

STUDIO COLAB

**PLANNING STATEMENT
3 VANTAGE MEWS
NORTHWOOD HA6 2PW**

ISSUED: 14 AUGUST 2023

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1.0 INTRODUCTION

1.1 Project Summary

This design and access statement has been prepared by Studio Colab to accompany our full planning application for 3 Vantage Mews and should be read along with the existing and proposed drawings.

It provides a detailed description of the proposal including:

- Single storey rear extension with timber sliding doors and roof light
- Conversion of Garage to Habitable Space with rear Rear Roof Extension and rooflight
- Changes to fenestration including front door, first floor rear window.

This document sets out the contextual analysis, design development, and key urban design principles that have informed the scheme.

1.2 Site and Location

The site is situated in the London borough of Hillingdon within Northwood.

The property is situated within terrace of a block of three with an identical block to the immediate North forming a small residential mews. The property is not listed, is not in a conservation area, no tree protection orders and list not recognised as an area of special interest.



Fig 1.1 Aerial view of the property looking North-West.

The area to the front has a small garden area with off-street parking and garage.

To the rear is a modest sized garden laid to lawn with a small section of paved patio with an existing conservatory. There are mature trees to the end of the garden and a shed to the side of the dwelling on the Western boundary.

The street scene is residential in character and appearance with identical terrace dwellings on Vantage Mews. The surrounding area is mainly residential comprising of similar blocks of residential developments off Green Lane.

The application site lies within the ‘Developed Area’ as identified in the Hillingdon Local Plan: Part One - Strategic Policies (November 2012).

1.3 Existing Areas to Proposed Area

Accommodation Gross Internal Area

Existing Ground Floor [Including Garage]	82 sqm
Existing First Floor	50 sqm
Existing Second Floor	34 sqm
Total Existing GIA	166 sqm
Proposed Ground Floor	87 sqm
Proposed First Floor	64 sqm
Proposed Second Floor [No Change]	34 sqm
Total Proposed GIA	175 sqm
Total Increase GIA	19 sqm



Fig 1.2 Aerial view of the property looking South-East.



Fig 1.4 Aerial view of the property looking North-East.



Fig 1.3 Aerial view

2.0 EXISTING PROPERTY

2.1 Property External

The block of terraces which forms the development on Vantage Mews was built in 2006.

No. 3 is a three storey property set under a hipped roof.

The facade elevations are yellow stock brick in Half lap bond and natural colour mortar. The principal elevation faces East with side access to the rear garden via the garage.

The garage is recessed from the façades of No. 3 and No. 4. Although the garage is wholly within No. 3's boundary, the garden boundary line is inset to the rear which is denoted by the garden fence.

The roof is constructed from slate tiles with twin skylights to the front facade and a dormer window to the rear which is typical of the properties in the row. Stepped lead flashing is consistent throughout the roof to parapet wall junctions.

No.3 has a conservatory built to the rear likely built at the same time of the rest of the property and shows signs of raising damp externally.

The front windows are white sash, and rear and side windows white casement.

There is a hidden external drain to the rear garden.

The topography of the land pitched down from the rear of the boundary to the property and continues to the street.

The parapet party walls between No. 2 and No. 3 show signs of efflorescence / salt deposit.



Fig 1.6 Garage Front



Fig 1.7 Front elevation



Fig 1.5 Rear facade



Fig 1.8 Conservatory

2.0 EXISTING PROPERTY

2.2 Property Internal

The house appears to be in good condition. The ground floor includes a guest WC at the entrance, open plan living room dining area and a newly refurbished kitchen. The glass conservatory has previous generation double glazing which has no solar control specification as a result has poor insulation properties during winter, and suffers from solar gain in the summer.

Blinds have been installed to control the level of natural light into the conservatory, however there is evidence of UV bleaching on natural timber floor.

The garage is accessible from the front of the property which allows secondary access to the garden.

The garage loft has inadequate joist depth and span to support a persons weight, however can be utilised for light storage.



