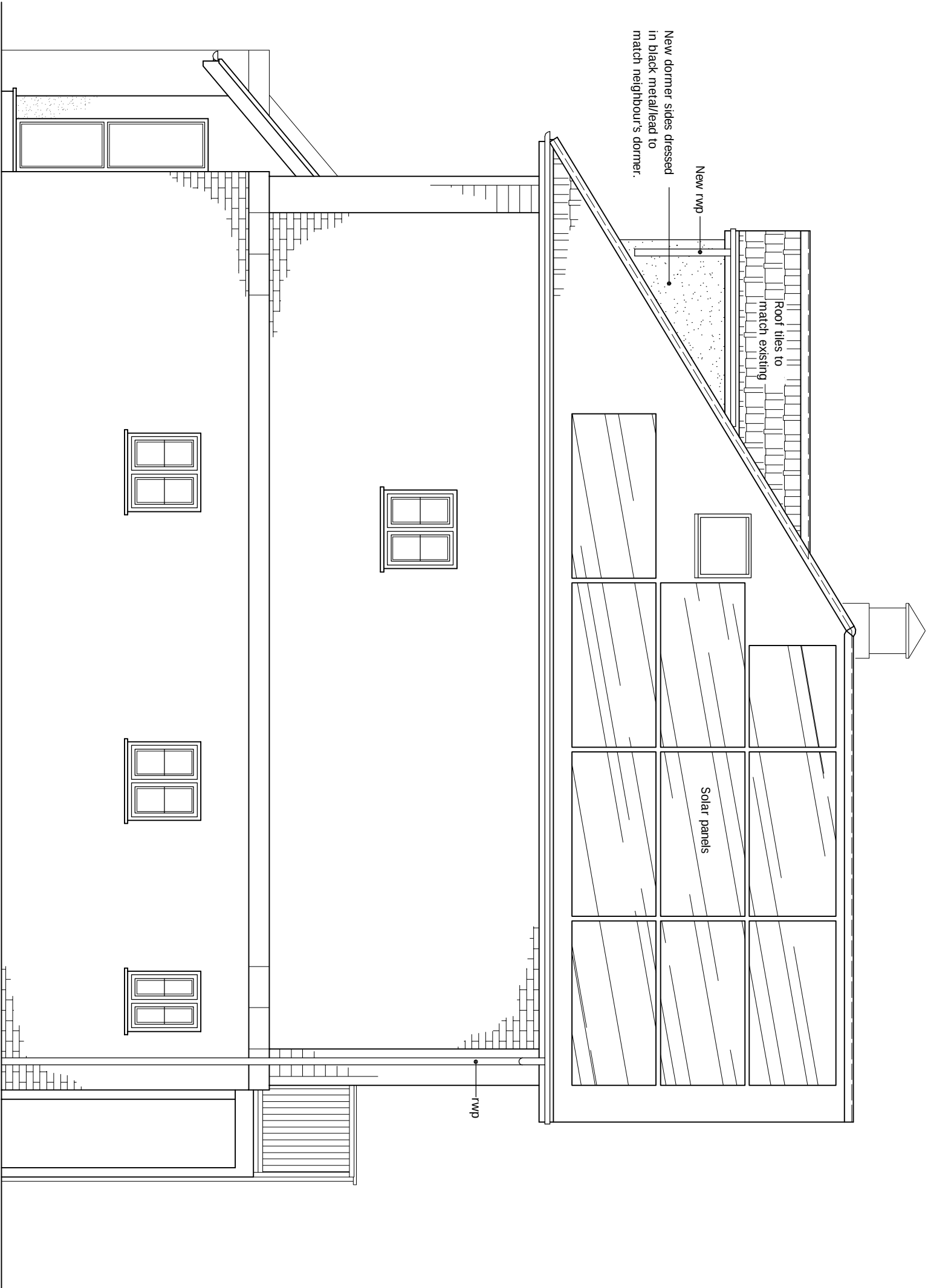


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ALL STRUCTURAL ELEMENTS (such as beams, lintels, joists, rafters, columns, walls, foundations and etc.) SHOWN ON DRAWINGS ARE ONLY INDICATIVE. THEY ARE SUBJECTED TO FURTHER STRUCTURAL ENGINEER'S CONSIDERATION.

