

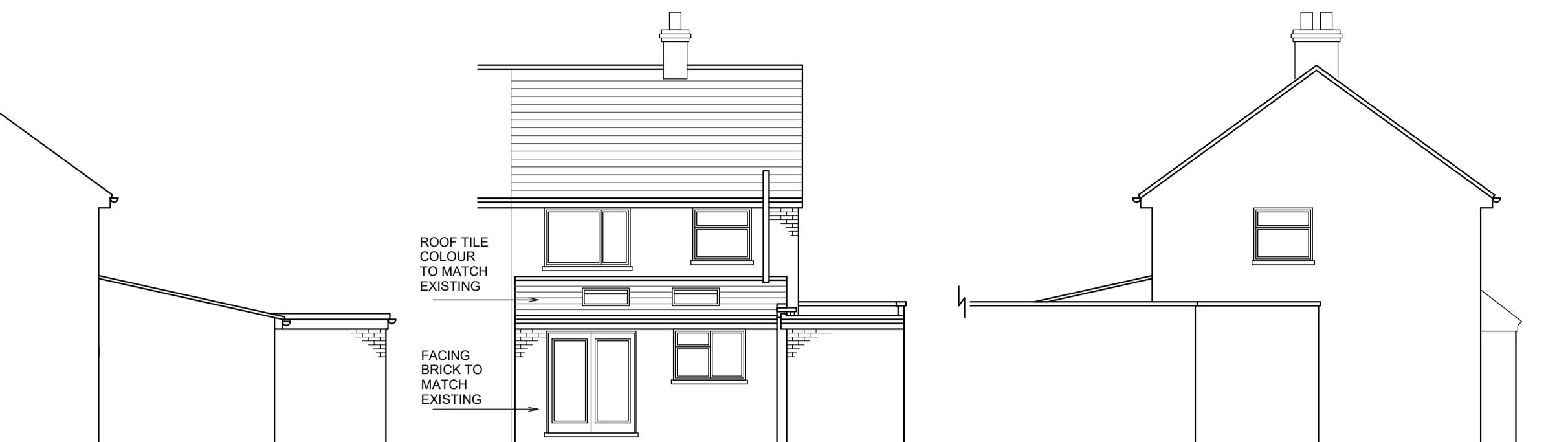


EXISTING SIDE ELEVATION

EXISTING REAR ELEVATION

SCALE 1:100

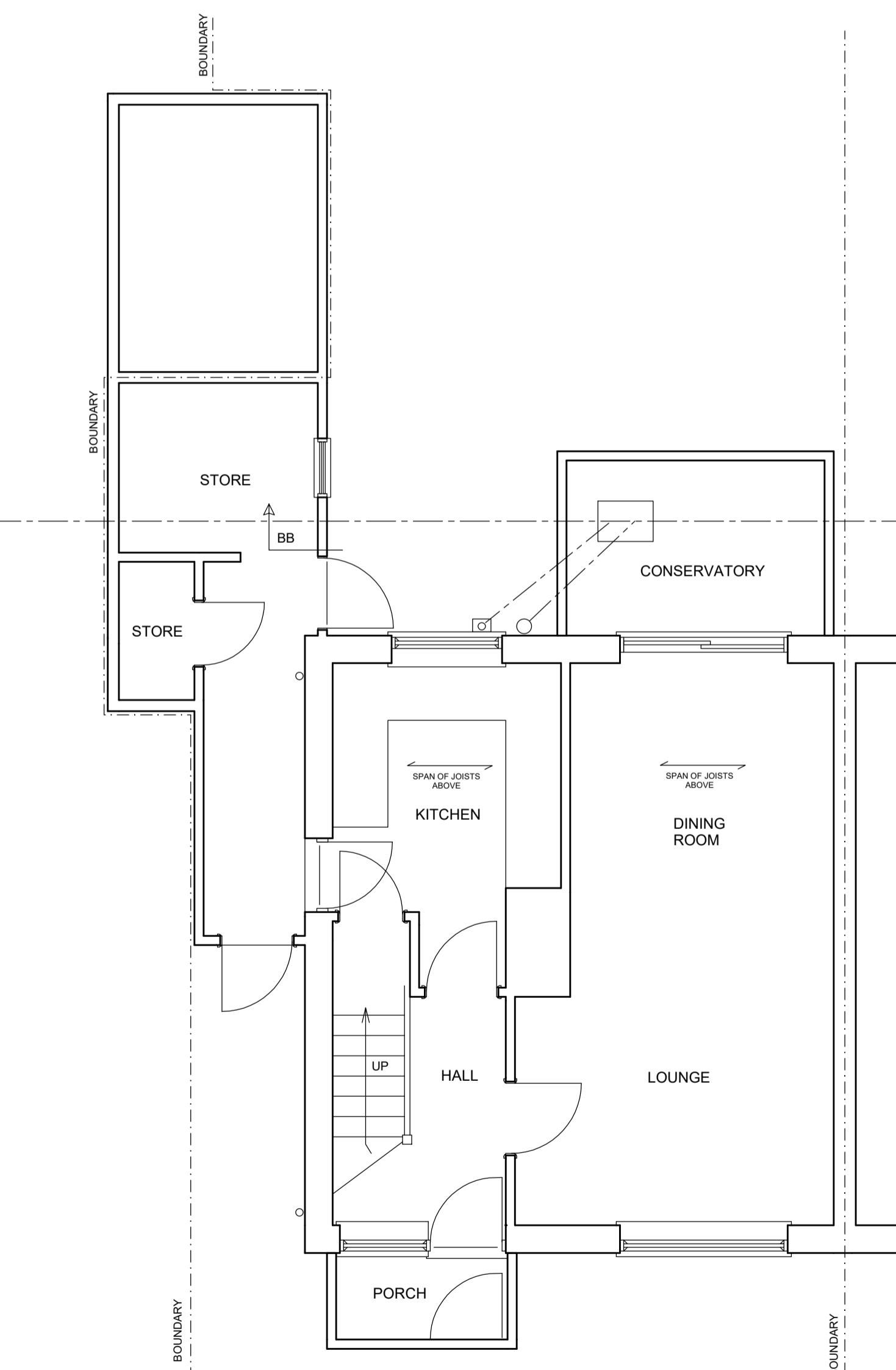
EXISTING SIDE ELEVATION



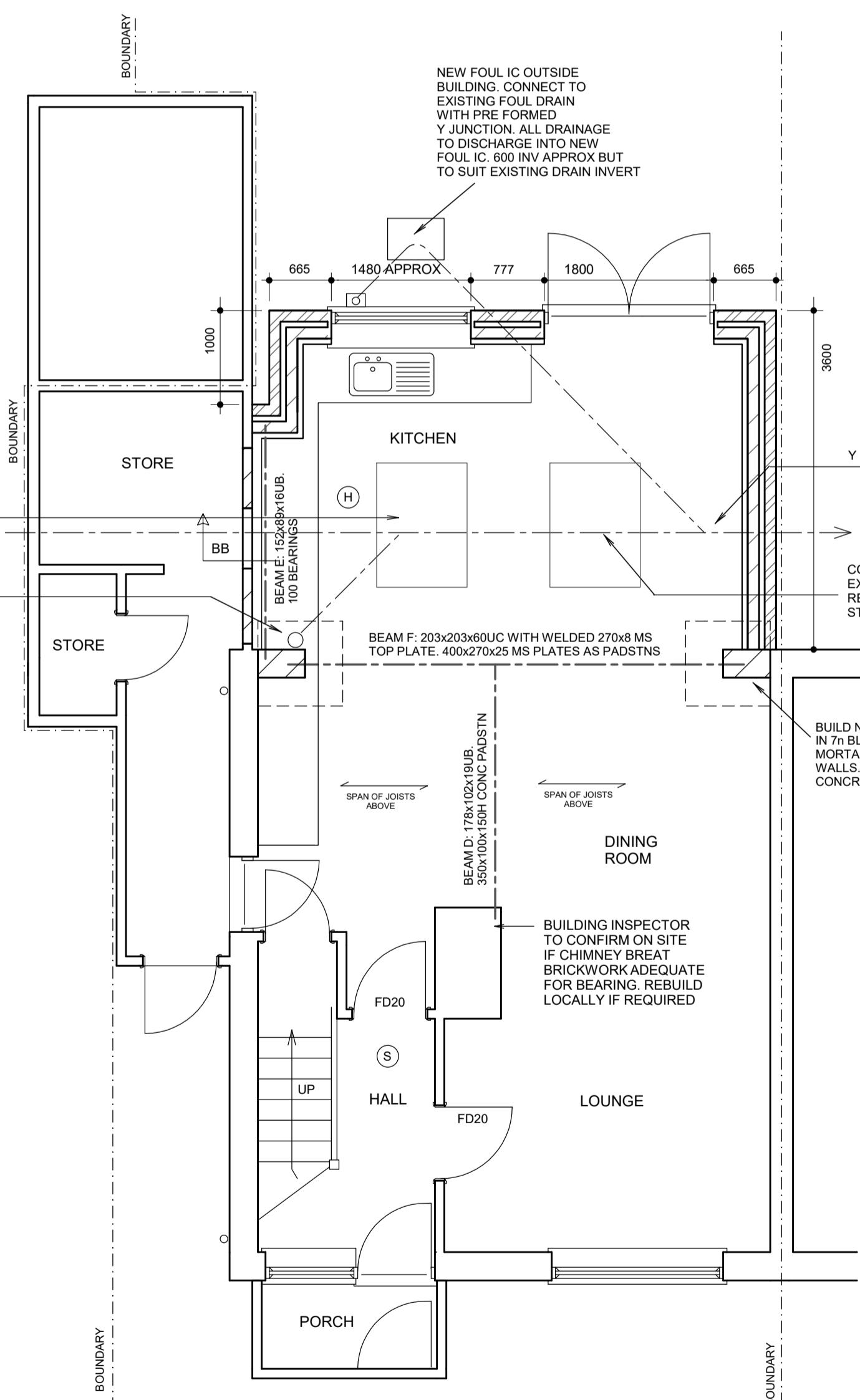
PROPOSED SIDE ELEVATION

PROPOSED REAR ELEVATION

PROPOSED SIDE ELEVATION



EXISTING GROUND FLOOR PLAN



PROPOSED GROUND FLOOR PLAN

ESTIMATED AND TO BE CONFIRMED ON SITE. ALL NEW WORKS TO BE
WITHIN TRUE BOUNDARIES UNLESS STATED OTHERWISE ON PLAN
WORK TO COMPLY WITH CURRENT BUILDING REGULATIONS
IN MILLIMETRES AND TO BE CONFIRMED ON SITE
DIMENSIONS TO BE CONFIRMED ON SITE AND NOT BE TAKEN
TURAL CALCULATIONS
