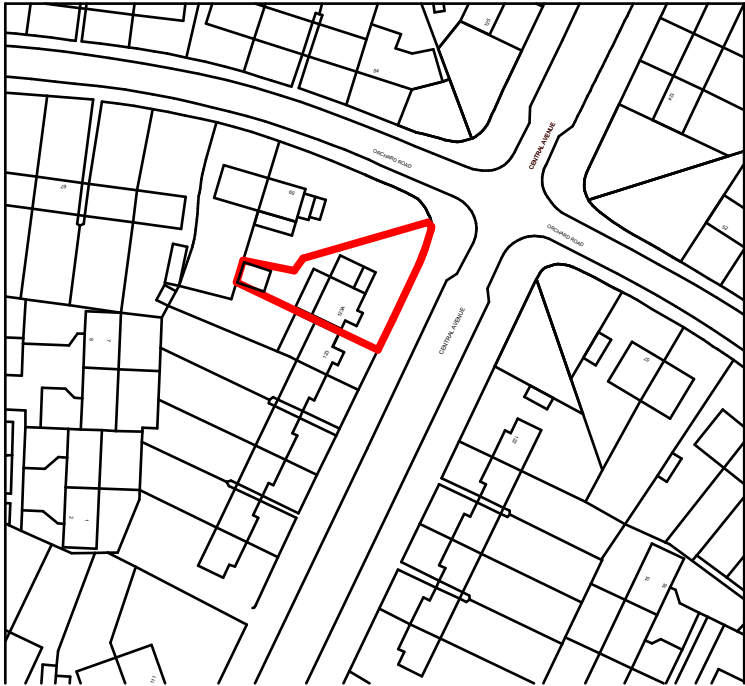


Location Plan2

Proposed Block Plan

1:500



Existing

SitePlan

1:1250

Existing Site Area - 330Sqm

Existing double storey extension GIA - 34.98Sqm

Proposed Site Area of new developement - 158.5Sqm

New Development GIA - 58.14Sqm 1 bed / 2 person
required area 58 Sqm

Wall Ledgend

- Existing Wall
- Proposed Wall
- Demolition Walls

1:100



N



Notes:
1. THIS DRAWING IS COPYRIGHT AND MUST NOT BE RE-PRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION.
2. THIS DRAWING MUST NOT BE SCALED. REFER TO FIGURED DIMENSIONS ONLY, EXCEPT FOR PURPOSE OF CONSIDERATION UNDER PLANNING LEGISLATION.
3. USE FIGURED DIMENSIONS ONLY. ALL DIMENSIONS AND LEVELS TO BE CHECKED ON SITE PRIOR TO CONSTRUCTION. CLIENT TO BE NOTIFIED OF ANY DISCREPANCIES.
4. THIS DRAWING TO BE READ IN CONJUNCTION WITH THE OTHER RELEVANT PROJECT DRAWINGS AND CURRENT INSTRUCTIONS.
5. ALL STRUCTURAL DETAILS TO BE CHECKED AGAINST THE STRUCTURAL ENGINEERS DRAWINGS AND CALCULATIONS.
6. ALL M & E DETAILS TO BE CHECKED AGAINST M & E ENGINEERS, APPROVED SUB-CONTRACTORS DRAWINGS AND CURRENT INSTRUCTIONS.
7. ALL DRAWINGS AND SPECIFICATIONS FOR THE PROJECT TO BE READ IN CONJUNCTION WITH DESIGNER'S HAZARD AND ENVIRONMENTAL ASSESSMENT RECORD.
8. ALL WORK TO BE UNDERTAKEN WITH THE REQUIREMENTS OF THE CURRENT BUILDING AND WATER REGULATIONS.
9. CONTRACTOR SHALL OBTAIN REQUIRED PERMITS FROM ALL AGENCIES AND PAYALL FEES PRIOR TO COMMENCEMENT OF ANY WORK

Rev	Date	Description	B	C
Ch-1	03/05/2025	Change		
Ch-1	30/10/2023	Change		
	13/07/2023			
Rev	Date	Description	B	C

Site Address:
Land Adjustment - 123A Central Avenue Hayes UB3 2BS

Drawing Title:
Location Plan

Status:
Plans Existing

Scale:
1:1250, 1:500,
1:100@A3

Client:
Jarnail Singh

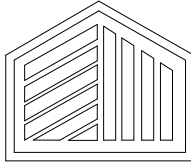
Project No:
1037

Date:
03/05/2025

Drawing No:
1031-01_Rev01

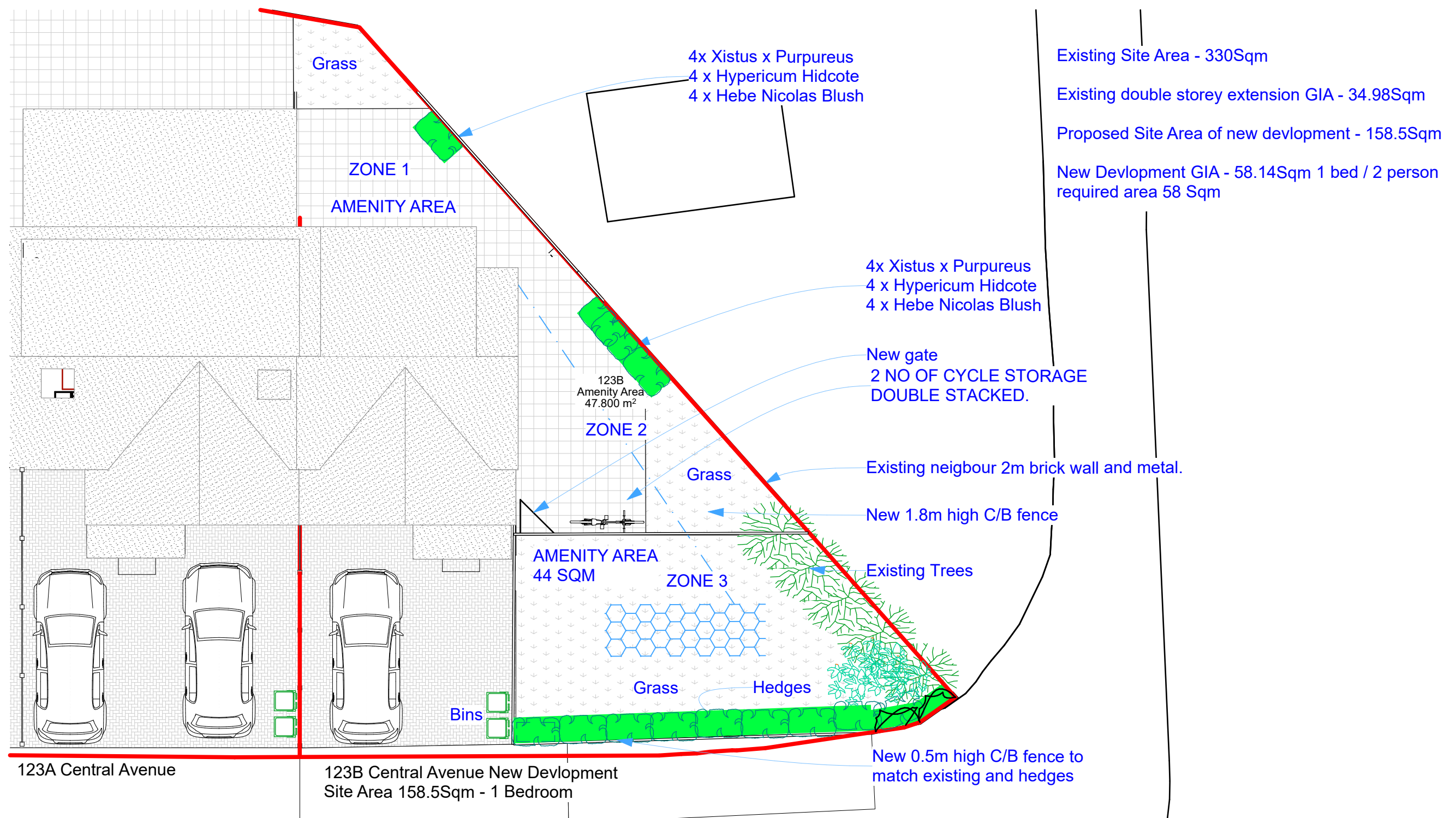
Drawn By:
SY

Rev:
08



SY Design
Studio

Tel: 07859431227
Email: salmar@sydesignstudio.co.uk
Web: www.sydesignstudio.co.uk



1 Site Plan Proposed 1:100

Notes:

