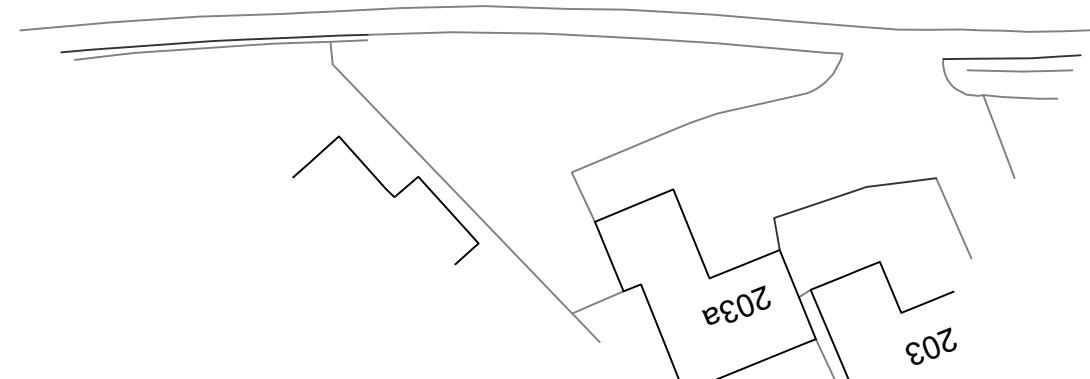
The construction of the new house and the associated access and parking space as well as the pavement in the garden will lead to a reduction in the area that is currently made up of vegetated garden. On balance the area loss is 220m<sup>2</sup> of habitat with the broad type of Urban and the specific type of vegetated garden. Both trees will be retained and the Leylandii hedgerow will be removed, and a replacement hedgerow of increased length will be provided. Within the context of a garden, it is not feasible to provide the 1 m free area on either side of the hedge, which would be required for a hedge that could be classed as native hedgerow. Therefore, the biodiversity for the hedgerow will be obtained by increasing the total length.

A total of 0.04 habitat units will be lost and with the required addition of 0.028 units the total habitat creation would be 0.078. The south facing roof space would be able to accommodate a green roof, to provide some of the habitat creation required. However, this space is reserved for a photovoltaic array. Other options are not feasible and therefore it is intended to purchase 0.078 Biodiversity Units for offsite habitat creation.

