



DESIGN AND ACCESS STATEMENT

152 -156 High Street Yiewsley,
West Drayton,
Middlesex,
UB7 7BE

Existing Building

High Street Yiewsley runs north to south, east of the parallel running Grand Union Canal. The site is located between Trout Road and St Stephens Road with the rear of the site bordering the west facing side of Yiewsley Recreation Ground.

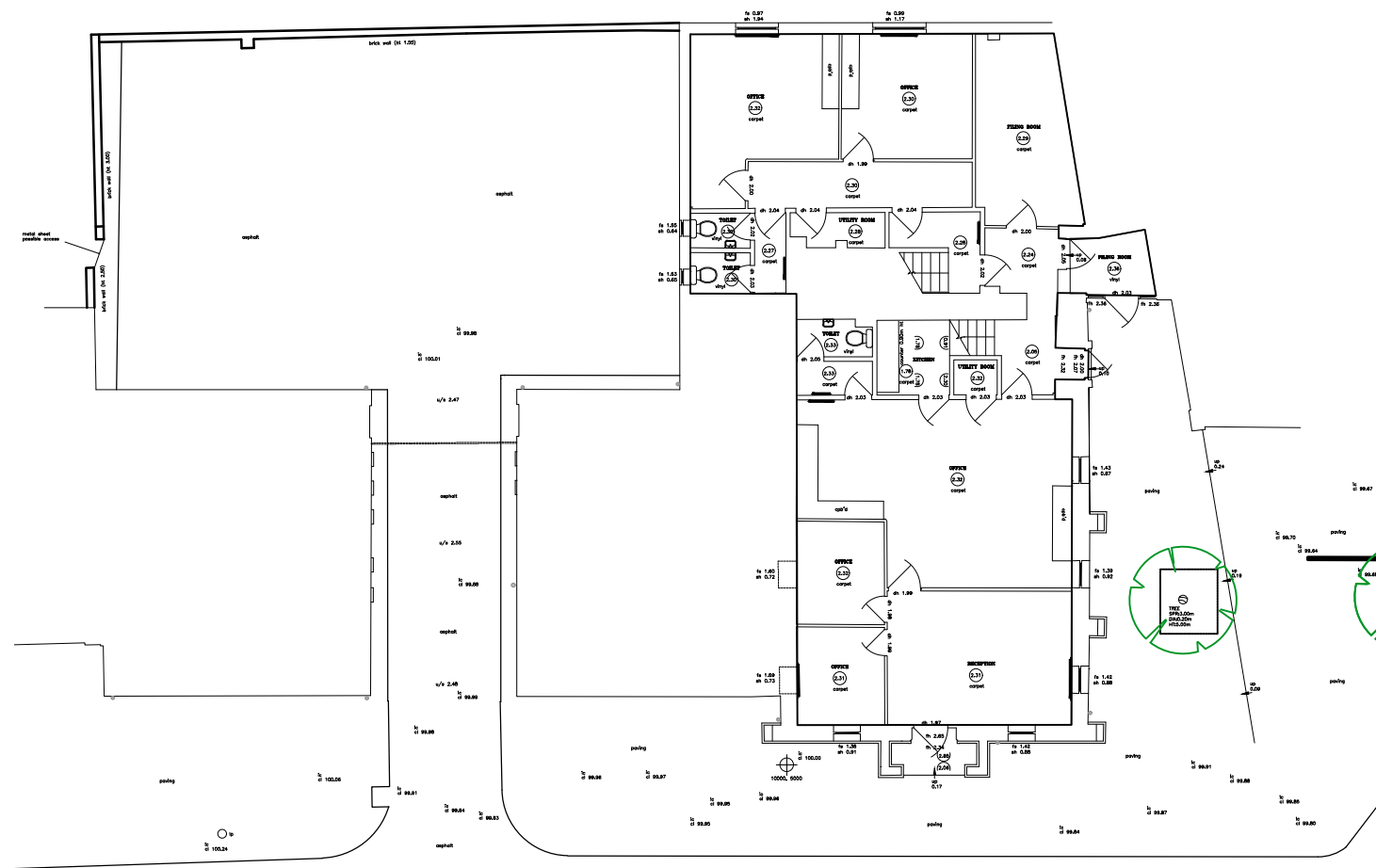
The existing site is a chapel which has been converted into a solicitors office with property numbers 152-156. The intent would be to convert this office into 6 flats of varying sizes.