1. THIS DRAWING IS COPYRIGHT AND MUST NOT BE RE-PRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION.
2. THIS DRAWING MUST NOT BE SCALED. REFER TO FIGURED DIMENSIONS ONLY, EXCEPT FOR PURPOSE OF CONSIDERATION UNDER PLANNING LEGISLATION.
3. USE FIGURED DIMENSIONS ONLY. ALL DIMENSIONS AND LEVELS TO BE CHECKED ON SITE PRIOR TO CONSTRUCTION. CLIENT TO BE NOTIFIED OF ANY DISCREPANCIES.
4. THIS DRAWING TO BE READ IN CONJUNCTION WITH THE OTHER RELEVANT PROJECT DRAWINGS AND CURRENT INSTRUCTIONS.
5. ALL STRUCTURAL DETAILS TO BE CHECKED AGAINST THE STRUCTURAL ENGINEERS DRAWINGS AND CALCULATIONS.
6. ALL M & E DETAILS TO BE CHECKED AGAINST M & E ENGINEERS, APPROVED SUB-CONTRACTORS DRAWINGS AND CURRENT INSTRUCTIONS.
7. ALL DRAWINGS AND SPECIFICATIONS FOR THE PROJECT TO BE READ IN CONJUNCTION WITH DESIGNER'S HAZARD AND ENVIRONMENTAL ASSESSMENT RECORD.
8. ALL WORK TO BE UNDERTAKEN WITH THE REQUIREMENTS OF THE CURRENT BUILDING AND WATER REGULATIONS.
9. CONTRACTOR SHALL OBTAIN REQUIRED PERMITS FROM ALL AGENCIES AND PAY ALL FEES PRIOR TO COMMENCEMENT OF ANY WORK

Rev	Date	Description	B	C
Ch-13	03/05/2025	Change		
Ch-10	30/10/2023	Change		
Ch-09		Change		
Ch-08	30/08/2023	Change		
	30/08/2023			
Rev	Date	Description	B	C

Site Address:
Land Adjustment - 123A Central Avenue Hayes UB3 2BS

Drawing Title:
Proposed Site Plan

Status:
Plans Proposed

Scale:
1:100@A3

Client:
Jarnail Singh

Project No:
1037

Date:
03/05/2025

Drawing No:
1037-11

Drawn By:
SY

Rev:
08

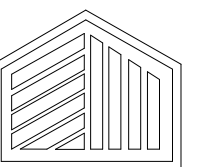
Wall Legend

- Existing Wall
- Proposed Wall
- Demolition Walls

1:50

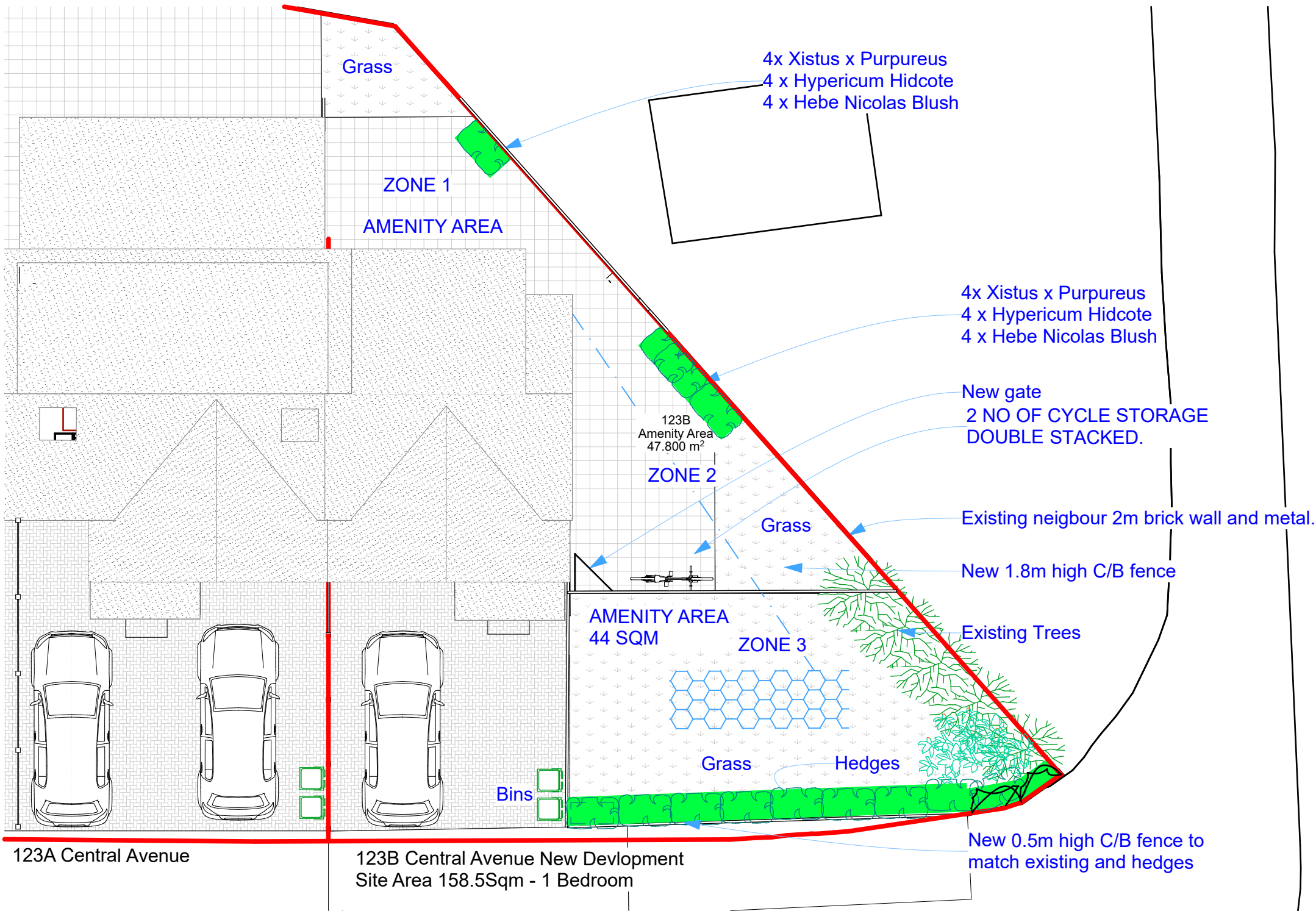
0 .5 1 1.5 2 2.5m

N



SY Design
Studio

Tel: 07859431227
Email: salmar@sydesignstudio.co.uk
Web: www.sydesignstudio.co.uk



1 Proposed Landscape Plan 1:100

Permeable paving parking area - Driveline Priora - Brindle

Permeable paving paved walkway - Driveline Priora - Buff

Grass area

Soft landscaping area

Proposed Ornamental Planting

Cellular soakaway

Surface water drain (100mm Ø unless otherwise stated)

Surface water inspection chamber (to be fitted with 300mm min sump unit)

Electric Vehicle Charge Point

Native hedge

OUTLINE SPECIFICATION

General

All planting work shall be in accordance with approved horticultural standards and all relevant British Standards. Plants shall be supplied in accordance with the HTA Trade Certification Scheme and handled in accordance with the CPSE Handling and Establishment of Landscape Plants Guidelines.

Herbicides, pesticides and other chemicals may only be used with approval of the contract administrator. Use of chemicals shall be in accordance with all relevant guidelines and the manufacturer's recommendations.

Imported topsoil shall be a minimum specification of BS 3882:2007 Multipurpose Classification unless otherwise instructed. 1m²/20m² approved compost/organic material/soil ameliorant shall be cultivated into topsoil before planting. Peat shall not be used.

Following planting all shrub beds shall be treated with an approved granular fertiliser at rates as recommended by the manufacturer.

All planting beds shall be mulched with 50mm depth medium grade bark mulch.

