



Location Plan2

Proposed Block Plan

1:500

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Rev	Date	Description	B	C	D	hk
Ch-1 3	03/05/20 25	Change				
Ch-1 1	30/10/20 23	Change				
	13/07/20 23					

**Site Address:**  
Land Adjustment - 123A Central Avenue Hayes UB3 2BS

**Drawing Title:** Location Plan

**Status:** Plans Existing

**Scale:** 1:1250, 1:500, 1:100@A3

**Client:** Jarnail Singh

**Date:** 03/05/2025

**Drawn By:** SY

**Project No:** 1037

**Drawing No:** 1031-01\_Rev01

**Rev:** 08



Existing

SitePlan

1:1250

Existing Site Area - 330Sqm

Existing double storey extension GIA - 34.98Sqm

Proposed Site Area of new development - 158.5Sqm

New Development GIA - 58.14Sqm 1 bed / 2 person required area 58 Sqm

Wall Legend

- Existing Wall
- Proposed Wall
- Demolition Walls

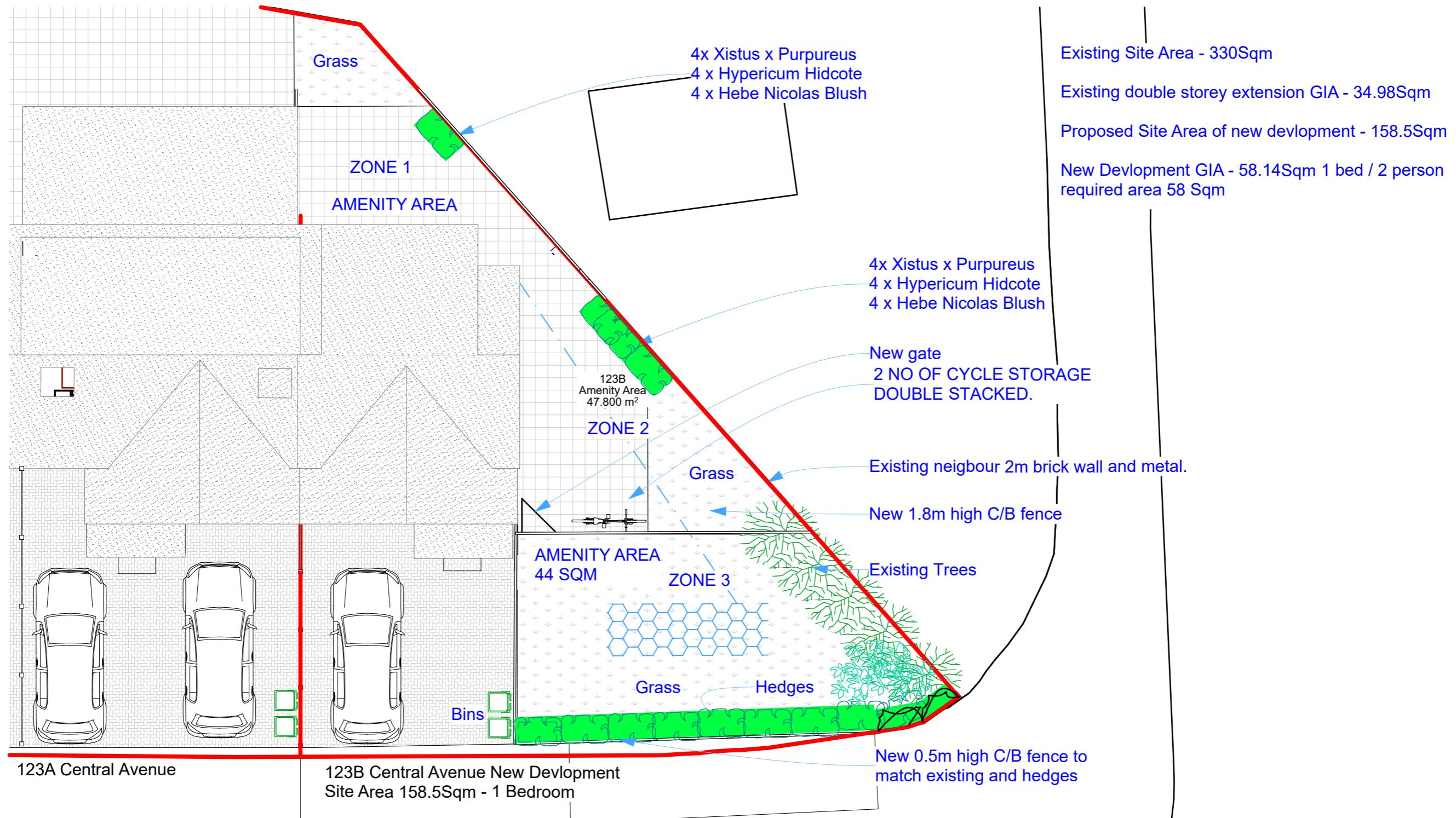
1:100

0 1 2 3 4 5 m

N



**SY Design  
Studio**



1

Site Plan Proposed

1:100

Wall Legend

- Existing Wall
- Proposed Wall
- Demolition Walls

1:50  
0 .5 1 1.5 2 2.5m

N



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Ch-1	03/05/2025	Change	
Ch-1	30/10/2023	Change	
Ch-0	30/08/2023	Change	
Ch-0	30/08/2023	Change	
Rev	Date	Description	B C D E F G H I J K L M N O P Q R S T U V W X Y Z