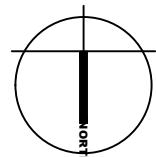
## Appendix 1. Proposed Drawings



Site Location Plan - 1:1250



Block Plan - 1:500



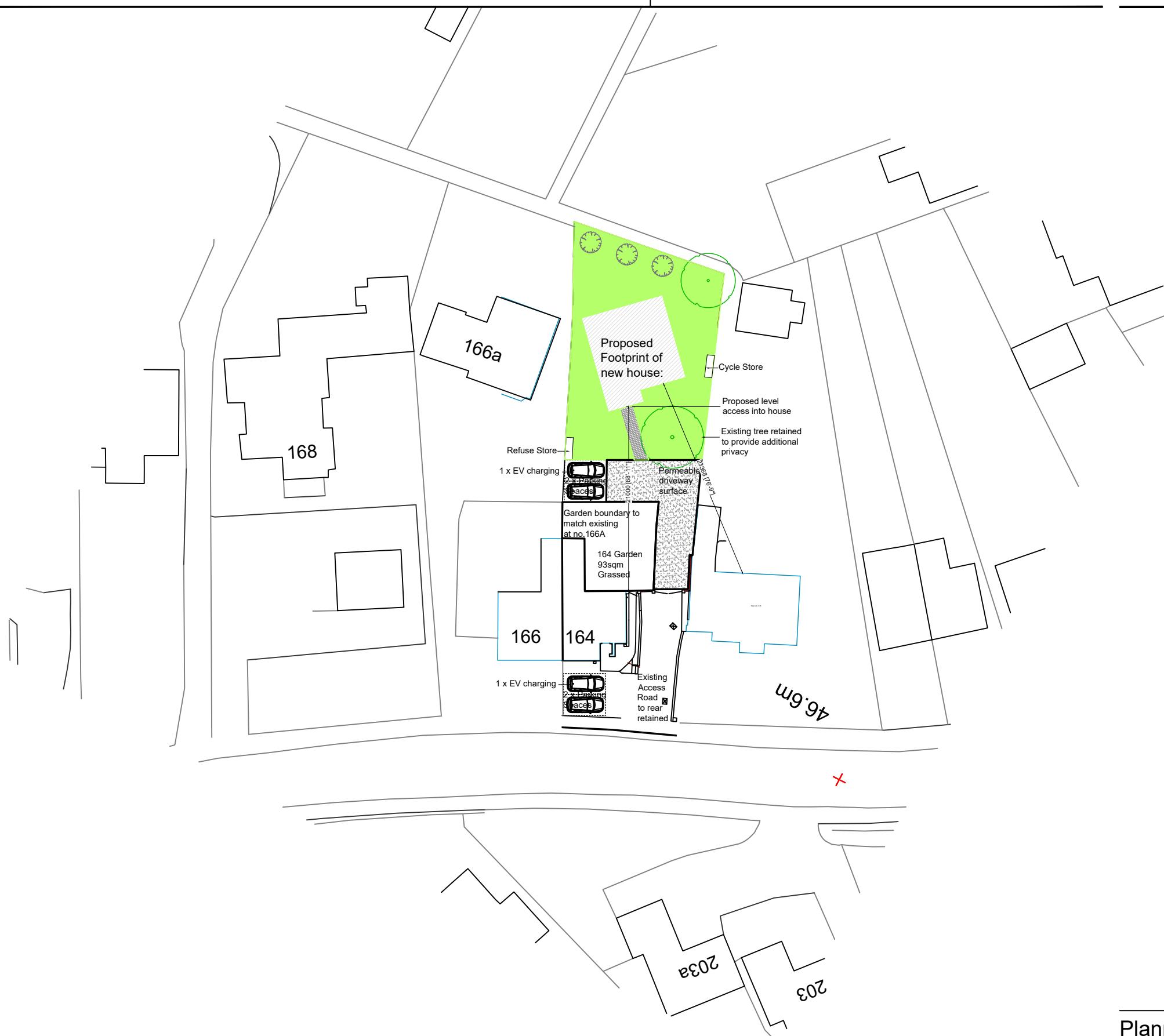
Client	Revisions
Project	
Rear of 164 Harefield Rd, UB8 1PP	
Drawing title	
Site Location & Block Plan	

London Fields Studios  
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Planning

File reference	23777 - F00	Date drawn	
Drawn by	FN	July 2024	
Checked by	RP	Date checked	4/7/24
Scale at A3	Project number	Drawing number	Revision
1:1250/500	23777	100	



Client

Revisions

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 1:200 scale 0 1 2 3 4 5 6 7 8 9 10  
 1:100 scale 0 1 2 3 4 5 6 7 8 9 10  
 1:50 scale 0 1 2 3 4 5