Maintenance

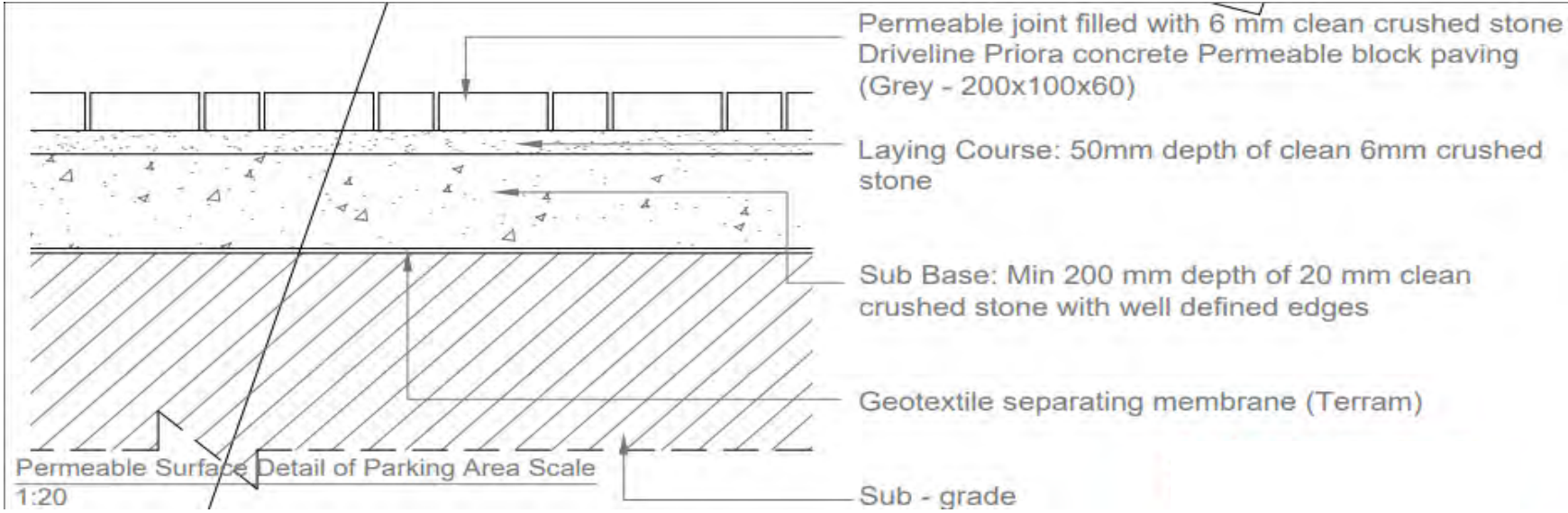
The Defects liability period for planting shall be 12 months from completion of the works. During this period any plant which is found to be dead, dying or otherwise defective shall be replaced during the next planting season.

The contractor shall make maintenance visits as required to ensure the successful establishment of the planting and maintain all shrub areas in a weed free condition.

Planted into 450 mm depth topsoil.

Species	Size(cm)	Pot Size(Lt)	No. / m ²	Quantity	
Cistus x purpureus	30-40	3L	-	tbc	28
Hebe 'Nicola's Blush'	30-40	3L	-	tbc	18
Hypericum 'Hidcote'	30-40	3L	-	tbc	
Grass	Lay onto a minimum 100mm depth topsoil reduced to a fine tilth 10mm down particles.				
Key	Mix	Quantity			
GT1	Rowlawn Medallion	Total Area to be calculated on site by landscape contractor.			

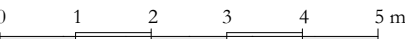
- NOTES:
- All proposals to be reviewed upon completion of, final site layout and the onsite topographical survey.
 - All building drainage works shall be carried out in accordance with the current british/european standards bsen752, the current building regulations and the local authority building control specifications and requirements.
 - Exact location of rainwater downpipes (rwp) and all internal drainage points (i.e. sup) to be confirmed by architect. rainwater pipe outlets to be rod-able.
 - All drainage works to be constructed from the outfall towards the head of run to ensure the outfall can be achieved.
 - Contractor to verify location & level of receiving drain prior to commencement.
 - Contractor to verify locations of all existing services prior to commencement and arrange for any necessary protection, diversion or lowering works as required.
 - Proposed finished levels to be designed by others. as a result all proposed finished levels shown are to be review in line with the proposed external works plan produced by others.
 - This drawing is intended to assist with discharging planning conditions only. the contractor is to review all design proposals and make any required changes to ensure all proposals are coordinated and there is no conflicting information.
 - Prior to the commencement of any works all required agreement (i.e. s106 - direct or indirect connection) must be in place.



Wall Legend

- Existing Wall
- Proposed Wall
- Demolition Walls

1:100



- Notes:
- THIS DRAWING IS COPYRIGHT AND MUST NOT BE RE-PRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION.
 - THIS DRAWING MUST NOT BE SCALED. REFER TO FIGURED DIMENSIONS ONLY, EXCEPT FOR PURPOSE OF CONSIDERATION UNDER PLANNING LEGISLATION.
 - USE FIGURED DIMENSIONS ONLY. ALL DIMENSIONS AND LEVELS TO BE CHECKED ON SITE PRIOR TO CONSTRUCTION. CLIENT TO BE NOTIFIED OF ANY DISCREPANCIES.
 - THIS DRAWING TO BE READ IN CONJUNCTION WITH THE OTHER RELEVANT PROJECT DRAWINGS AND CURRENT INSTRUCTIONS.
 - ALL STRUCTURAL DETAILS TO BE CHECKED AGAINST THE STRUCTURAL ENGINEERS DRAWINGS AND CALCULATIONS.
 - ALL M & E DETAILS TO BE CHECKED AGAINST M & E ENGINEERS, APPROVED SUB-CONTRACTORS DRAWINGS AND CURRENT INSTRUCTIONS.
 - ALL DRAWINGS AND SPECIFICATIONS FOR THE PROJECT TO BE READ IN CONJUNCTION WITH DESIGNER'S HAZARD AND ENVIRONMENTAL ASSESSMENT RECORD.
 - ALL WORK TO BE UNDERTAKEN WITH THE REQUIREMENTS OF THE CURRENT BUILDING AND WATER REGULATIONS.
 - CONTRACTOR SHALL OBTAIN REQUIRED PERMITS FROM ALL AGENCIES AND PAY ALL FEES PRIOR TO COMMENCEMENT OF ANY WORK.