EXISTING SITE

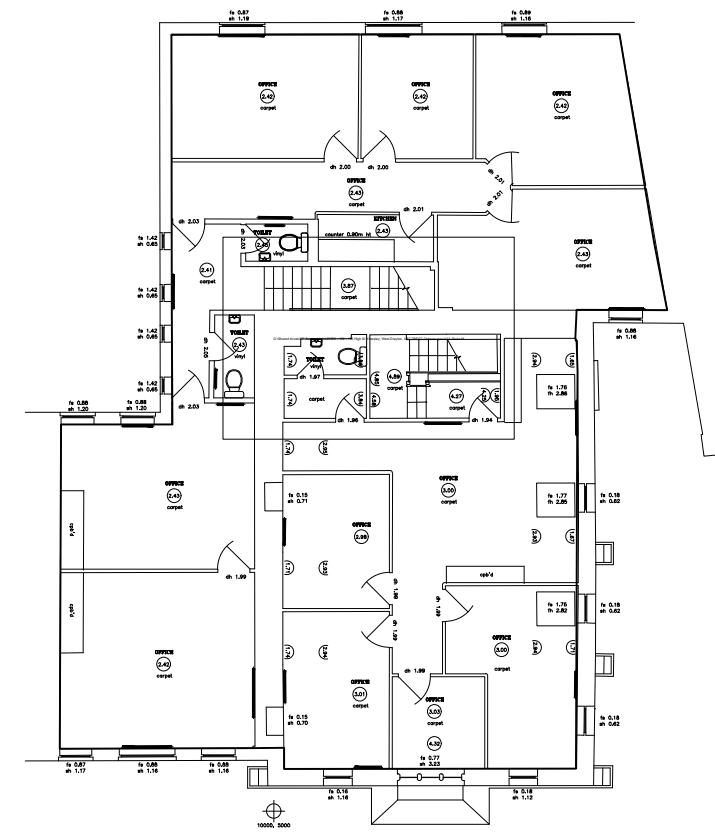


EXISTING GIA:	
<u>Ground Floor</u>	685 m ²
<u>First Floor</u>	698 m ²
TOTAL GIA:	1383 m ²





EXISTING GROUND FLOOR



EXISTING FIRST FLOOR

Early Considerations

Site analysis

The property is situated on a main road surrounded by small commercial properties on ground floor level. Opposite the property is a large Aldi Supermarket with a generous sized car park. The surrounding area appears to be a bit run down and mainly constructed with brickwork and concrete with the shop fronts itself comprising of a variety of colours.

The property itself is a typical chapel encapsulating the Gothic style of pointed archways shaping the windows and flying buttresses supporting the sides of the chapel. The chapel is mostly made from yellow brick and the extension to the north of the property is primarily made from red brick built circa 1980's.

There is a small private car park in this property which is also where the current bins are stored.

Unlike the surrounding retail units, the frontage of the chapel is a single door opening with and would not be a very appealing frontage for a commercial tenant for retail use.