DRAWING STATUS	CONSTRUCTION
REV.	DATE
NAME	DESCRIPTION

Architectural Design Studio

4 ST ANNES, DORIC WAY,
EUSTON, LONDON NW1 1LG
+44 07838 135 957

GENERAL NOTES:
Any dimensions shown are indicative only and are subject to verification on site. The contractor to set out, check, and co-ordinate all dimensions on site during the course of the works and prior to setting out on site. This drawing to be read in conjunction with all other Architect's and Engineer's drawings, Structural Engineer's calculations and any specialist supplier's drawings. Homeowner is responsible and should ensure that all working drawings and calculations are completed, approved by Building Control or Planning Departments & that they are the current revised drawings before any works start on site.
2. Inform the Building control department that the works are about to commence on site after receiving on approved decision from planning / building control in writing for your proposed works.
3. Verify boundary lines & ground conditions including checking positions and new connections of all gas, electricity, water, drainage, and other services. If any services are found to be in conflict with the proposed works, the contractor to advise the homeowner and the architect in writing before any works commence.
4. DPL are not responsible for building changing design methods from proposed works. The client is responsible for checking land ownership even if drawings have been approved by the planning and building control departments. If uncertain a land search should be carried out by the homeowner/contractor.
5. DPL is not responsible for checking existing materials and components supplying details, costs for any additional structural design change on site from the start to end of building works requested by building control or any other third party's instruction during building works.
6. Request a copy of the Party Wall Award where works affect party wall or involve excavations within 3 meters of adjoining buildings or building over a public sewer. (Clients responsibility)

7. Where works involve demolition to ensure that all elements of the building and adjoining structures are accounted for and that all necessary propping and temporary supports are in place. Do not scale off this drawing as the scaling may be off.
8. Works carried out under a building notice or prior to approval of drawings are at the contractor/owner's risk. (all DPL drawings must be approved before works commence) and the architect is not responsible for the safety of the works. The architect's drawings and calculations are fully responsible for the likelihood of condemned works.
9. Any discrepancies, either between written and site dimensions or between this drawing and other consultant's or suppliers drawings, should be brought to the immediate attention of DPL before executing the structural, drainage, mechanical and electrical works. If the discrepancy is not brought to the attention of DPL, the architect is not responsible for the safety of the works. The architect is not responsible for the safety of the works. The architect is not responsible for the safety of the works.
10. All of DPL structural drawings are subject to building control approval. If the building control department is not satisfied with the drawings, the architect is responsible for the safety of the works. The architect is not responsible for the safety of the works.
11. All work / jobs have to be carried out in accordance with the latest appropriate codes of practice and to comply with current building regulations.
12. All drawings connections is assumed & is subject for checking by builder, Thomas will & building control, then water before works commence.

OTHER NOTES:
All new proposed roof and wall finishes on this drawing to match existing materials. All new proposed windows and doors to be supplied by the contractor. The contractor to ensure that the proposed windows shown on this drawing which overlook other property's are designed to be non opening and of obscure glazing. For a permitted development left design the dormer designed on this drawing is set back from the eaves by 200mm, this note is a confirmation that it is designed this way. All works to be carried out in accordance with the latest appropriate codes of practice and to comply with current building regulations.
No inspection of the underground drainage was not possible on survey. Contractor should check drainage runs and ensure that they are in good condition. If any drainage issues are found, the contractor should advise the architect in writing before any works commence.
THIS DRAWING, CONTENT INCLUDING NOTES IS BOND TO SIGNED AGREED CONTRACT BETWEEN CLIENT & DISCOUNT PLANS LTD

SITE ADDRESS
19 MILL DRIVE,
RUISLIP, MIDDLESEX, HA4 7GL

DRAWING TITLE
PROPOSED DRAWINGS

DRAWN AT HEAD OFFICE

DRAWN BY

SCALE AS SHOWN @ A3

02. AUGUST. 2023

DRAWING NO.

REVISION

DPL . 07 .

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