Rev	Date	Description	By	Chk'd
Ch-1	03/05/2025	Change		
3				

Site Address:
Land Adjustment - 123A Central Avenue Hayes UB3 2BS

Drawing Title:
Landscape Plan

Status:
Plans Proposed

Client:
Jarnail Singh

Scale:
1:100@A2

Date:
03/05/2025

Project No:
1037

Drawing No:
1037-12

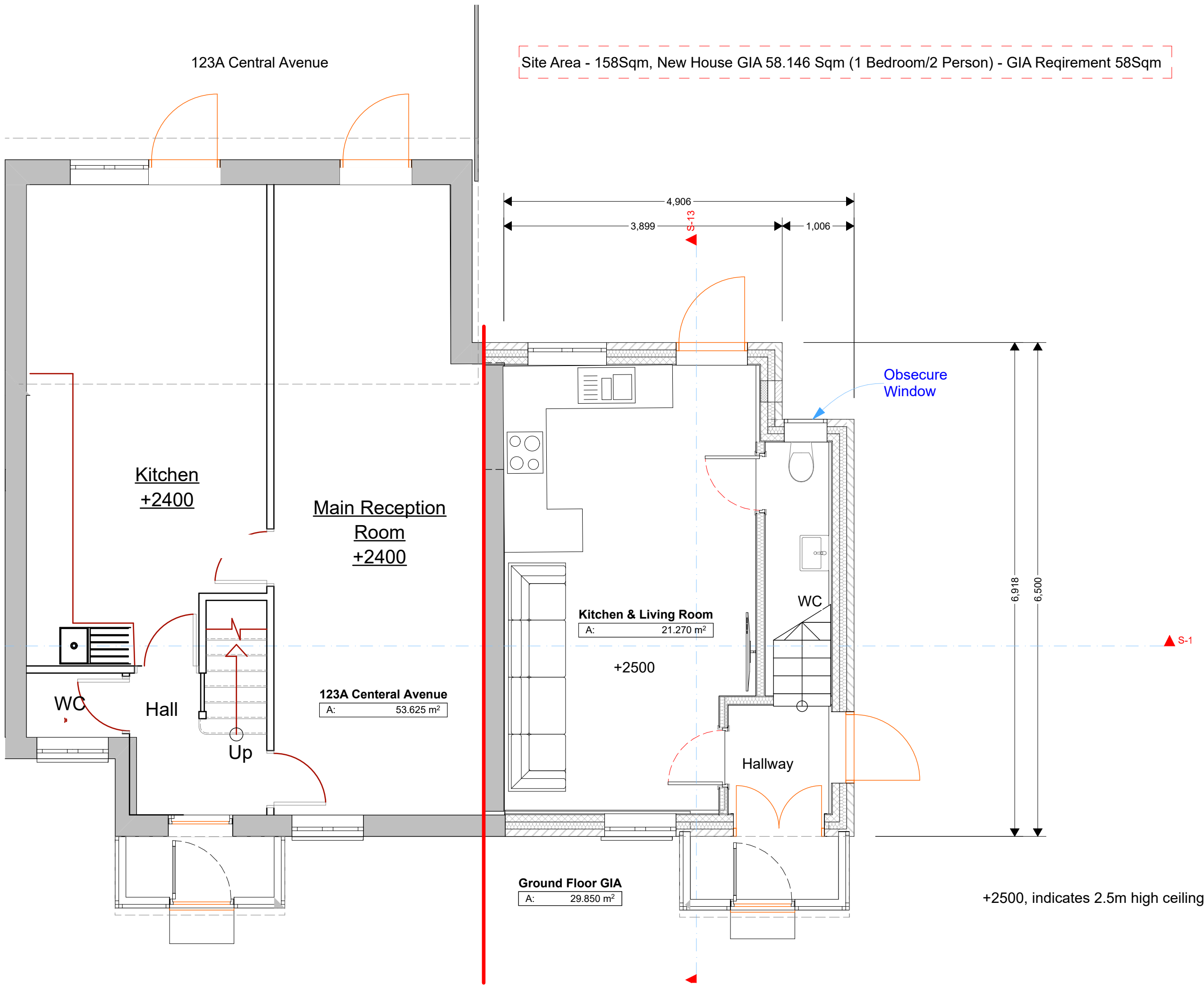
Drawn By:
SY

Rev:
01



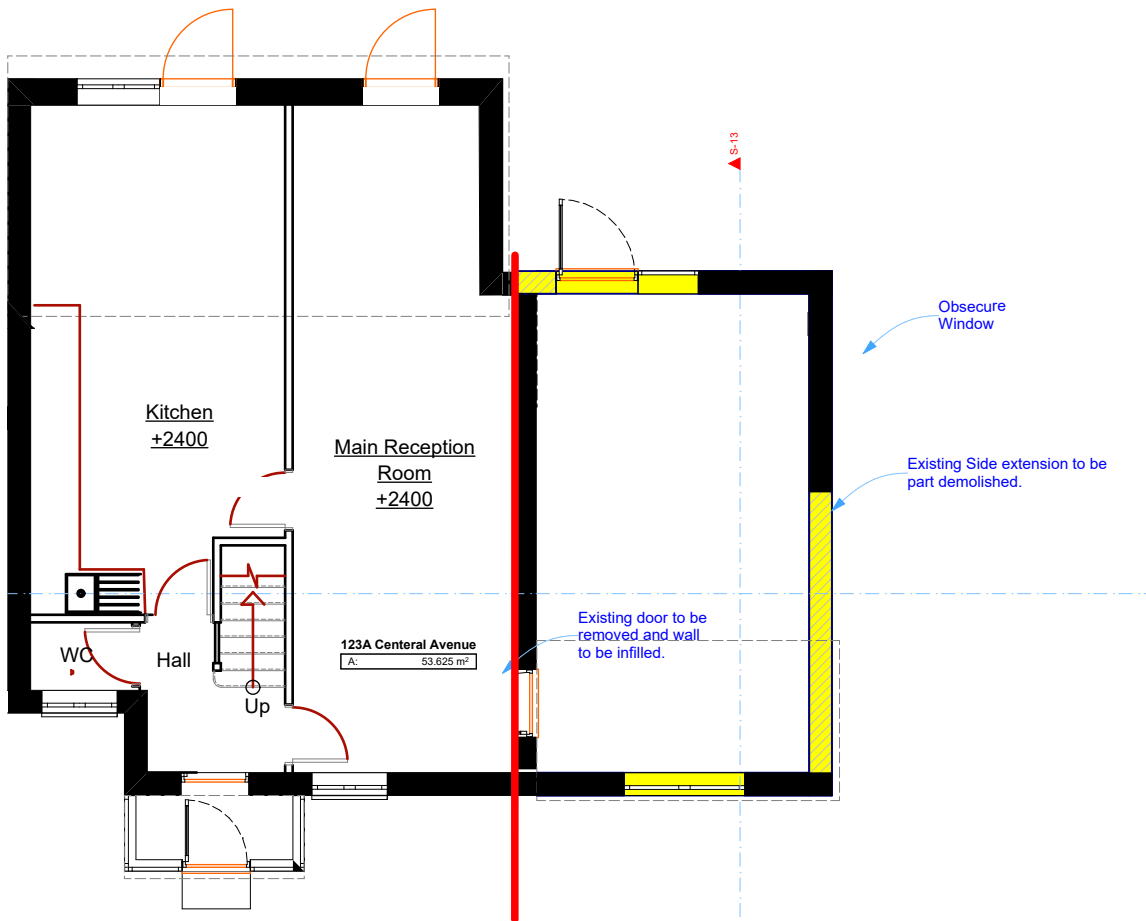
SY Design Studio

Tel: 07859431227
Email: salman@sydesignstudio.co.uk
Web: www.sydesignstudio.co.uk



Proposed GF-Ground Floor
1:50

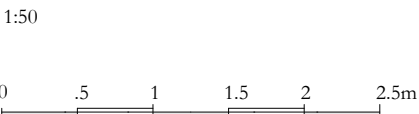
Existing Site Area - 330Sqm
Existing double storey extension GIA - 34.98Sqm
Proposed Site Area of new development - 158.5Sqm
New Development GIA - 58.14Sqm 1 bed / 2 person
required area 58 Sqm



Existing GF-Ground Floor
1:100

Wall Legend

- Existing Wall
- Proposed Wall
- Demolition Walls



Notes:

- THIS DRAWING IS COPYRIGHT AND MUST NOT BE RE-PRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION.
- THIS DRAWING MUST NOT BE SCALED. REFER TO FIGURED DIMENSIONS ONLY, EXCEPT FOR PURPOSE OF CONSIDERATION UNDER PLANNING LEGISLATION.
- USE FIGURED DIMENSIONS ONLY. ALL DIMENSIONS AND LEVELS TO BE CHECKED ON SITE PRIOR TO CONSTRUCTION. CLIENT TO BE NOTIFIED OF ANY DISCREPANCIES.
- THIS DRAWING TO BE READ IN CONJUNCTION WITH THE OTHER RELEVANT PROJECT DRAWINGS AND CURRENT INSTRUCTIONS.
- ALL STRUCTURAL DETAILS TO BE CHECKED AGAINST THE STRUCTURAL ENGINEERS DRAWINGS AND CALCULATIONS.
- ALL M & E DETAILS TO BE CHECKED AGAINST M & E ENGINEERS, APPROVED SUB-CONTRACTORS DRAWINGS AND CURRENT INSTRUCTIONS.
- ALL DRAWINGS AND SPECIFICATIONS FOR THE PROJECT TO BE READ IN CONJUNCTION WITH DESIGNER'S HAZARD AND ENVIRONMENTAL ASSESSMENT RECORD.
- ALL WORK TO BE UNDERTAKEN WITH THE REQUIREMENTS OF THE CURRENT BUILDING AND WATER REGULATIONS.
- CONTRACTOR SHALL OBTAIN REQUIRED PERMITS FROM ALL AGENCIES AND PAY ALL FEES PRIOR TO COMMENCEMENT OF ANY WORK.

Rev	Date	Description	By	Chkd
Ch-1 3	03/05/20 25	Change		
Ch-1 0	30/10/20 23	Change		
Ch-0 9		Change		
Ch-0 8	30/08/20 23	Change		
	30/08/20 23			

Site Address:
Land Adjustment - 123A Central Avenue Hayes UB3 2BS

Drawing Title:
Proposed Ground Floor Plan

Client:
Jarnail Singh

Date:
03/05/2025

Drawn By:
SY

Status:
Plans Proposed

Scale:
1:500, 1:50,
1:100@A2

Project No:
1037

Drawing No:
1037-13

Rev:
08



SY Design
Studio

Tel: 07859431227
Email: salman@sydesignstudio.co.uk
Web: www.sydesignstudio.co.uk