152 - 156 High Street, Yiewsley, West Drayton, UB7 7QN



150 - 144 High Street, Yiewsley, West Drayton, UB7 7QN



131 High Street, Yiewsley, West Drayton, UB7 7QN



141 High Street, Yiewsley, West Drayton, UB7 7QN



Precedent of frosted privacy glazing on a roof terrace

Front Elevation



Design

Response to the surrounding area

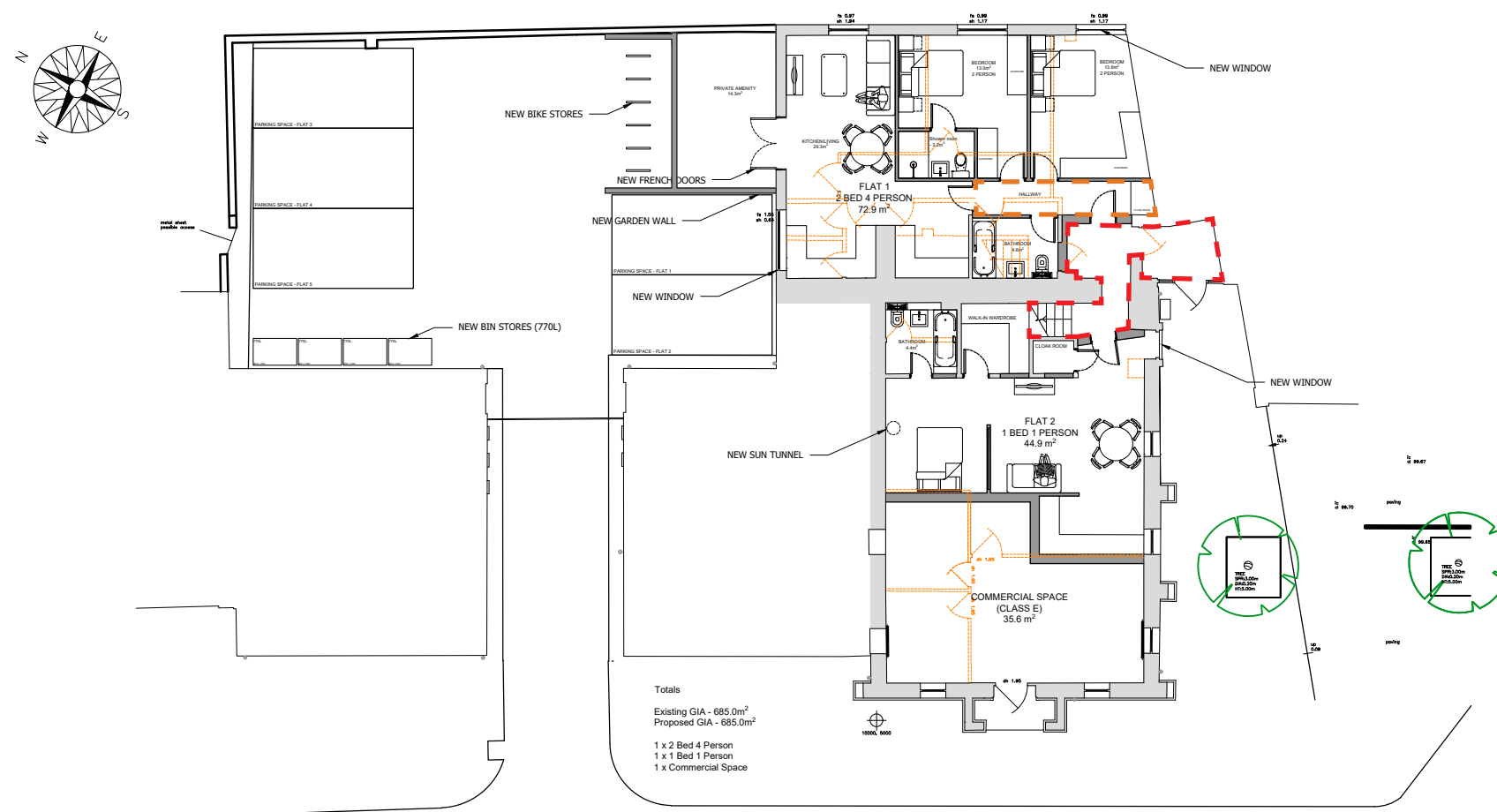
From the site analysis our design has been informed in a proposal which integrates with the character of the area.

The main elevation of 152-156 High Street Yiewsley is left relatively unchanged. The slight change in the front elevation comes from the first floor bisecting the arched windows. We are proposing to replace the existing single glazed window and have spandrel panels where the first floor meets the window. We will be keeping the intricate glazing bars that are currently on the windows. From the high street the only visual difference you will see with these windows is a slightly darker area of glazing where the first-floor meets the window.

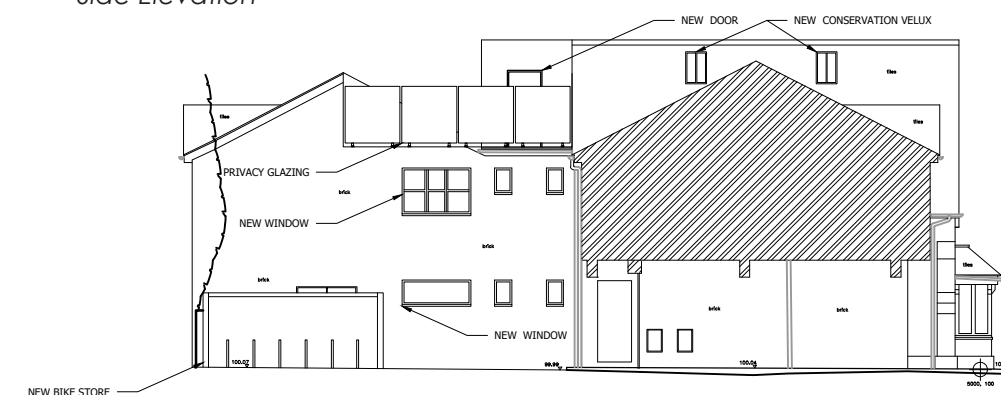
For the 6 flats we are proposing, we are looking to provide a shared roof terrace for the tenants. This terrace will be built into the pitch of the roof over looking the private car park. This terrace will not be visible to the public and can only be seen from the car park which is exclusively for the tenants. For this terrace will be using frosted privacy glazing so that the view from the terrace does not intrude on neighboring properties.