Fig 1.9 Living Room



Fig 1.11 TV Area



Fig 1.10 Garage Utility



Fig 1.12 Garage Roof

2.0 EXISTING PROPERTY

2.3 Special Local Character, Conservation and Tree Protection Order

Map indicates that 3 Vantage Mews is not within a Conservation Area, outside of the Areas of Special Local Character and no TPO's are on the site.

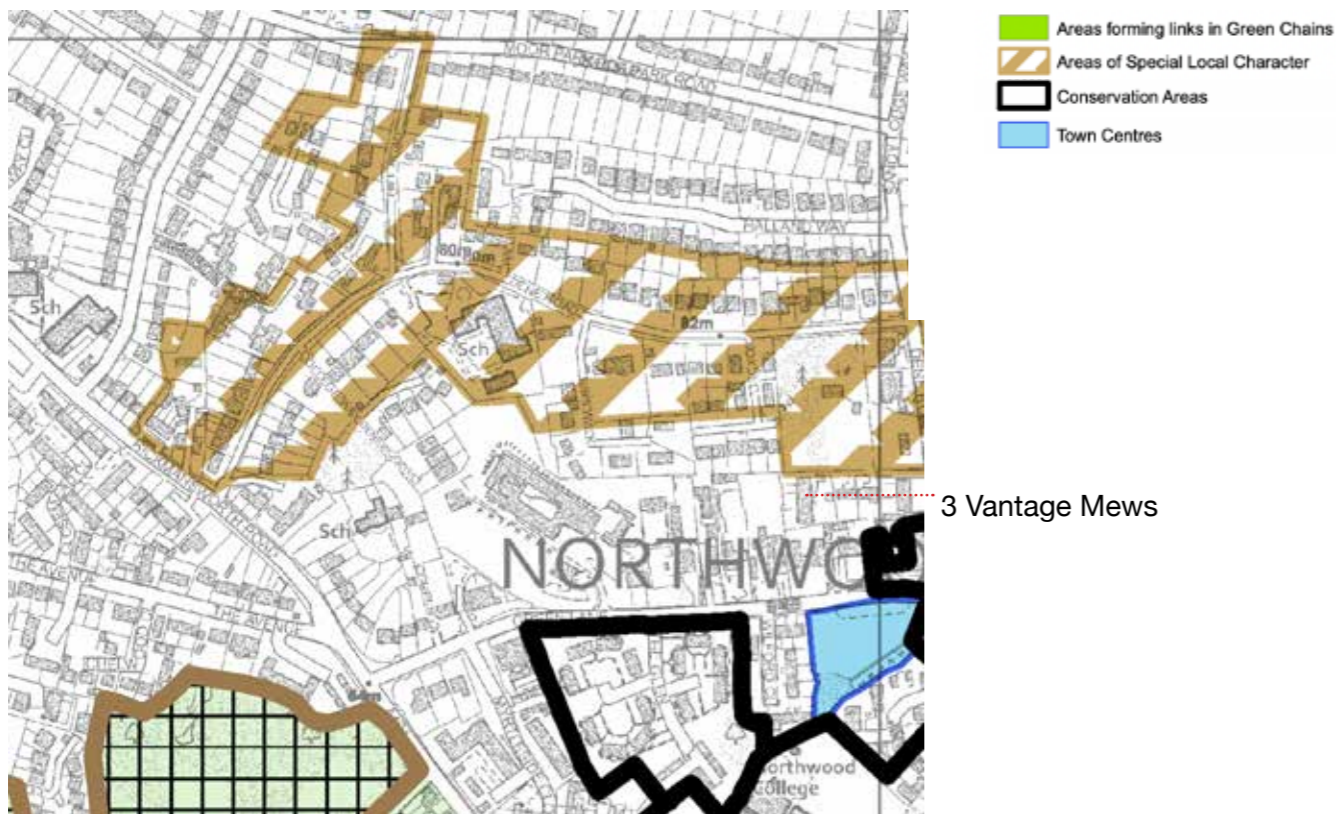


Fig 1.13 London Borough of Hillingdon Local Plan Part 2 Policies Map Adapted Version.