Site Address:  
Land Adjustment - 123A Central Avenue Hayes UB3 2BS

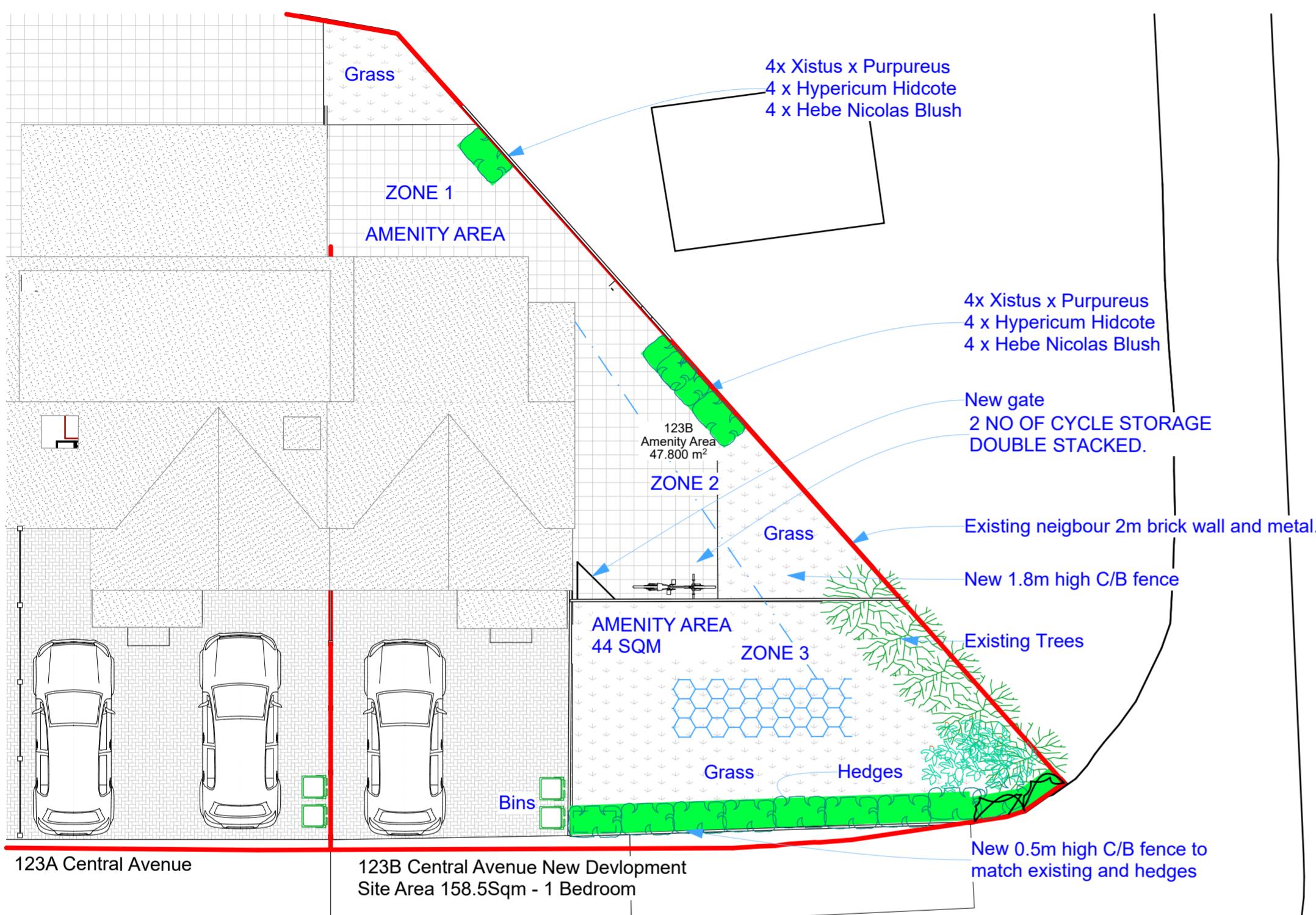
Drawing Title: Proposed Site Plan Client: Jarnail Singh Date: 03/05/2025 Drawn By: SY

Status: Scale: Project No: Drawing No: Rev:

Plans Proposed 1:100@A3 1037 1037-11 08



**SY Design Studio**



1

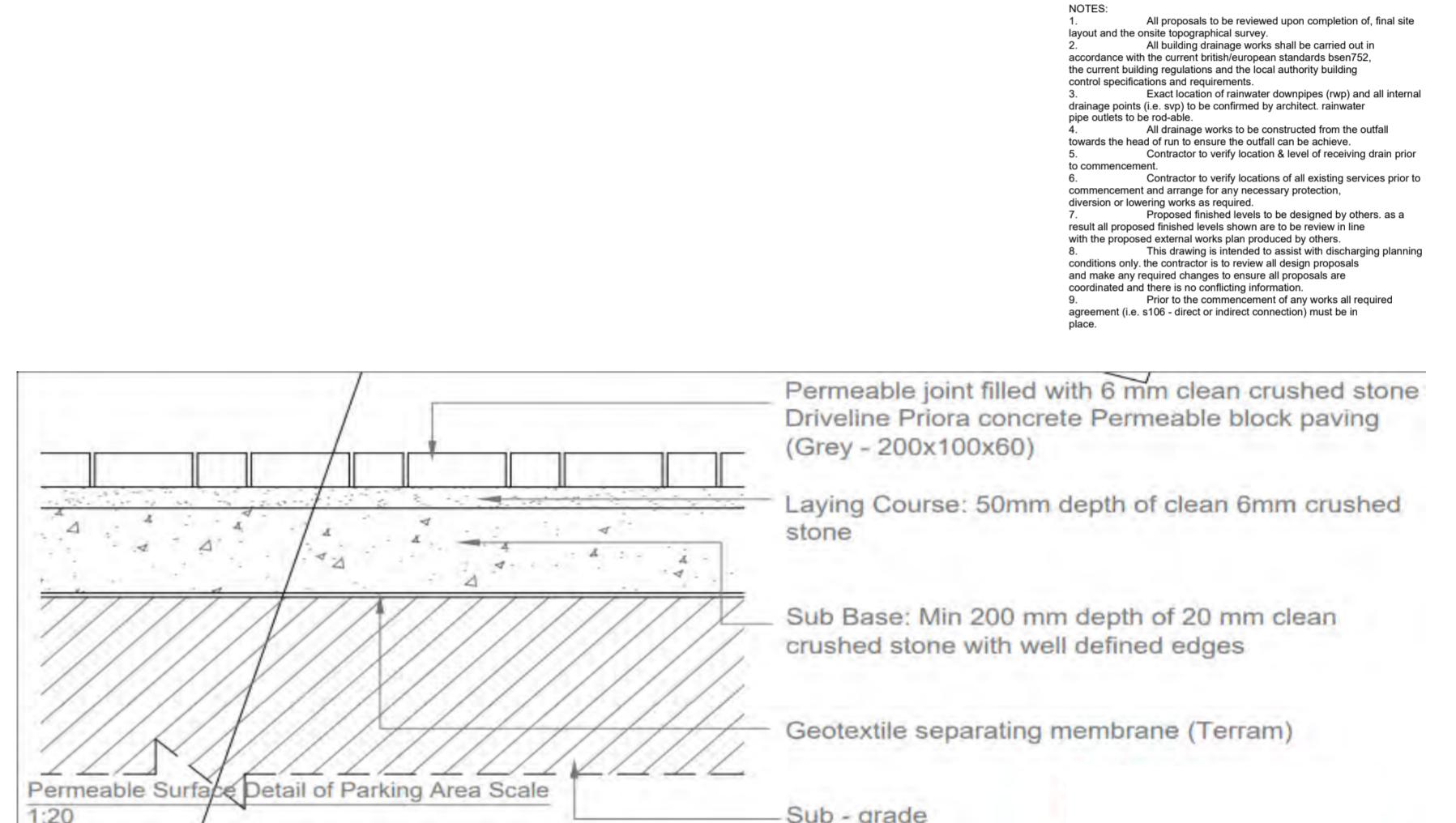
Proposed Landscape Plan

1:100

OUTLINE SPECIFICATION								
General								
All landscaping work shall be in accordance with approved horticultural standards and all relevant British Standards. Plants shall be supplied in accordance with the HTA Trade Certification Scheme and handled in accordance with the CPSE Handling and Establishment of Landscape Plants Guidelines.								
Herbicides, pesticides and other chemicals may only be used with approval of the contract administrator. Use of chemicals shall be in accordance with all relevant guidelines and the manufacturer's recommendations.								
Imported topsoil shall be a minimum specification of BS 3882:2007 Multipurpose Classification unless otherwise instructed. Use of approved compost/organic material/soil ameliorant shall be cultivated into topsoil before planting. Pest shall not be used.								
Following planting all shrub beds shall be treated with an approved granular fertiliser at rates as recommended by the manufacturer.								
All planting beds shall be mulched with 50mm depth medium grade bark mulch.								
Maintenance								
The Defects liability period for planting shall be 12 months from completion of the works. During this period any plant which is found to be dead, dying or otherwise defective shall be replaced during the next planting season.								
The contractor shall make maintenance visits as required to ensure the successful establishment of the planting and maintain the planting in a weed free condition.								
Planted into 450 mm depth topsoil.								
Species	Size(cm)		Pot Size(l.t)					
Cytisus x purpureus	30-40		30-40					
Hebe 'Nicola's Blush'	30-40		3L					
Hypericum 'Hidcote'	30-40		3L					
Grass	30-40		3L					
Lay onto a minimum 100mm depth topsoil reduced to a fine tilth 10mm down particles.								
Key Mix								
GT1	Rowlawn Medallion		Quantity					
	2L		tbc					
	tbc		28					
Total Area to be calculated on site by landscape contractor.								

NOTES:

- All proposals to be reviewed upon completion of, final site layout and the onsite topographical survey.
- Proposed drainage works to be carried out in accordance with the current British/European standards BSEN752, the current building regulations and the local authority building control specifications as required.
- Existing location of rainwater downpipes (rwp) and all internal drainage points (i.e. svp) to be confirmed by architect, rainwater pipe outlets to be rod-able.
- Proposed drainage works to be constructed from the outfall towards the head of run to ensure the outfall can achieve.
- Contractor to verify location & level of receiving drain prior to commencement.
- Contractor to verify locations of all existing services prior to commencement and arrange for any necessary protection.
- Proposed levels to be designed by others, as a result all proposed finished levels shown are to be review in line with the proposed external works plan produced by others.
- The contractor is to review all proposed drainage conditions only, the contractor is to review all design proposals and make any required changes to ensure all proposals are coordinated and there is no conflicting information.
- Proposed connection of all new works all required agreement (i.e. s108 - direct or indirect connection) must be in place.