123A Central Avenue

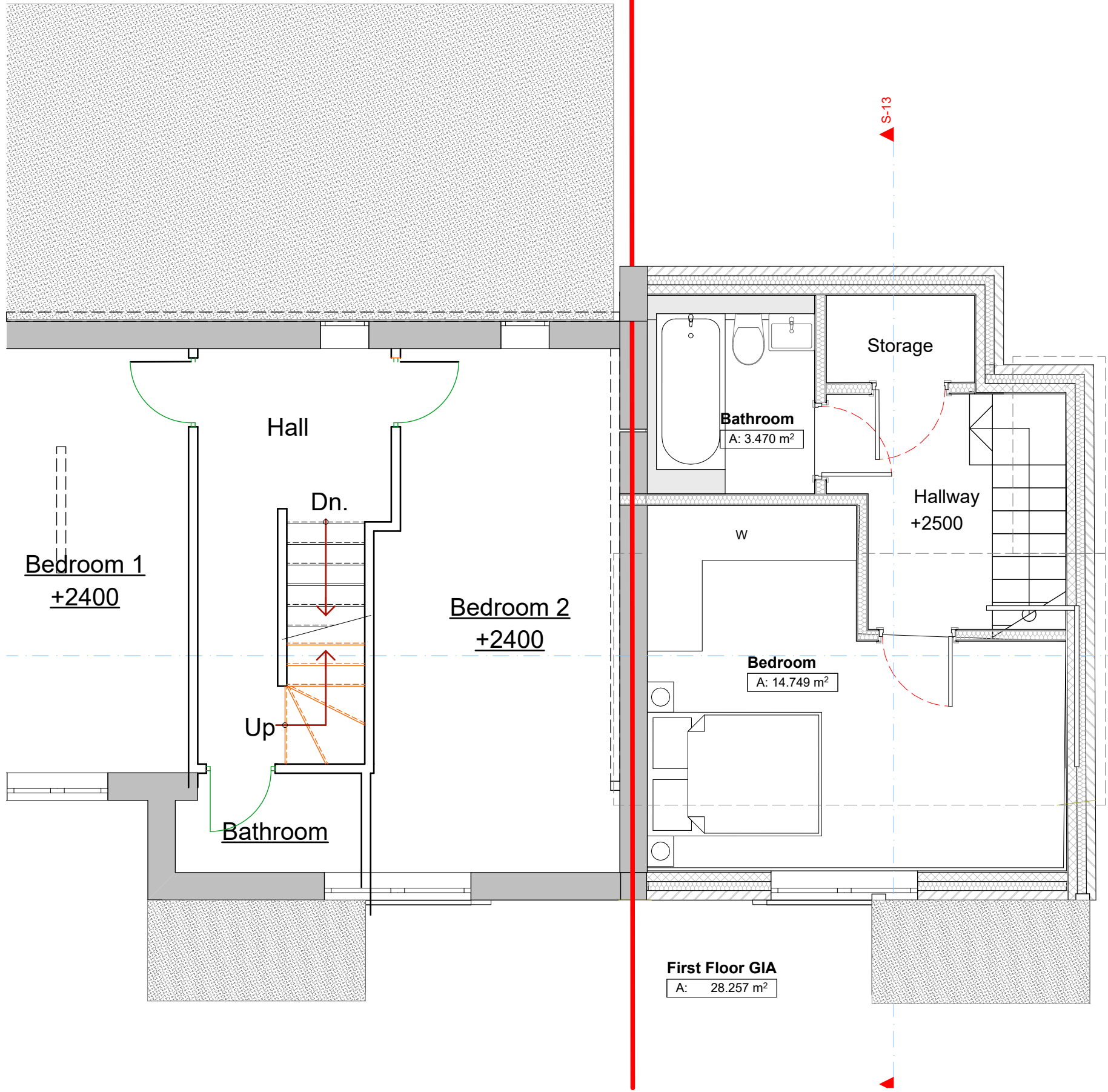
Site Area - 158Sqm, New House GIA 58.146 Sqm (1 Bedroom/2 Person) - GIA Requirement 58Sqm

Existing Site Area - 330Sqm

Existing double storey extension GIA - 34.98Sqm

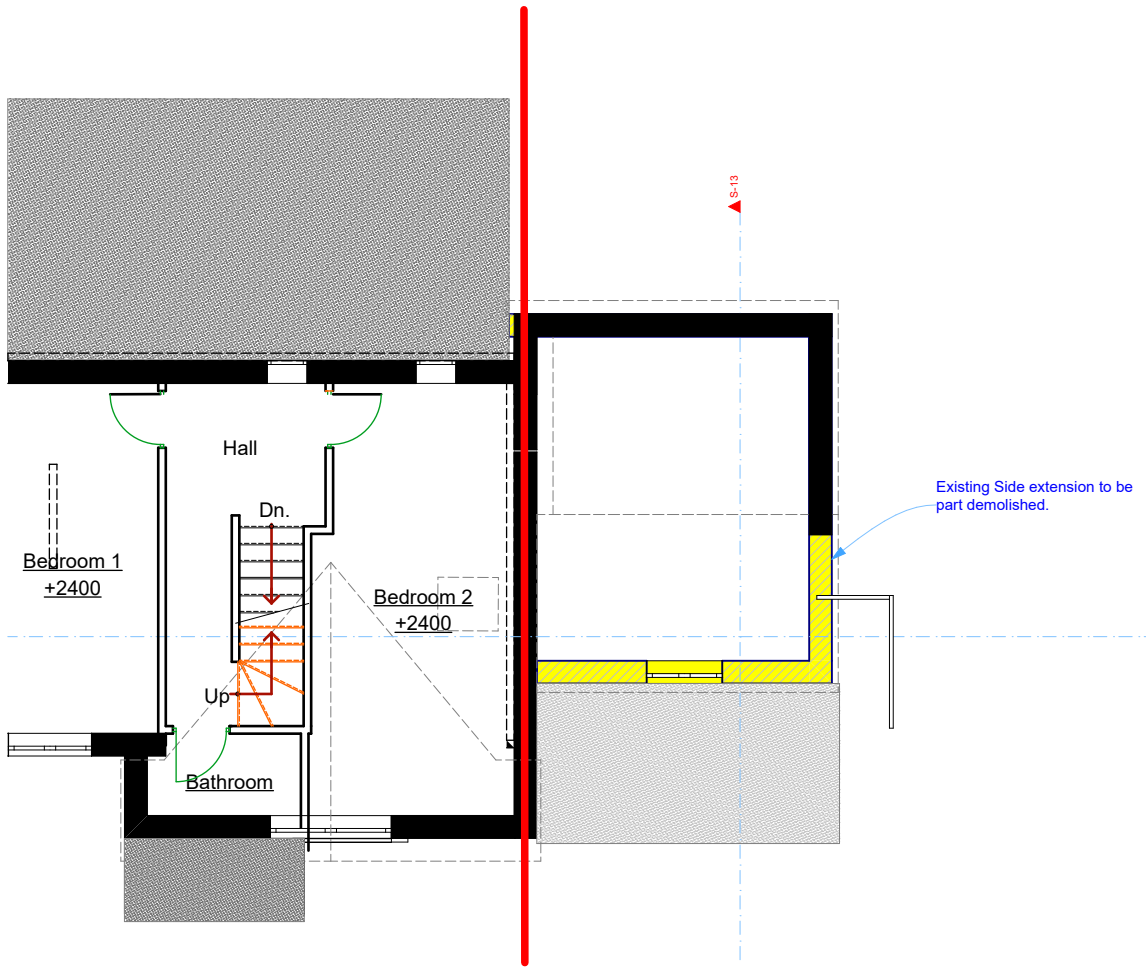
Proposed Site Area of new devlopment - 158.5Sqm

New Development GIA - 58.14Sqm 1 bed / 2 person
required area 58 Sqm



+2500, indicates 2.5m high ceiling

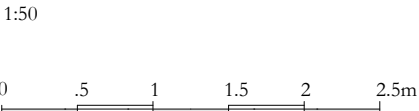
01-Proposed First Floor
1:50



01-Existing First Floor
1:100

Wall Ledge

- Existing Wall
- Proposed Wall
- Demolition Walls



Notes:

- THIS DRAWING IS COPYRIGHT AND MUST NOT BE RE-PRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION.
- THIS DRAWING MUST NOT BE SCALED. REFER TO FIGURED DIMENSIONS ONLY, EXCEPT FOR PURPOSE OF CONSIDERATION UNDER PLANNING LEGISLATION.
- USE FIGURED DIMENSIONS ONLY. ALL DIMENSIONS AND LEVELS TO BE CHECKED ON SITE PRIOR TO CONSTRUCTION. CLIENT TO BE NOTIFIED OF ANY DISCREPANCIES.
- THIS DRAWING TO BE READ IN CONJUNCTION WITH THE OTHER RELEVANT PROJECT DRAWINGS AND CURRENT INSTRUCTIONS.
- ALL STRUCTURAL DETAILS TO BE CHECKED AGAINST THE STRUCTURAL ENGINEERS DRAWINGS AND CALCULATIONS.
- ALL M & E DETAILS TO BE CHECKED AGAINST M & E ENGINEERS, APPROVED SUB-CONTRACTORS DRAWINGS AND CURRENT INSTRUCTIONS.
- ALL DRAWINGS AND SPECIFICATIONS FOR THE PROJECT TO BE READ IN CONJUNCTION WITH DESIGNER'S HAZARD AND ENVIRONMENTAL ASSESSMENT RECORD.
- ALL WORK TO BE UNDERTAKEN WITH THE REQUIREMENTS OF THE CURRENT BUILDING AND WATER REGULATIONS.
- CONTRACTOR SHALL OBTAIN REQUIRED PERMITS FROM ALL AGENCIES AND PAY ALL FEES PRIOR TO COMMENCEMENT OF ANY WORK.