Fig 1.14 London Borough of Hillingdon Protected Trees

2.4 Flood Risk Plan

Map indicates that 3 Vantage Mews is not within a flood risk zone. This means that there is less than 0.1% chance of flooding each year. This takes into account the effect of any flood defences in the area. These defences reduce but do not completely stop the chance of flooding as they can be overtopped or fail.
 Surface Water Flooding: Low Risk
 Rivers and the Sea: Very Low Risk
 Flooding from reservoirs or Groundwater: Unlikely in the area.

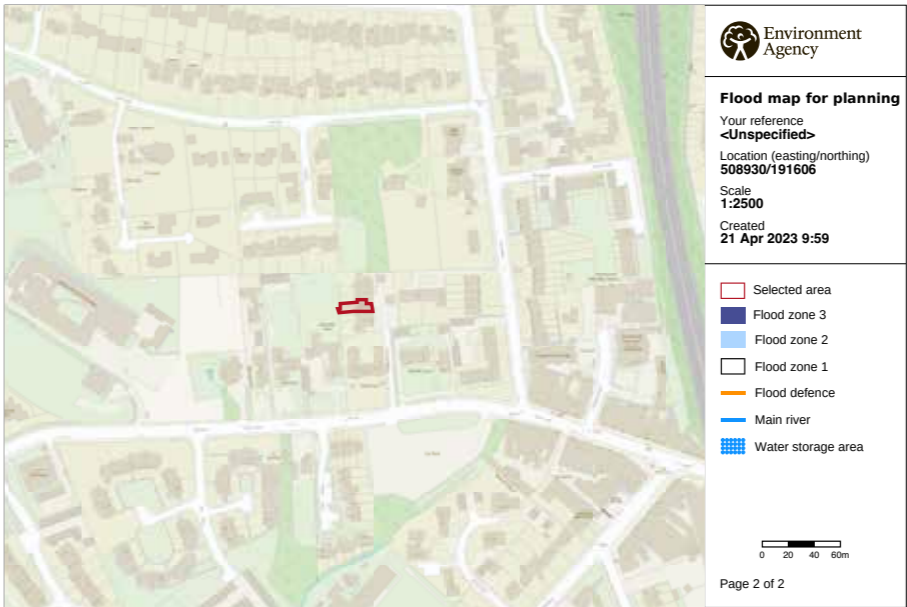


Fig 1.15 Flood Risk Plan - Sea, river or reservoir



Fig 1.16 Flood Risk Plan - Surface Water

3.1 Relevant Garage Extension

No. 44 Dene Road’s application for a two storey side and rear extension is similar to our proposal where the original garage was converted into habitable space along with an additional level above the garage.

However where this development can be seen from the front elevation on Dene Road, the proposal at No. 3 will have minor changes to the front elevation.

The new east extension includes extension and alteration to the main property roof with an addition of converting the main ridge to a flat roof and skylights to the front elevation.

Appeal Inspectors notes:

-Changes and extensions to the front of the house is minor and not alter te overall appearance of the house or dominate the character of the street.

-The width and depth of the original projection has not meterially changes. Additional height of 0.4m is relatively modest whilst not adding significant bulk.

- Height of ridge and eaves are not excessive by referenceto neighbour.

- Two storey rear projection serves significantly limited views and it cannot be seen from Dene Road.

Key

- Original Building Outline
- Original Garage Outline

	PRE-2018	2018 - PRESENT
FRONT ELEVATION		
REAR ELEVATION		
EAST ELEVATION		
WEST ELEVATION		
	Fig 1.17 No. 44 Dene Road - Elevations Pre-2018 Planning App Ref: 2018-2049	Fig 1.20 No. 44 Dene Road - Planning App Elevations Planning App Ref: 2018-2049



Fig 1.18 No. 44 Dene Road Original



Fig 1.19 No. 44 Dene Road 2023

3.0 PLANNING CONTEXT

3.2 Relevant Rear Extension

No. 6 Vantage Mews’ application for a single storey rear extension is similar to our proposal. The new rear extension demolishes the existing conservatory, replacing it with a metal clad single storey rear extension with lantern roof light.