#### Wall Legend

Existing Wall
Proposed Wall
Demolition Walls

1:100

0 1 2 3 4 5 m



SY Design  
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Web: www.sydesignstudio.co.uk

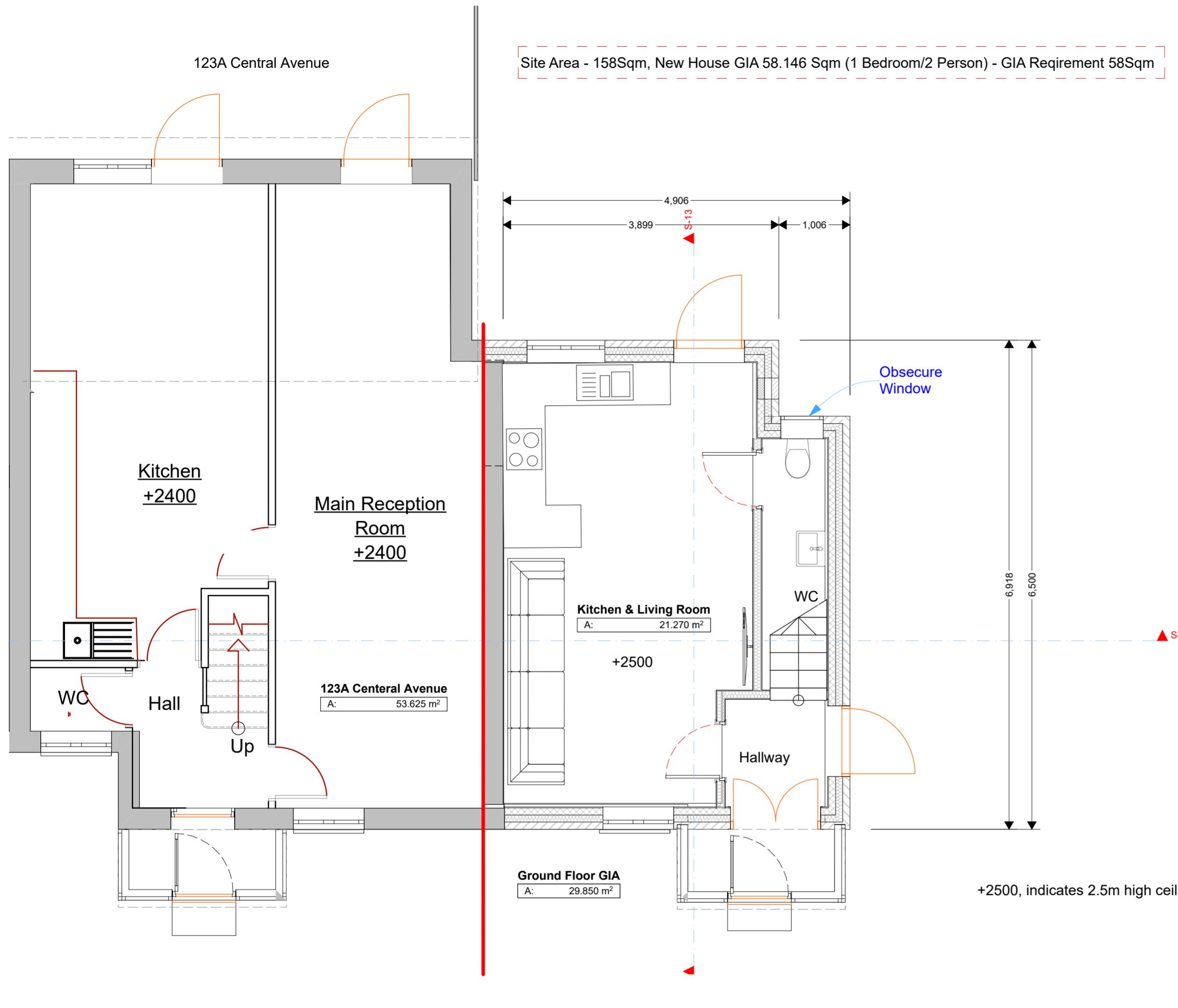
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Ch-1	03/05/20	Change		
3	25			