Rev	Date	Description	By	Chkd
Ch-13	03/05/2025	Change		
Ch-10	30/10/2023	Change		
Ch-09	30/08/2023	Change		
Ch-08	30/08/2023	Change		
	30/08/2023			

Site Address:
Land Adjustment - 123A Central Avenue Hayes UB3 2BS

Drawing Title:
First Floor Plan

Client:
Jarnail Singh

Date:
03/05/2025

Drawn By:
SY

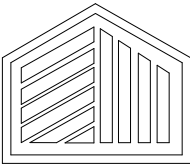
Status:
Plans Proposed

Scale:
1:50, 1:100@A2

Project No:
1037

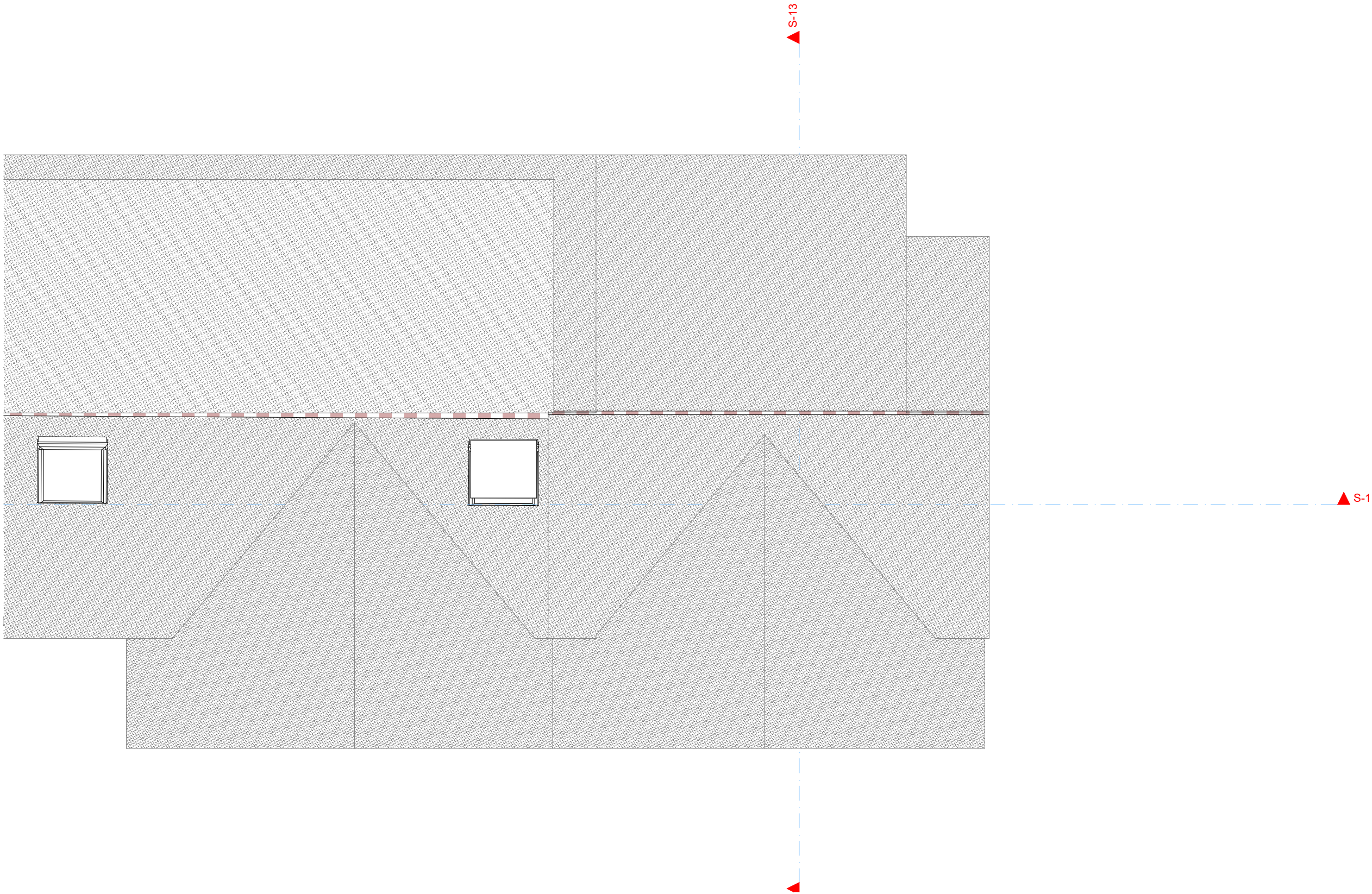
Drawing No:
1037-14

Rev:
08



SY Design
Studio

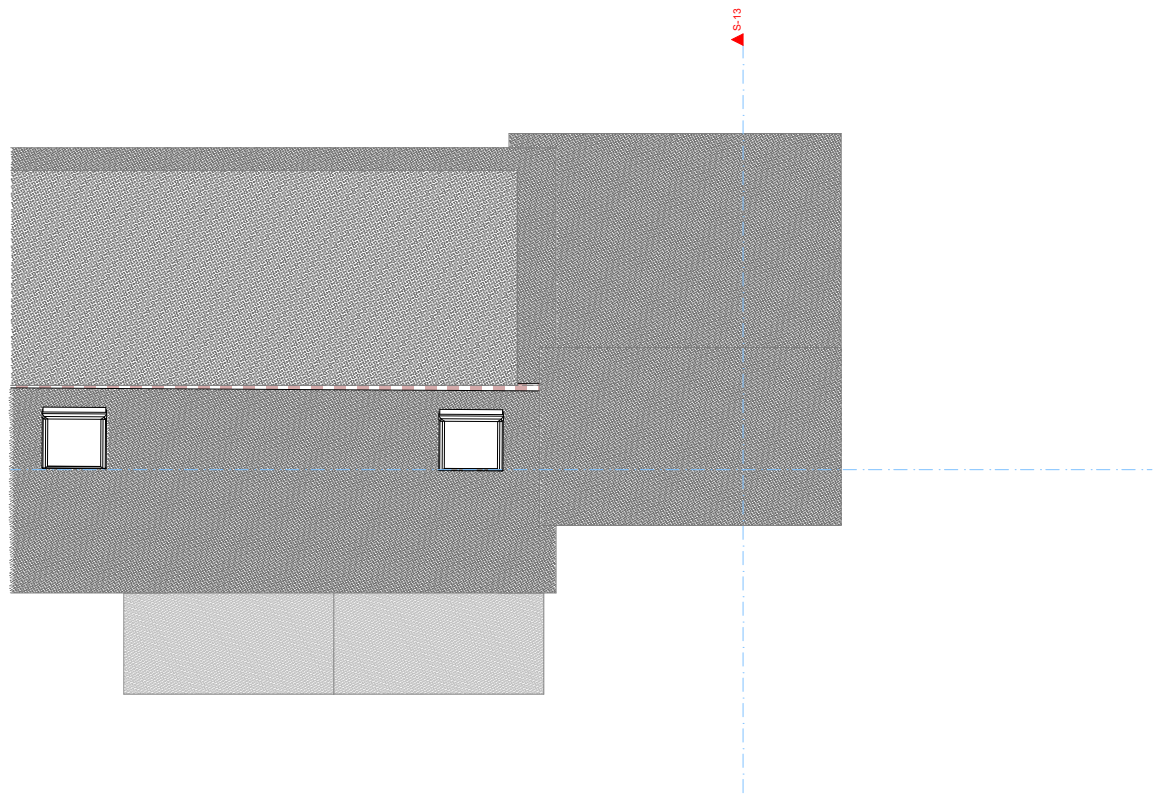
Tel: 07859431227
Email: salman@sydesignstudio.co.uk
Web: www.sydesignstudio.co.uk



1

-

RF-Proposed Roof
1:50



2

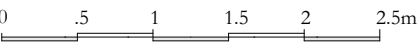
-

RF-Existing Roof
1:100

Wall Legend

- Existing Wall
- Proposed Wall
- Demolition Walls

1:50



Notes:

1. THIS DRAWING IS COPYRIGHT AND MUST NOT BE RE-PRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION.
2. THIS DRAWING MUST NOT BE SCALED. REFER TO FIGURED DIMENSIONS ONLY, EXCEPT FOR PURPOSE OF CONSIDERATION UNDER PLANNING LEGISLATION.
3. USE FIGURED DIMENSIONS ONLY. ALL DIMENSIONS AND LEVELS TO BE CHECKED ON SITE PRIOR TO CONSTRUCTION. CLIENT TO BE NOTIFIED OF ANY DISCREPANCIES.
4. THIS DRAWING TO BE READ IN CONJUNCTION WITH THE OTHER RELEVANT PROJECT DRAWINGS AND CURRENT INSTRUCTIONS.
5. ALL STRUCTURAL DETAILS TO BE CHECKED AGAINST THE STRUCTURAL ENGINEERS' DRAWINGS AND CALCULATIONS.
6. ALL M & E DETAILS TO BE CHECKED AGAINST M & E ENGINEERS' APPROVED SUB-CONTRACTORS' DRAWINGS AND CURRENT INSTRUCTIONS.
7. ALL DRAWINGS AND SPECIFICATIONS FOR THE PROJECT TO BE READ IN CONJUNCTION WITH DESIGNER'S HAZARD AND ENVIRONMENTAL ASSESSMENT RECORD.
8. ALL WORK TO BE UNDERTAKEN WITH THE REQUIREMENTS OF THE CURRENT BUILDING AND WATER REGULATIONS.
9. CONTRACTOR SHALL OBTAIN REQUIRED PERMITS FROM ALL AGENCIES AND PAY ALL FEES PRIOR TO COMMENCEMENT OF ANY WORK.