The design in terms of scale, form and architectural composition of the original building harmonises with the existing street scene.

The materials of the extension does not detract from the original property.

Both height 3m and depth of 3m appear subordinate to the main property.

The proposed habitable rooms and those altered by the extension would maintain an adequate outlook and source of natural light.

Key

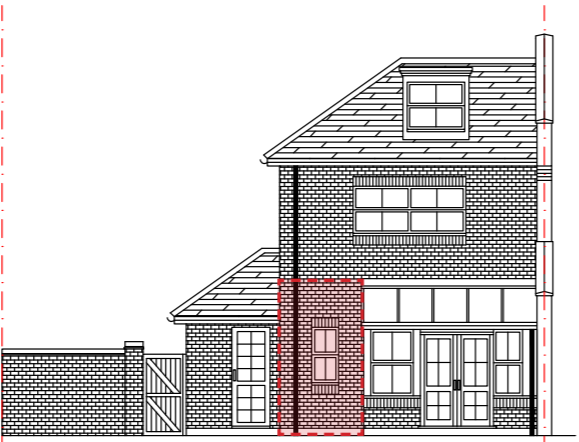
New Extension Footprint



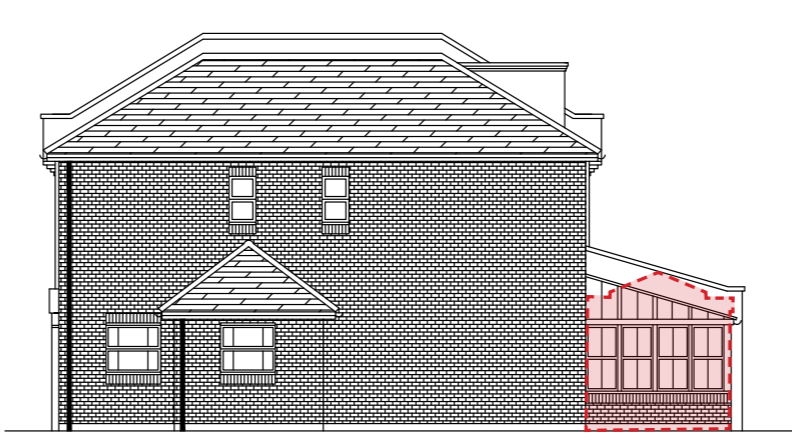
Fig 1.23 No. 6 Vantage Mews 2023



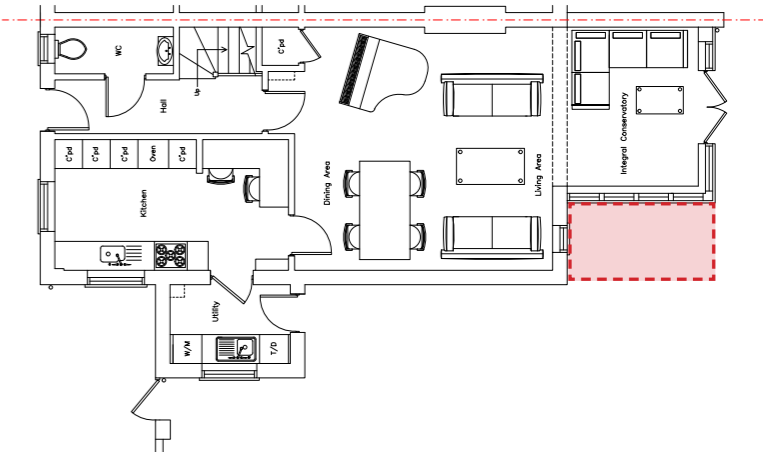
EXISTING FRONT ELEVATION



EXISTING REAR ELEVATION



EXISTING SIDE ELEVATION

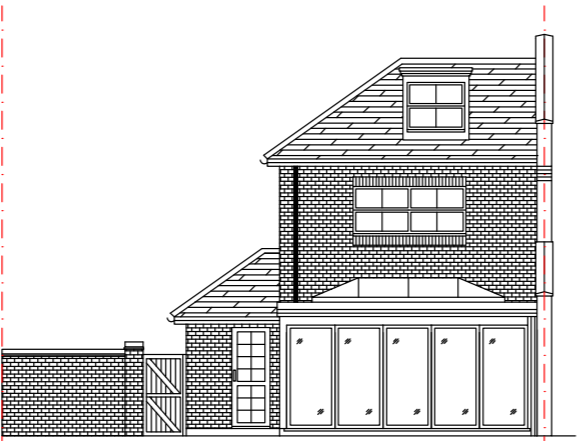


EXISTING GROUND FLOOR PLAN

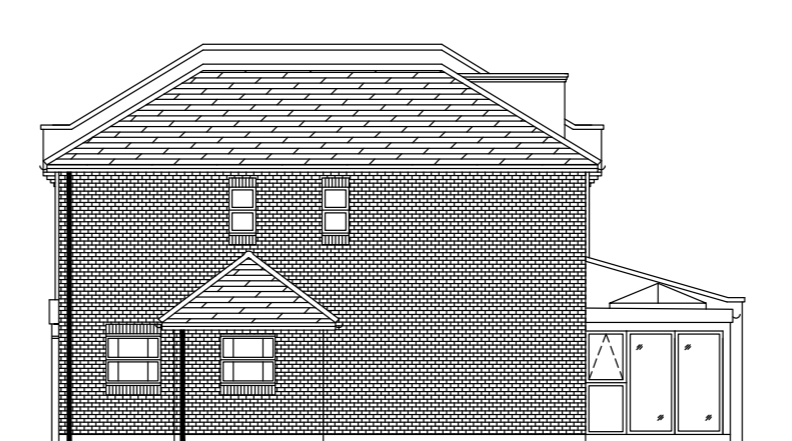
Fig 1.21 No. 6 Vantage Mews As Built Elevations