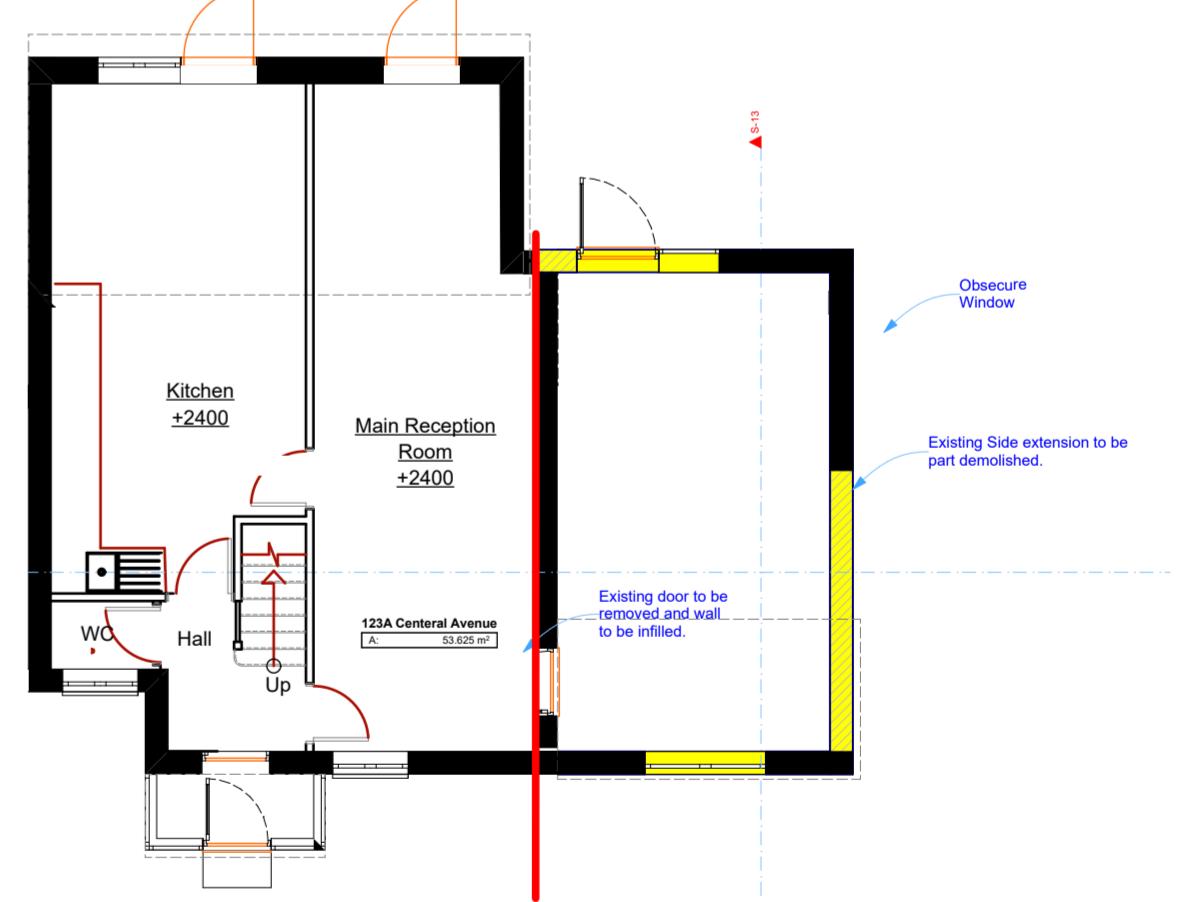
Site Address:  
Land Adjustment - 123A Central Avenue Hayes UB3 2BS

Drawing Title: Landscape Plan Client: Jarnail Singh Date: 03/05/2025 Drawn By: SY  
Status: Plans Proposed Scale: 1:100@A2 Project No: 1037 Drawing No: 1037-12 Rev: 01



2

Existing Site Area - 330Sqm  
Existing double storey extension GIA - 34.98Sqm  
Proposed Site Area of new development - 158.5Sqm  
New Development GIA - 58.14Sqm 1 bed / 2 person required area 58 Sqm



#### Wall Legend

Existing Wall  
Proposed Wall  
Demolition Walls

1:50  
0 .5 1 1.5 2 2.5m

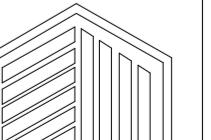
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Ch-1	03/05/20	Change
3	25	
Ch-1		Change
0	30/10/20	
Ch-0	23	Change
9		
Ch-0	30/08/20	Change
8	23	
	30/08/20	
	23	
Rev	Date	Description
		By Chkd'

Site Address:  
Land Adjustment - 123A Central Avenue Hayes UB3 2BS

Drawing Title: Proposed Ground Floor Plan Client: Jarnail Singh Date: 03/05/2025 Drawn By: SY  
Status: Plans Proposed Scale: 1:500, 1:50, 1:100@A2 Project No: 1037 Drawing No: 1037-13 Rev: 08  
Plans Proposed

  
Tel: 07859431227  
Email: salman@sydesignstudio.co.uk  
Web: www.sydesignstudio.co.uk

123A Central Avenue

Site Area - 158Sqm, New House GIA 58.146 Sqm (1 Bedroom/2 Person) - GIA Reqirement 58Sqm