The nature of the development is predominantly a change of use, with very little external changes to the appearance of the building from the street. A number of new windows are proposed to the side and rear elevation together with a small number of conservation type roof lights at higher level.

Ground Floor Plan



Side Elevation



Response to the brief

As part of the brief we were asked to convert an under-utilised office space that is no longer fit for purpose in to a number of residential units in order to meet local housing need. To keep to the theme of the commercial shops on the street front we have allowed for a commercial space on ground floor level at the front of the chapel. This will mean the main entrance on the front elevation of the chapel will only be to access the commercial space and remains unchanged in our proposals.

On ground floor level we are also proposing 2 flats. A 1 person 1 bed studio and a 2 bed 4 person flat. Access to the residential part of the building is through an existing side door to the south of the property. The 2 bed 4 person flat will have private amenity space which will be located in the south east corner of the existing car park.

At first floor level we are proposing 4 flats, 2 x 1 bed 1 person, 1 x 1 bed 2 person and a 3 bed 6 person.

For the 3 bed 6 person flat we are going to lower the ceiling height to 2.4m so that we have space for a double bed and a bathroom in a newly created mezzanine level. To increase the amount of sunlight in this flat we will be using a combination of conservation velux windows and light tunnels.

For the other flats on this level we are changing very little apart from the addition of larger windows in the same style as some of the existing windows to the rear and side elevations.

All the flats that we have proposed comply with minimum space standard requirements and storage requirements.

To create an outdoor space for the tenants we are creating a new set of stairs above the existing stair-core to access the proposed roof terrace. This terrace is being built within the pitch of the existing building. This terrace creates over 40m2 of outdoor space for 5 flats.

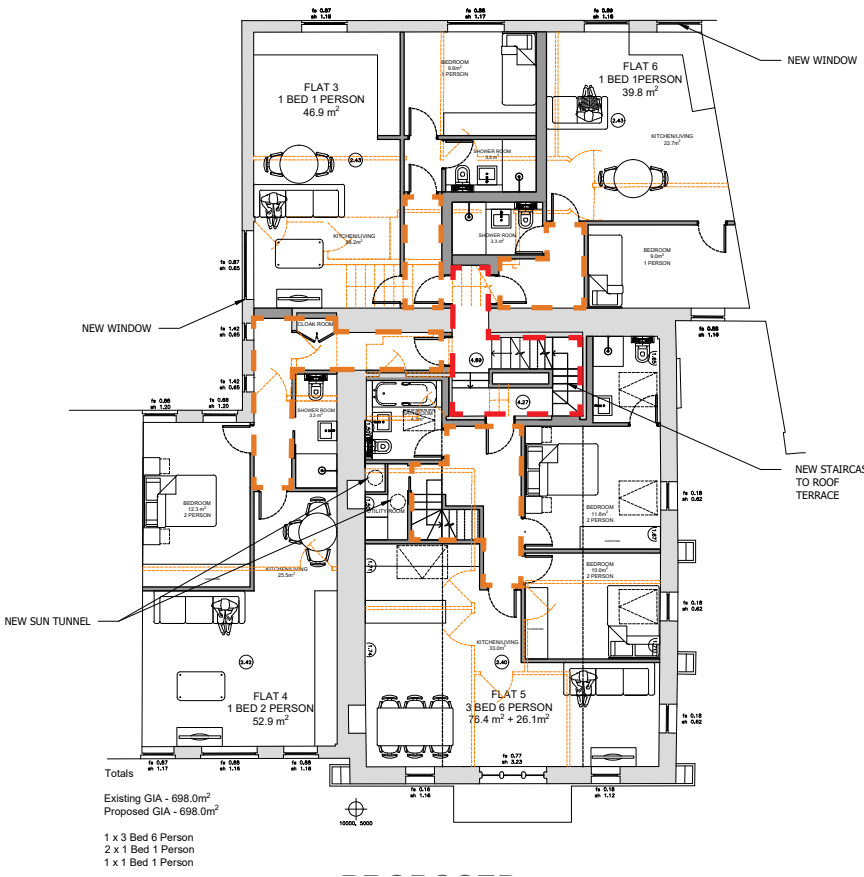
Access, Parking and Refuse

The existing car park we will be retained and will also have bike storage, an improved area for bins and private amenity for one of the ground floor flats.