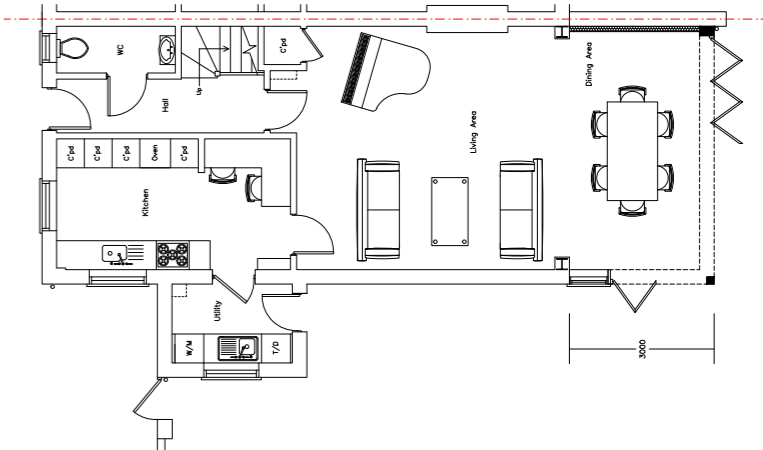
PROPOSED FRONT ELEVATION



PROPOSED REAR ELEVATION



PROPOSED SIDE ELEVATION



PROPOSED GROUND FLOOR PLAN

Fig 1.22 No. 6 Vantage Mews - Planning application Elevations Ref: 2018-2049

4.0 PROPOSED PROPERTY

4.1 Single Storey Rear Extension with rooflight

Size:

The proposal includes plans to demolish the existing conservatory for a new rear extension increases the width of the extension from 3.7m to 5.4m increasing the floor area by 5m² whilst maintaining a depth of 3.3m and height of 3.35m

Materials:

The existing conservatory is yellow brick and white PVC casement windows, doors and rooflight.

The proposed rear extension facades are to be built in yellow brick, timber framed sliding doors. The roof will be GRP and double glazed high efficient rooflights.