Project

Rear of 164 Harefield Rd, UB8 1PP

Drawing title

Proposed Site Plan

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FN July 2024

Checked by Date checked

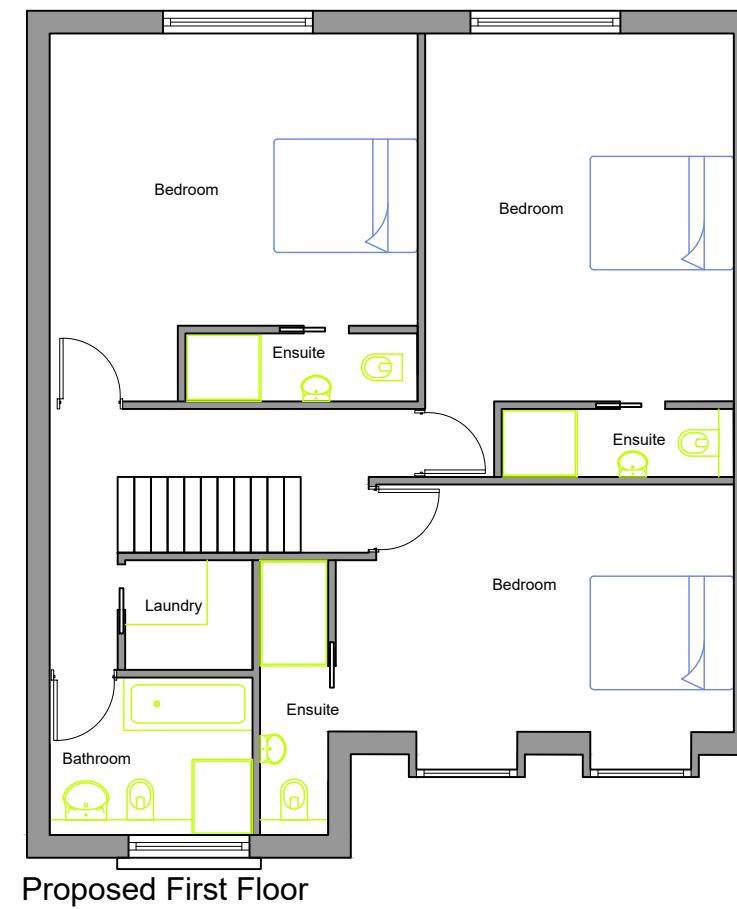
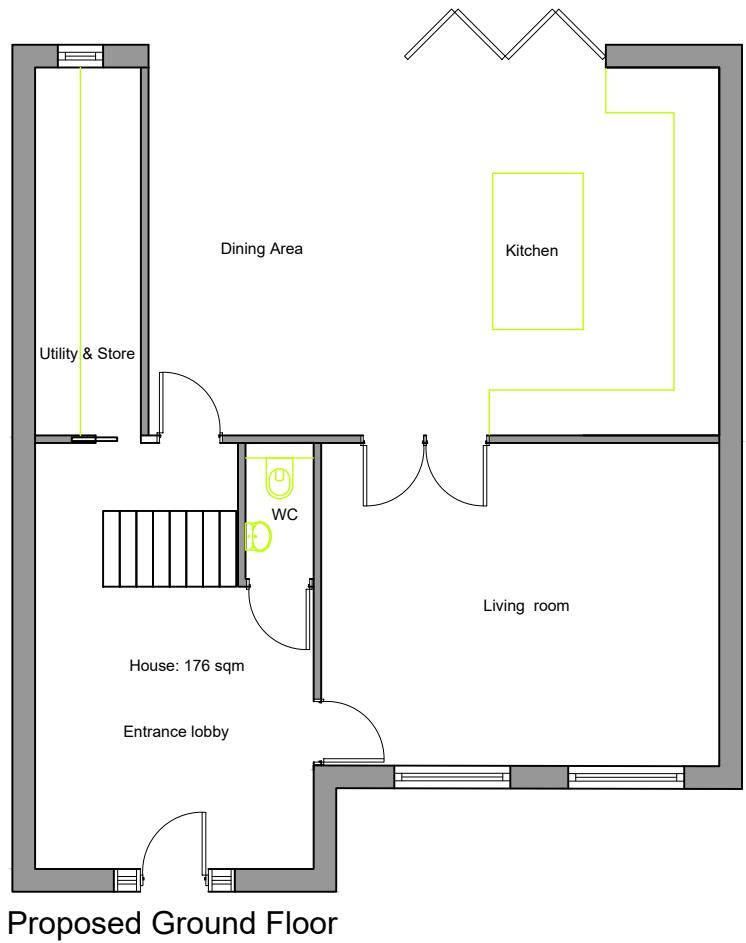
RP 4/7/24

Scale at A3 Project number

1:500 23777

Drawing number Revision

102



Client  
Project  
Drawing title  
Rear of 164 Harefield Rd, UB8 1PP  
Proposed Ground & First Floor

Revisions

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1:50 scale	0			1	2	3	4	5	6	7	8

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Drawn by	Date drawn
FN	July 2024
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RP	4/7/24
Scale at A3	Project number
1:100	Drawing number
	Revision
	110



Proposed Front Elevation

Client

Revisions

Project

Rear of 164 Harefield Rd, UB8 1PP

Drawing title

Proposed front elevation

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 1:100 scale 0 1 2 3 4 5 6 7 8 9 10  
 1:50 scale 0 1 2 3 4 5 6 7 8 9 10