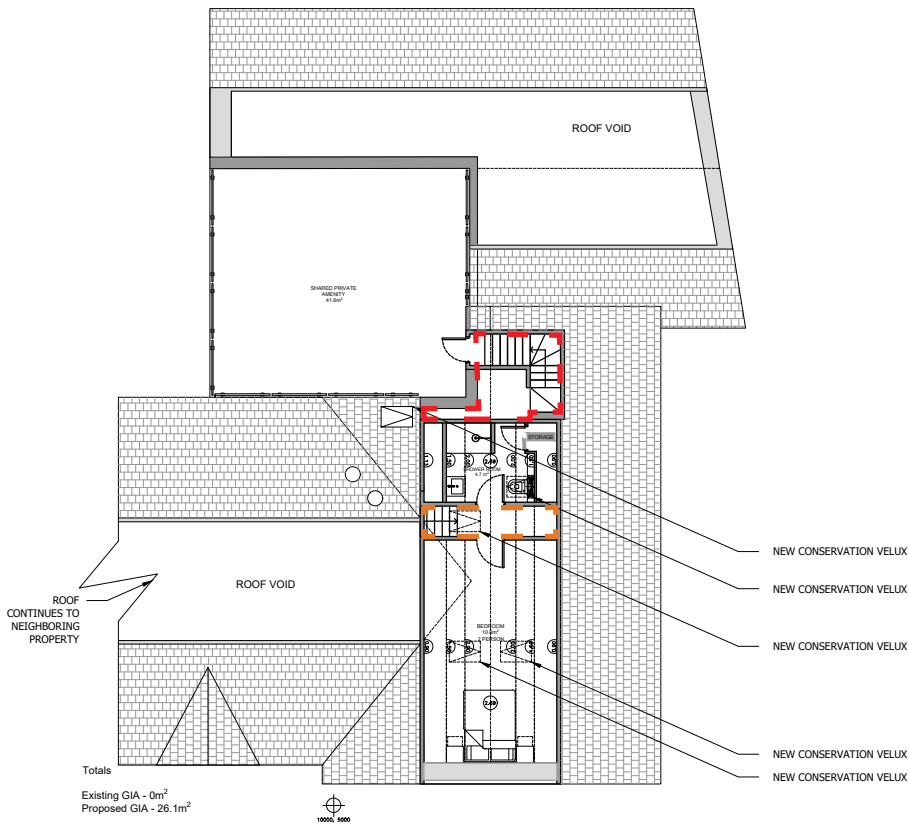
The minimum standard for cycle parking will be met by providing a total of 12 cycle spaces; 2 for each flat. They will be covered and securely locked in a new bike store.

The refuse requirement will be met by the new large bin store, conveniently located away from the flats in its own designated area to the west of the car park.

This leaves space for 5 car parking spaces which will be allocated to tenants on a first come first serve basis.



First Floor Plan



Mezzanine Level Floor Plan



Existing car park and bin storage



Existing bin storage

Fire Strategy note

To comply with London Plan Policy for fire safety we have taken into consideration the fire strategy since the early stages of design development
As our building has more than two storeys and exceed 7.5m above ground level, the strategy include:

1. A protected stairway with direct escape outside - a stair separated by fire resisting construction (minimum REI 60) at all storeys
2. All flats will have 30 min fire protected lobbies with FD30 fire doors.

Noise Assessment

As per the noise assessment undertaken by auricl we are proposing to upgrade the windows to the street elevation to meet noise requirements. This will involve secondary glazing where the existing windows are retained, and new high performing glazing where replaced. In order to maintain indoor air quality and noise requirements windows will remain closed and an MVHR system installed to provide adequate ventilation to spaces.



MVHR Unit

Energy Statement

Regarding the energy consumption, the project is aiming to achieve compliance with the London Plan for carbon reduction, by adopting the use of Air Source Heat Pumps which will be installed in the car park side elevation and the roof terrace.

The proposed building is also designed to comply with the U-Values parameters required by the Part L 2021 Building Regulation for the existing thermal elements:

- | | |
|--|---------------|
| • Roof | 0.15 W/(m²xK) |
| • Wall - cavity insulation | 0.18 W/(m²xK) |
| • Wall - internal or external insulation | 0.18 W/(m²xK) |
| • Floor | 0.18 W/(m²xK) |

Other M&E specifications will include:

- Air Permeability: 5m³/(hm²) @50Pa
- Ventilation: System 1 Ventilation
- Heating Controls: Time and Temperature Zone Controls
- Heat Emitters: Radiators
- Lighting: 100% LED lighting

Conclusions

Because of the consideration given to the existing building demonstrated by the careful design solutions adopted, the proposed office to residential conversion would give the unoccupied building a new purpose. Every energy , environmental and technical housing requirement will be met with this proposal and it will bring much needed housing to the area. The current building is not be utilised to its fullest potential and with our proposal we will greatly improve the function of the chapel. We therefore consider our proposed development acceptable in planning terms.