4.2 Conversion of Garage to Habitable Space with Rear Roof Extension and Rooflight

The design proposes to convert an existing garage to a utility, snug and study to create a modern space that meets the homeowners needs.

The rear roof extension to the garage has been designed to not change the appearance of the garage from the street level.

The existing garage is 5m in height, the proposal extends the rear roof matching the existing 5m ridge height of the garage roof. The rear yellow brick wall will be extended to the ridge height of the eaves raising by 2.6m.

The materials would be matching the existing garage, and replacing the white PVC doors with a double glazed timber framed door with a side hung window above to the study.

The front garage roof will be matching the existing tiles, with the rear roof extension being GRP and glazed rooflight with the pitch falling to the front of the property to reduce the appearance.

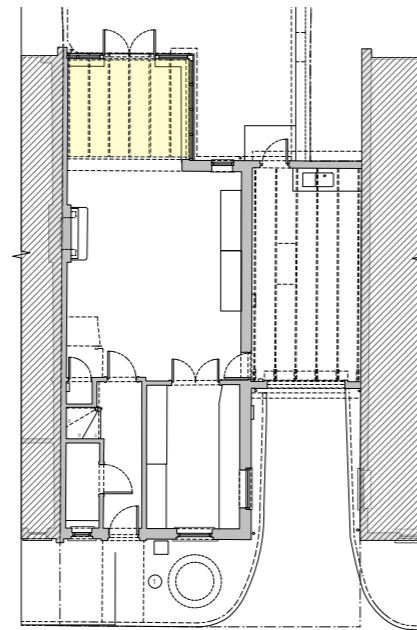


Fig 1.24 Existing Ground Floor

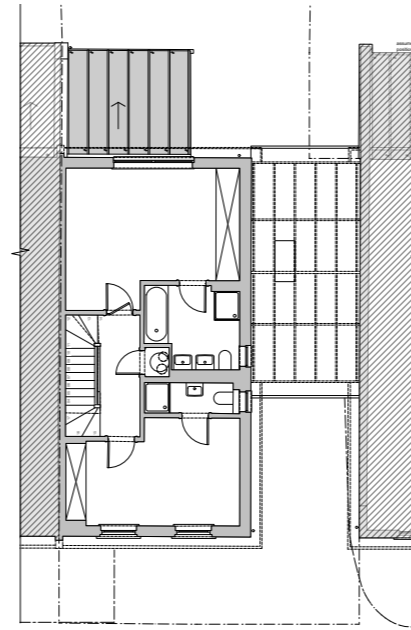


Fig 1.26 Existing First Floor



Fig 1.28 Existing Rear Elevation

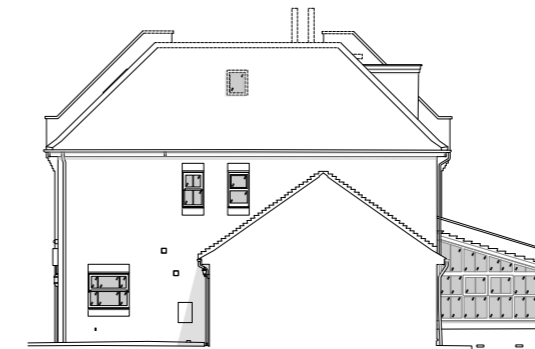


Fig 1.30 Existing Side Elevation

4.3 Change to fenestration – Front door, first floor rear window

It is proposed that the garage door is replaced with a thermally efficient timber door with high level double glazed panes.

The first floor rear bedroom window is proposed to be replaced with a double glazed timber sliding window to improve the thermal efficiency of the existing window and can act as a secondary means of escape for the upper floors.

The front door is proposed to have additional high level windows to allow more light into the entrance hallway.