Existing Site Area - 330Sqm

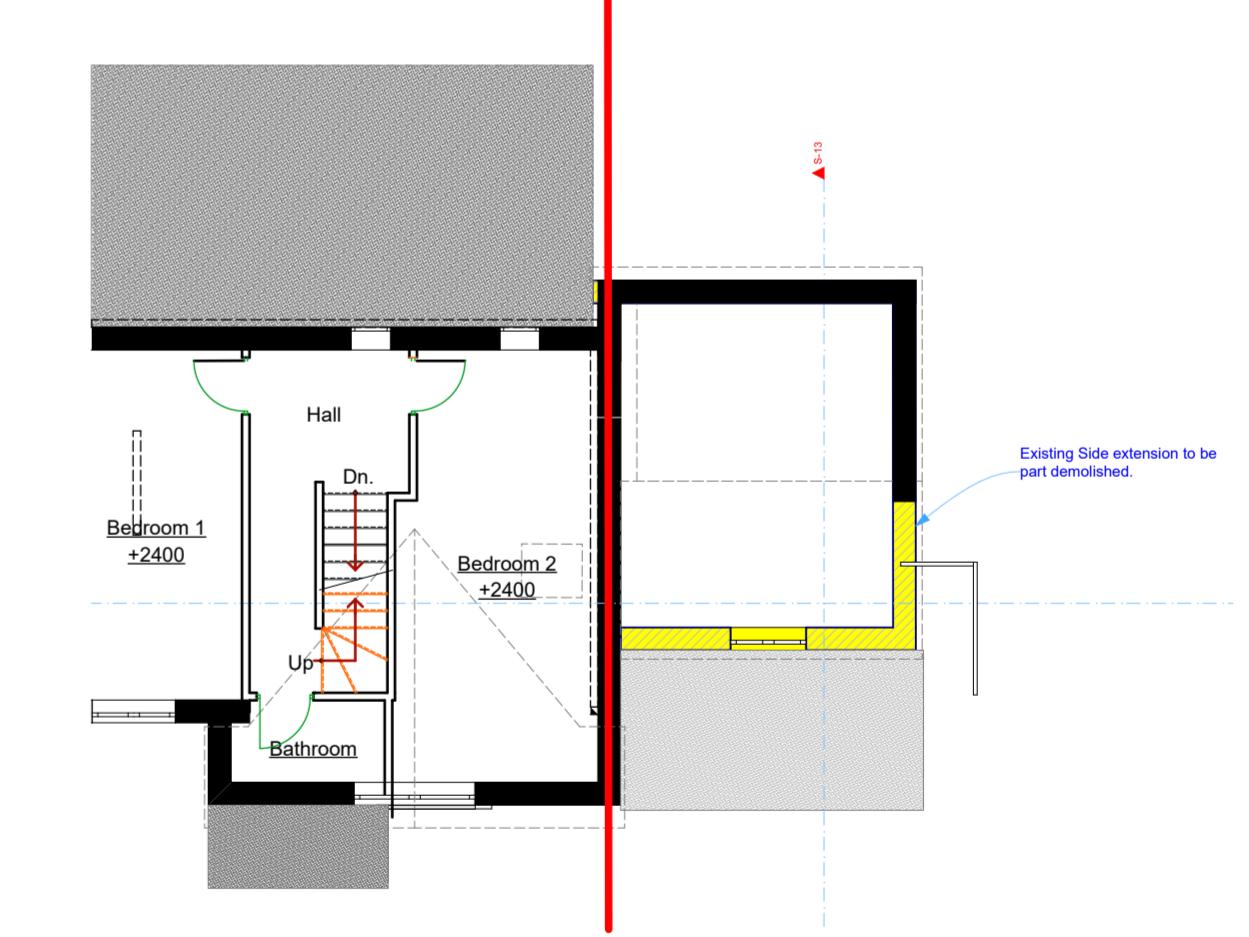
Existing double storey extension GIA - 34.98Sqm

Proposed Site Area of new development - 158.5Sqm

New Development GIA - 58.14Sqm 1 bed / 2 person required area 58 Sqm



+2500, indicates 2.5m high ceiling



## 01-Existing First Floor

## Wall Legend

1:50

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**Notes:**

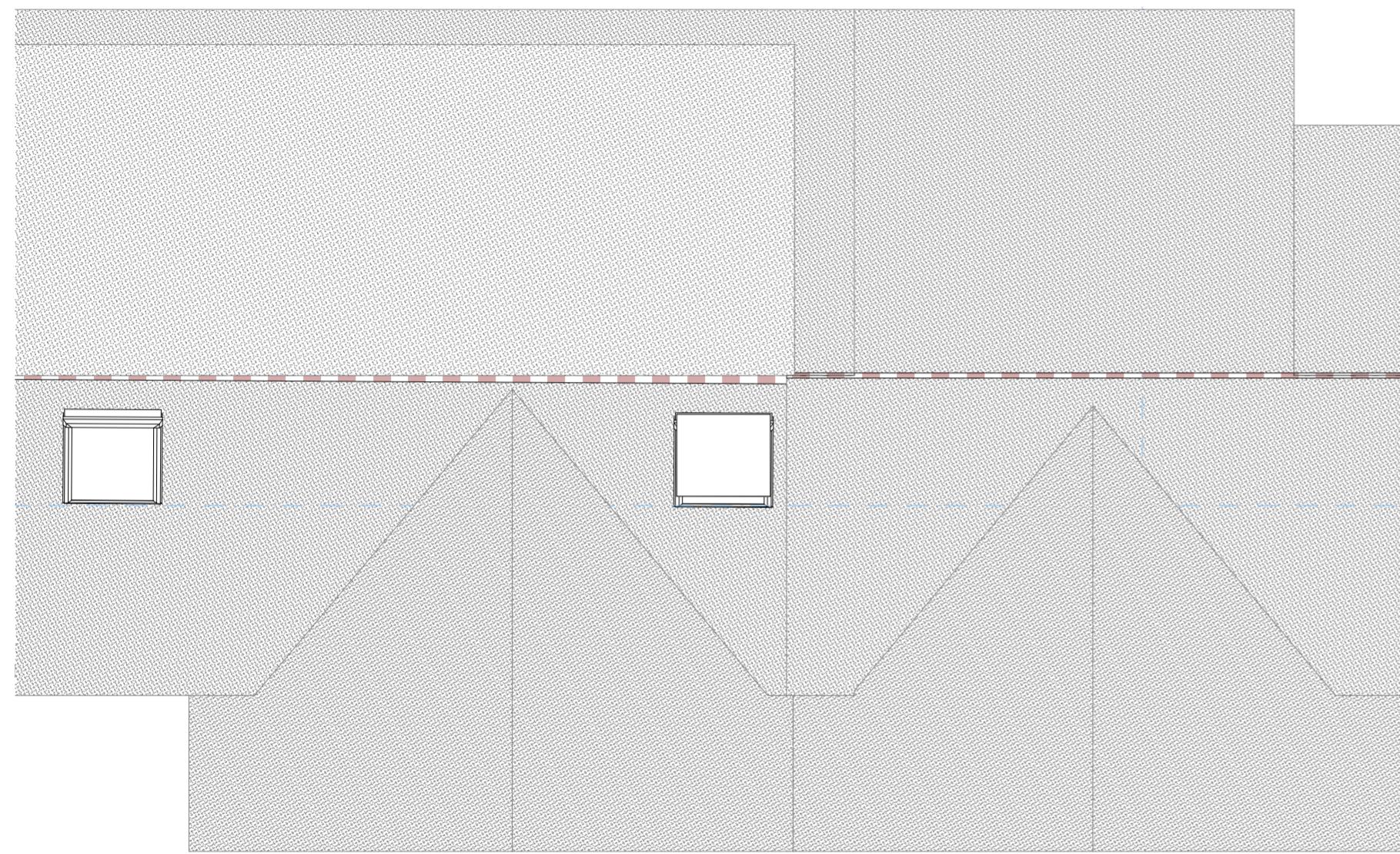
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Ch-1 3	03/05/20 25	Change	
Ch-1 0	30/10/20 23	Change	
Ch-0 9		Change	
Ch-0 8	30/08/20 23	Change	
	30/08/20 23		