Rev	Date	Description	By	Chkd
Ch-13	03/05/2025	Change		
Ch-10	30/10/2023	Change		
Ch-09	30/08/2023	Change		
Ch-08	30/08/2023	Change		
	30/08/2023			

Site Address:
Land Adjustment - 123A Central Avenue Hayes UB3 2BS

Drawing Title:
Proposed Roof Plan

Client:
Jarnail Singh

Date:
03/05/2025

Drawn By:
SY

Status:
Plans Proposed

Scale:
1:50, 1:100@A2

Project No:
1037

Drawing No:
1037-15

Rev:
08



SY Design Studio

Tel: 07859431227
Email: salman@sydesignstudio.co.uk
Web: www.sydesignstudio.co.uk



1

Generic Perspective (2)

1:153.73

Notes:
1. THIS DRAWING IS COPYRIGHT AND MUST NOT BE RE-PRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION.
2. THIS DRAWING MUST NOT BE SCALED. REFER TO FIGURED DIMENSIONS ONLY, EXCEPT FOR PURPOSE OF CONSIDERATION UNDER PLANNING LEGISLATION.
3. USE FIGURED DIMENSIONS ONLY. ALL DIMENSIONS AND LEVELS TO BE CHECKED ON SITE PRIOR TO CONSTRUCTION. CLIENT TO BE NOTIFIED OF ANY DISCREPANCIES.
4. THIS DRAWING TO BE READ IN CONJUNCTION WITH THE OTHER RELEVANT PROJECT DRAWINGS AND CURRENT INSTRUCTIONS.
5. ALL STRUCTURAL DETAILS TO BE CHECKED AGAINST THE STRUCTURAL ENGINEERS DRAWINGS AND CALCULATIONS.
6. ALL M & E DETAILS TO BE CHECKED AGAINST M & E ENGINEERS, APPROVED SUB-CONTRACTORS DRAWINGS AND CURRENT INSTRUCTIONS.
7. ALL DRAWINGS AND SPECIFICATIONS FOR THE PROJECT TO BE READ IN CONJUNCTION WITH DESIGNER'S HAZARD AND ENVIRONMENTAL ASSESSMENT RECORD.
8. ALL WORK TO BE UNDERTAKEN WITH THE REQUIREMENTS OF THE CURRENT BUILDING AND WATER REGULATIONS.
9. CONTRACTOR SHALL OBTAIN REQUIRED PERMITS FROM ALL AGENCIES AND PAY ALL FEES PRIOR TO COMMENCEMENT OF ANY WORK

Ch-1	03/05/20	Change		
3	25			
Ch-0	30/10/20	Change		
8	23			
	30/08/20			
	23			
	13/07/20			
	23			
Rev	Date	Description	B	C
			y	h
				d

Site Address:
Land Adjustment - 123A Central Avenue Hayes UB3 2BS

Drawing Title:
3d Model

Status:
Plans Proposed

Scale:
1:153.73@A3

Client:
Jarnail Singh

Project No:
1037

Date:
03/05/2025

Drawing No:
1037-16

Drawn By:
SY

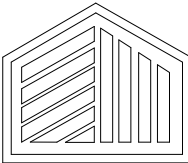
Rev:
08

Wall Legend

- Existing Wall
- Proposed Wall
- Demolition Walls

1:50

0 .5 1 1.5 2 2.5m



SY Design
Studio

Tel: 07859431227
Email: salmar@sydesignstudio.co.uk
Web: www.sydesignstudio.co.uk



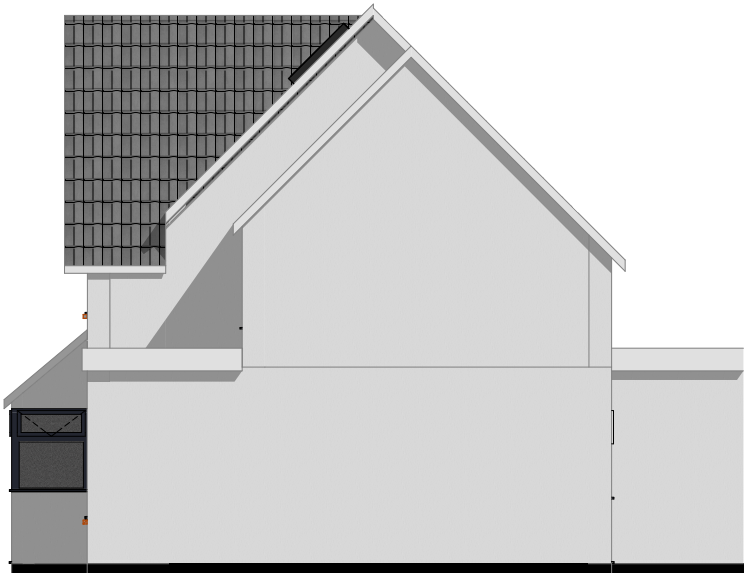
1 Existing Front Elevation

1:100



3 Existing Rear Elevation

1:100



2 Existing Side Elevation

1:100

Wall Legend

- Existing Wall
- Proposed Wall
- Demolition Walls

1:100



Notes:
1. THIS DRAWING IS COPYRIGHT AND MUST NOT BE RE-PRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION.
2. THIS DRAWING MUST NOT BE SCALED. REFER TO FIGURED DIMENSIONS ONLY, EXCEPT FOR PURPOSE OF CONSIDERATION UNDER PLANNING LEGISLATION.
3. USE FIGURED DIMENSIONS ONLY. ALL DIMENSIONS AND LEVELS TO BE CHECKED ON SITE PRIOR TO CONSTRUCTION. CLIENT TO BE NOTIFIED OF ANY DISCREPANCIES.
4. THIS DRAWING TO BE READ IN CONJUNCTION WITH THE OTHER RELEVANT PROJECT DRAWINGS AND CURRENT INSTRUCTIONS.
5. ALL STRUCTURAL DETAILS TO BE CHECKED AGAINST THE STRUCTURAL ENGINEERS DRAWINGS AND CALCULATIONS.
6. ALL M & E DETAILS TO BE CHECKED AGAINST M & E ENGINEERS, APPROVED SUB-CONTRACTORS DRAWINGS AND CURRENT INSTRUCTIONS.
7. ALL DRAWINGS AND SPECIFICATIONS FOR THE PROJECT TO BE READ IN CONJUNCTION WITH DESIGNER'S HAZARD AND ENVIRONMENTAL ASSESSMENT RECORD.
8. ALL WORK TO BE UNDERTAKEN WITH THE REQUIREMENTS OF THE CURRENT BUILDING AND WATER REGULATIONS.
9. CONTRACTOR SHALL OBTAIN REQUIRED PERMITS FROM ALL AGENCIES AND PAY ALL FEES PRIOR TO COMMENCEMENT OF ANY WORK

Rev	Date	Description	B y	C h k d
Ch-1 3	03/05/20 25	Change		
Ch-1 0	30/10/20 23	Change		
Ch-0 9	13/07/20 23	Change		