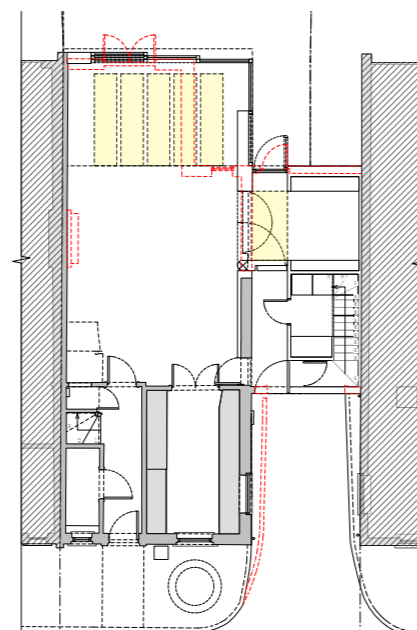


Fig 1.25 Proposed Ground Floor

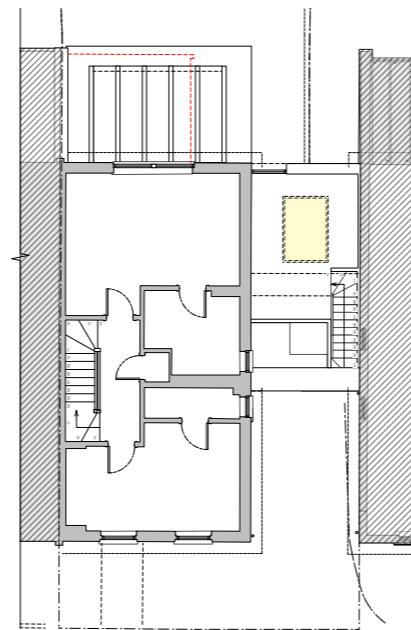


Fig 1.27 Proposed First Floor

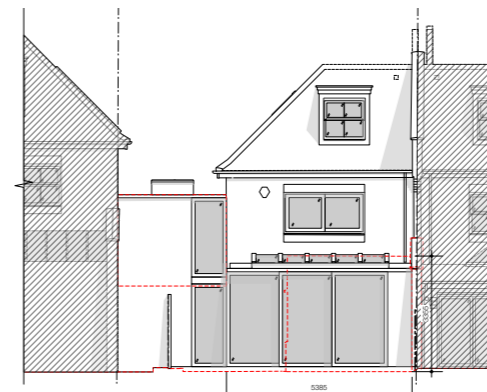


Fig 1.29 Proposed Rear Elevation

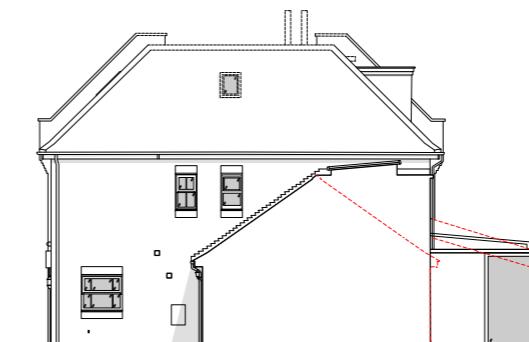


Fig 1.31 Proposed Side Elevation

4.0 PROPOSED PROPERTY

4.4 Relevant Planning Policies

National Planning Policy Framework (NPPF)
June 2019

Chapter 11 - Making effective use of land
Chapter 12 - Achieving well-designed places
Chapter 16 - Conserving and enhancing the historic environment

The London Plan 2021

Policy 7.1 -Building London's Neighbourhoods and communities
Policy 7.4 - Local character
Policy 7.6 – Architecture
Policy 7.8 - Heritage

City Plan 2019 - 2040 (April 2021)

Policy 38. Design principles

A. New development will incorporate exemplary standards of high quality, sustainable and inclusive urban design and architecture befitting Westminster's world-class status, environment and heritage and its diverse range of locally distinctive neighbourhoods.

The design meets this policy.

Hillingdon Unitary Development Plan Saved Policies (September 2007)

Hillingdon Local Plan (2012) Part 1

PT1.BE1 (2012) Built Environment

Achieve a high quality of design and enhances the local distinctiveness of the area. Make a positive contribution to the local area in terms of layout, form, scale and materials and seek to protect the amenity of surrounding land and buildings, particularly residential properties.