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Land Adjustment - 123A Central Avenue Hayes UB3 2BS

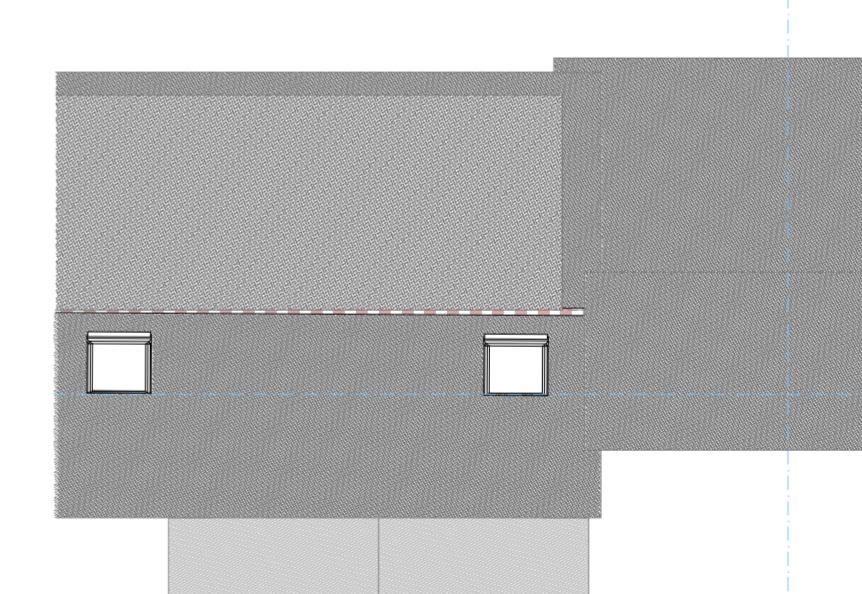
Drawing Title: Client: Date: Drawn By:

**SY Design  
Studio**



RF-Proposed Roof  
1:50

1  
-



2  
-

RF-Existing Roof  
1:100

Wall Legend

- Existing Wall
- Proposed Wall
- Demolition Walls

1:50  
0 .5 1 1.5 2 2.5m

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3	25			
Ch-1				
0	30/10/20	Change		
Ch-0	23			
9				
Ch-0	30/08/20	Change		
8	23			
	30/08/20			
	23			
Rev	Date	Description	By	Chkd

Site Address:  
Land Adjustment - 123A Central Avenue Hayes UB3 2BS

Drawing Title: Client: Date: Drawn By:  
Proposed Roof Plan Jarnail Singh 03/05/2025 SY  
Status: Scale: Project No: Drawing No: Rev:  
Plans Proposed 1:50, 1:100@A2 1037 1037-15 08

  
SY Design  
Studio

Tel: 07859431227  
Email: salman@sydesignstudio.co.uk  
Web: www.sydesignstudio.co.uk



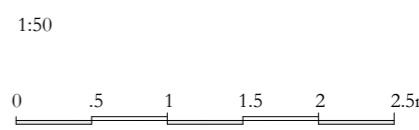
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Generic Perspective (2)

1:153.73

Wall Legend

- Existing Wall
- Proposed Wall
- Demolition Walls



N



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Ch-0	30/10/2023	Change
	30/08/2023	
	13/07/2023	
Rev	Date	Description

Site Address:

Land Adjustment - 123A Central Avenue Hayes UB3 2BS

Drawing Title:

3d Model

Client:

Jarnail Singh

Date:

03/05/2025

Drawn By:

SY

Status:

Plans Proposed

Scale:

1:153.73@A3

Project No:

1037

Drawing No:

1037-16

Rev:

08



**SY Design  
Studio**



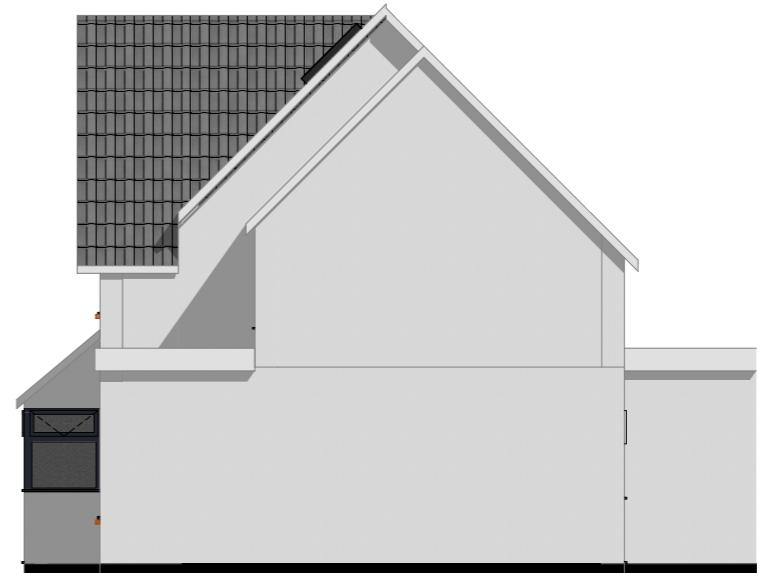
Existing Front Elevation

1:100



Existing Rear Elevation

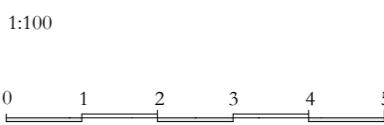
1:100



Existing Side Elevation 1:100

Wall Legend

- Existing Wall
- Proposed Wall
- Demolition Walls



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Ch-1	03/05/2025	Change
3		
Ch-1	30/10/2023	Change
0		
Ch-0	13/07/2023	Change
9		
Rev	Date	Description
		B C y d

Site Address:

Land Adjustment - 123A Central Avenue Hayes UB3 2BS

Drawing Title:

Existing Elevations

Client:

Jarnail Singh

Date:

03/05/2025

Drawn By:

SY

Status:

Elevations Existing

Scale:

1:100@A3

Project No:

1037

Drawing No:

1037-30

Rev:

08



**SY Design  
Studio**



1  
-

Proposed Front Elevation  
1:100



3  
-

Proposed Rear Elevation  
1:100



New Development 123B Central Avenue

2  
-

Proposed Side Elevation  
1:100

Wall Legend  
1:100  
Existing Wall  
Proposed Wall  
Demolition Walls  
0 1 2 3 4 5 m

N



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Ch-1	03/10/2023	Change
Ch-0	23	Change
Ch-0	30/08/2023	Change
Ch-0	23	Change
Rev	Date	Description

Site Address:  
Land Adjustment - 123A Central Avenue Hayes UB3 2BS  
  
Drawing Title:  
Proposed Elevations  
  
Status:  
Elevations Proposed  
Client:  
Jarnail Singh  
Date:  
03/05/2025  
Drawn By:  
SY  
  
Scale:  
1:100@A3  
Project No:  
1037  
Drawing No:  
1037-35  
Rev:  
08



**SY Design  
Studio**



1

Generic Perspective (3)

1:175.03

Wall Legend

- Existing Wall
- Proposed Wall
- Demolition Walls

1:100

0 1 2 3 4 5 m

N



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Ch-1	03/05/2025	Change	B	C
3	25		y	d
Rev	Date	Description		

Site Address:  
Land Adjustment - 123A Central Avenue Hayes UB3 2BS

Drawing Title:

3D

Client:

Jarnail Singh

Date:

03/05/2025

Drawn By:

SY

Status:

Elevations Proposed

Scale:

1:175.03@A3

Project No:

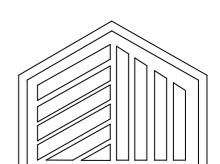
1037

Drawing No:

1037-38

Rev:

01



**SY Design  
Studio**



1

Generic Perspective (5)

Wall Legend

	Existing Wall	1:100	1:159.69
	Proposed Wall		
	Demolition Walls		

0 1 2 3 4 5 m

N



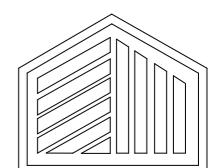
**Notes:**

1. THIS DRAWING IS COPYRIGHT AND MUST NOT BE RE-PRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION.
2. THIS DRAWING MUST NOT BE SCALED. REFER TO FIGURED DIMENSIONS ONLY, EXCEPT FOR PURPOSE OF CONSIDERATION UNDER PLANNING LEGISLATION.
3. USE FIGURED DIMENSIONS ONLY. ALL DIMENSIONS AND LEVELS TO BE CHECKED ON SITE PRIOR TO CONSTRUCTION. CLIENT TO BE NOTIFIED OF ANY DISCREPANCIES.
4. THIS DRAWING TO BE READ IN CONJUNCTION WITH THE OTHER RELEVANT PROJECT DRAWINGS AND CURRENT INSTRUCTIONS.
5. ALL STRUCTURAL DETAILS TO BE CHECKED AGAINST THE STRUCTURAL ENGINEERS DRAWINGS AND CALCULATIONS.
6. ALL M & E DETAILS TO BE CHECKED AGAINST M & E ENGINEERS, APPROVED SUB-CONTRACTORS DRAWINGS AND CURRENT INSTRUCTIONS.
7. ALL DRAWINGS AND SPECIFICATIONS FOR THE PROJECT TO BE READ IN CONJUNCTION WITH DESIGNER'S HAZARD AND ENVIRONMENTAL ASSESSMENT RECORD.
8. ALL WORK TO BE UNDERTAKEN WITH THE REQUIREMENTS OF THE CURRENT BUILDING AND WATER REGULATIONS.
9. CONTRACTOR SHALL OBTAIN REQUIRED PERMITS FROM ALL AGENCIES AND PAY ALL FEES PRIOR TO COMMENCEMENT OF ANY WORK

Ch-1	03/05/2025	Change	B
3			C
Rev	Date	Description	hk

Site Address:  
Land Adjustment - 123A Central Avenue Hayes UB3 2BS

Drawing Title: 3D 2 Client: Jarnail Singh Date: 03/05/2025 Drawn By: SY  
Status: Elevations Proposed Scale: 1:159.69@A3 Project No: 1037 Drawing No: 1037-39 Rev: 01

  
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