Site Address:
Land Adjustment - 123A Central Avenue Hayes UB3 2BS

Drawing Title:
Existing Elevations

Status:
Elevations Existing

Scale:
1:100@A3

Client:
Jarnail Singh

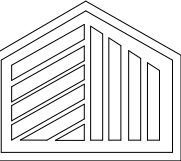
Project No:
1037

Date:
03/05/2025

Drawing No:
1037-30

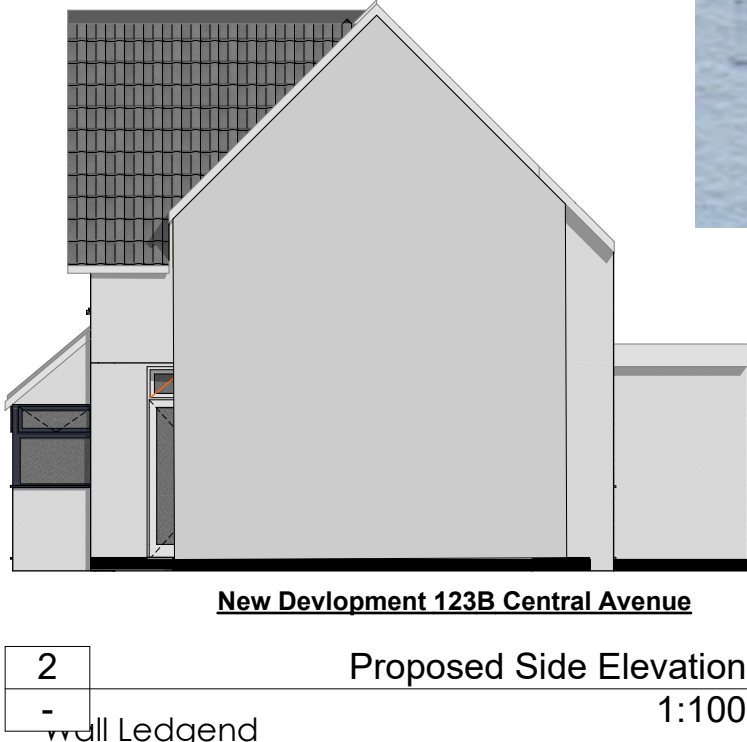
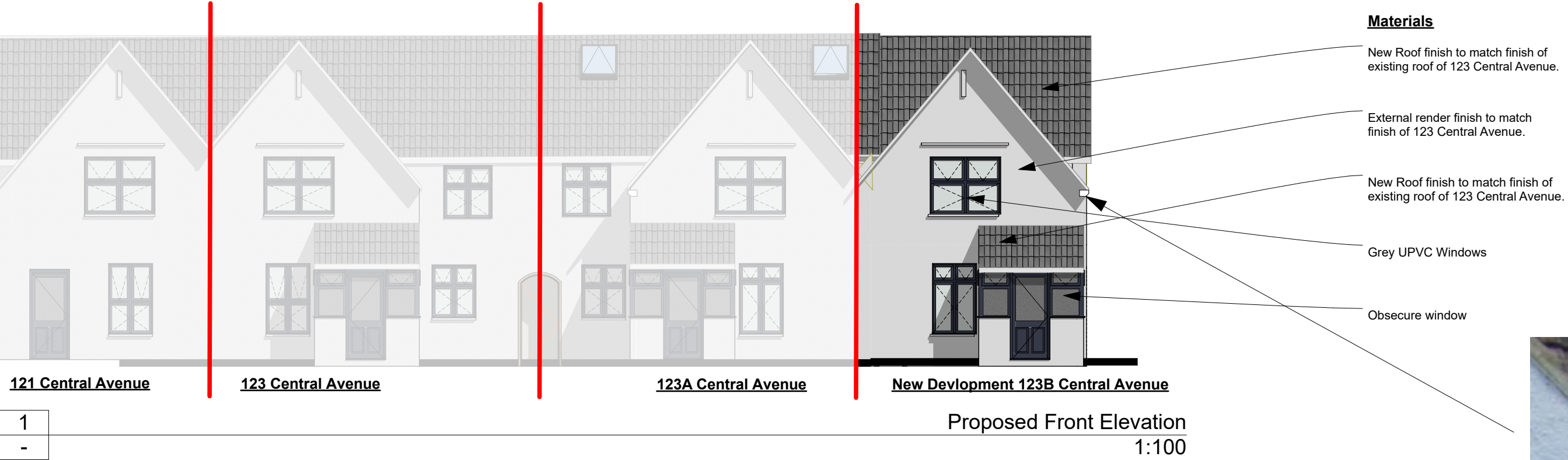
Drawn By:
SY

Rev:
08



SY Design
Studio

Tel: 07859431227
Email: salmar@sydesignstudio.co.uk
Web: www.sydesignstudio.co.uk



Wall Legend

- Existing Wall
- Proposed Wall
- Demolition Walls

1:100



Notes:

1. THIS DRAWING IS COPYRIGHT AND MUST NOT BE RE-PRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION.

2. THIS DRAWING MUST NOT BE SCALED. REFER TO FIGURED DIMENSIONS ONLY, EXCEPT FOR PURPOSE OF CONSIDERATION UNDER PLANNING LEGISLATION.

3. USE FIGURED DIMENSIONS ONLY. ALL DIMENSIONS AND LEVELS TO BE CHECKED ON SITE PRIOR TO CONSTRUCTION. CLIENT TO BE NOTIFIED OF ANY DISCREPANCIES.

4. THIS DRAWING TO BE READ IN CONJUNCTION WITH THE OTHER RELEVANT PROJECT DRAWINGS AND CURRENT INSTRUCTIONS.

5. ALL STRUCTURAL DETAILS TO BE CHECKED AGAINST THE STRUCTURAL ENGINEERS DRAWINGS AND CALCULATIONS.

6. ALL M & E DETAILS TO BE CHECKED AGAINST M & E ENGINEERS, APPROVED SUB-CONTRACTORS DRAWINGS AND CURRENT INSTRUCTIONS.

7. ALL DRAWINGS AND SPECIFICATIONS FOR THE PROJECT TO BE READ IN CONJUNCTION WITH DESIGNER'S HAZARD AND ENVIRONMENTAL ASSESSMENT RECORD.

8. ALL WORK TO BE UNDERTAKEN WITH THE REQUIREMENTS OF THE CURRENT BUILDING AND WATER REGULATIONS.

9. CONTRACTOR SHALL OBTAIN REQUIRED PERMITS FROM ALL AGENCIES AND PAYALL FEES PRIOR TO COMMENCEMENT OF ANY WORK

Rev	Date	Description	B y	C h k d
Ch-13	03/05/2025	Change		
Ch-10	30/10/2023	Change		
Ch-09		Change		
Ch-08	30/08/2023	Change		
Ch-07		Change		

Site Address:
Land Adjustment - 123A Central Avenue Hayes UB3 2BS

Drawing Title:
Proposed Elevations

Status:
Elevations Proposed

Scale:
1:100@A3

Client:
Jarnail Singh

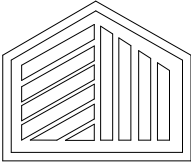
Project No:
1037

Date:
03/05/2025

Drawing No:
1037-35

Drawn By:
SY

Rev:
08



SY Design
Studio

Tel: 07859431227
Email: salmar@sydesignstudio.co.uk
Web: www.sydesignstudio.co.uk



1

Generic Perspective (5)

Wall Legend

- Existing Wall
- Proposed Wall
- Demolition Walls

1:159.69

1:100

0 1 2 3 4 5 m

N



Notes:

1. THIS DRAWING IS COPYRIGHT AND MUST NOT BE RE-PRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION.
2. THIS DRAWING MUST NOT BE SCALED. REFER TO FIGURED DIMENSIONS ONLY, EXCEPT FOR PURPOSE OF CONSIDERATION UNDER PLANNING LEGISLATION.
3. USE FIGURED DIMENSIONS ONLY. ALL DIMENSIONS AND LEVELS TO BE CHECKED ON SITE PRIOR TO CONSTRUCTION. CLIENT TO BE NOTIFIED OF ANY DISCREPANCIES.
4. THIS DRAWING TO BE READ IN CONJUNCTION WITH THE OTHER RELEVANT PROJECT DRAWINGS AND CURRENT INSTRUCTIONS.
5. ALL STRUCTURAL DETAILS TO BE CHECKED AGAINST THE STRUCTURAL ENGINEERS DRAWINGS AND CALCULATIONS.
6. ALL M & E DETAILS TO BE CHECKED AGAINST M & E ENGINEERS, APPROVED SUB-CONTRACTORS DRAWINGS AND CURRENT INSTRUCTIONS.
7. ALL DRAWINGS AND SPECIFICATIONS FOR THE PROJECT TO BE READ IN CONJUNCTION WITH DESIGNER'S HAZARD AND ENVIRONMENTAL ASSESSMENT RECORD.
8. ALL WORK TO BE UNDERTAKEN WITH THE REQUIREMENTS OF THE CURRENT BUILDING AND WATER REGULATIONS.
9. CONTRACTOR SHALL OBTAIN REQUIRED PERMITS FROM ALL AGENCIES AND PAY ALL FEES PRIOR TO COMMENCEMENT OF ANY WORK

Ch-1	03/05/20	Change			
3	25				
Rev	Date	Description			

Site Address:
Land Adjustment - 123A Central Avenue Hayes UB3 2BS

Drawing Title:
3D 2

Status:
Elevations Proposed

Scale:
1:159.69@A3

Client:
Jarnail Singh

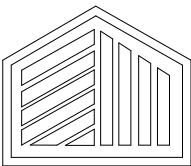
Project No:
1037

Date:
03/05/2025

Drawing No:
1037-39

Drawn By:
SY

Rev:
01



SY Design
Studio

Tel: 07859431227
Email: salmar@sydesignstudio.co.uk
Web: www.sydesignstudio.co.uk