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Date drawn

FN

July 2024

Checked by

Date checked

RP

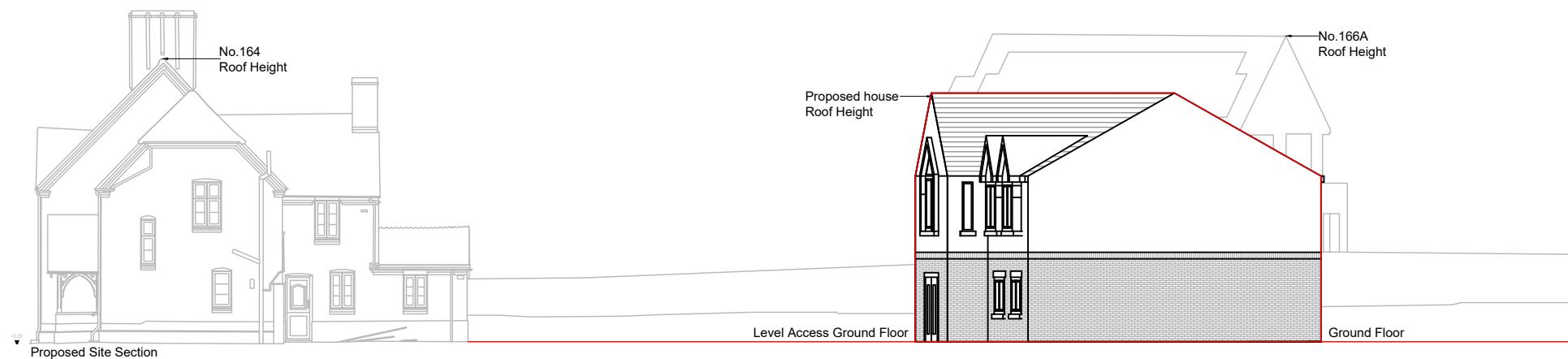
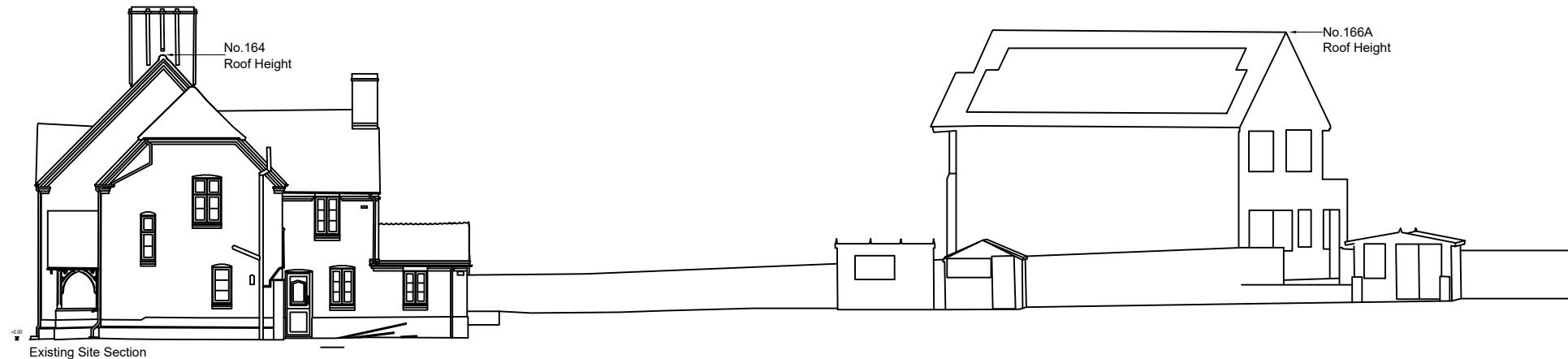
4/7/24

Scale at A3 Project number

1:50 23777

Drawing number

200 Revision



Client

Revisions

Project

Rear of 164 Harefield Rd, UB8 1PP

Drawing title

Existing & Proposed Site section

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 1:200 scale 0 1 2 3 4 5 6 7 8 9 10  
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 1:50 scale 0 1 2 3 4 5 6 7 8 9 10

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Date drawn

FN

July 2024

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4/7/24

Scale at A3

Project number

1:200 23777

Drawing number

112

## Appendix 2 Current Habitat Overview



## Appendix 3 Proposed Habitat Overview