Not result in the inappropriate development of gardens and green spaces that erode the character and biodiversity of suburban areas and increase the risk of flooding through the loss of permeable areas.

The design meets this policy.

PT1.HE1 (2012) Heritage

Conserve and enhance Hillingdon's distinct and varied environment, its settings and the wider historic landscape.

Locally recognised historic features, such as Areas of Special Local Character and Locally Listed Buildings

The design meets this policy.

AM14 New development and car parking standards

New development will only be permitted where it is in accordance with the Council's adopted Car Parking Standards. These require a maximum provision of three off-street parking spaces for each dwelling.

The design meets this policy.

BE13 New development must harmonise with the existing street scene

Development will not be permitted if the layout and appearance fail to harmonise with the existing street scene or other features of the area which the local planning authority considers it desirable to retain or enhance.

The design meets this policy.

BE15 Alterations and extensions to existing buildings

Proposals for alterations and extensions to existing buildings will be permitted where they harmonise with the scale, form, architectural composition and proportions of the original building.

The design meets this policy.

BE 19 New development must improve or complement the character of the area

The design meets this policy.

BE 20 Daylight and sunlight considerations

The design meets this policy.

BE 21 Siting, bulk and proximity of new buildings/extensions

The design meets this policy.

BE 23 Requires the provision of adequate amenity space

The design meets this policy.

BE 24 Requires new development to ensure adequate levels of privacy to neighbours

The design meets this policy.

BE 38 Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.

The design meets this policy.

HDAS-EXT Residential Extensions, Hillingdon Design & Accessibility Statement, Supplementary Planning Document, adopted (December 2008)

LPP 3.4 (2015) Optimise housing potential
LPP 3.5 (2016) Quality and design of housing developments

The design meets this policy.

LPP 7.4 (2016) Local character

The design meets this policy.

NPPF7 NPPF - Requiring good design

The design meets this policy.

Hillingdon Local Plan (2020) Part 2

DMHB 11 Design of New Development

The design meets this policy.

DMHB 12 Streets and Public Realm

The design meets this policy.

DMHD 1 Alterations and Extensions to Residential Dwellings

The design meets this policy.

LPP D4 (2021) Delivering good design

The design meets this policy.

LPP D6 (2021) Housing quality and standards

The design meets this policy.

NPPF12 NPPF 2021 - Achieving well-designed places

The design meets this policy.

4.5 Scale

The proposed rear extension would be of an appropriate scale and massing, and would be subservient to the host dwelling.

The height will be matching the existing conservatory height and the depth will match the existing depth of the boundary parapet wall.

The rear roof extension to the garage will not be visible from Vantage Mews main road with the new flat roof matching the existing height of the garage roof ridge.

The garage rooflight will pitch towards the front elevation to minimise the visibility from the street.

4.6 Appearances and Materials

The proposed materials have been carefully considered to ensure it is both sympathetic and respectful of the existing character of the building and the wider scale and context of the conservation area setting.

Yellow bricks are proposed to be used for the facade of the rear extension flank wall and the raised garage wall to the rear.

Timber frame double glazed doors will allow access to the rear garden.

4.7 Access

The layout of and access to the property remains unchanged as the works are localised to the rear of the ground floor.

The secondary access from the front to rear of the property is maintained and improved by altering the raised curb to the side of the main house. The minor alteration to the raised curb will help improve pedestrian and wheelchair access from the main road.

4.8 Landscaping

The proposal includes minor alterations to the front driveway including partial removal of the raised curb to create a wider level access to the converted garage. The rear patio will maintain the existing hardstanding however additional surface water drainage will be incorporated into the level threshold from the rear doors to patio.

4.9 Parking Provision

The development looks to maintain the existing parking to the front of the garage and therefore has no impact on any parking on the road generally.

4.10 Summary

It may be reasonable to conclude that the proposals within this application will achieve an overall enhancement of the property and the immediate context securing its need for a growing family and a positive contribution to the area.