TREES ARE ESTIMATED AND ARE TO BE CHECKED & CONFIRMED
BEFORE ANY WORK COMMENCES
SERVE PARTY WALL ACT NOTICE BEFORE WORK COMMENCES
TO BE CARRIED OUT & SUPERVISED BY COMPETENT OPERATIVES

DUE TO SURVEY LIMITATIONS EXISTING JOIST SPANS ASSUMED UNTIL CONFIRMED ON SITE. ALL WALLS & PARTITIONS TO BE CONSIDERED LOADBEARING UNTIL OPENED UP ON SITE AND CHECKED BY COMPETENT PERSON TO CONFIRM OTHERWISE. MUST BE CONFIRMED BEFORE ANY WORK COMMENCES

IF STRUCTURAL ENGINEERS DESIGN RELATING TO STRUCTURAL ELEMENTS CONTRADICTS ARCHITECTURAL DRAWING/SPEC - ENGINEERS DESIGN PREVAILS

THIS DRAWING IS FOR PLANNING & BUILDING REGULATION APPLICATION PURPOSES ONLY. BUILDER/CLIENT TO APPOINT CDM CONSULTANT TO ENSURE WORKS COMPLY WITH CDM REGULATIONS BEFORE WORK COMMENCES

SINCE WE HAVE NO ACCESS TO THE DEEDS OF THE PROPERTY IT IS THE RESPONSIBILITY OF THE CLIENT TO ENSURE THAT THE WORKS DO NOT CONTRAVENE ANY RESTRICTIVE COVENANTS CONTAINED IN THE DEEDS

DRAINS

Clay 100 dia pipe laid in 150 pea shingle to fall min 1 in 40. Inspection chambers 150 concrete base. 215 shaft of engineering bricks type B flat pointed. Clay fittings in 1:3 mortar benching. 600x450 cast iron frame & cover. Alternatively use Osma preformed IC all to manufacturers spec (only on private non shared drains). Drains shown on drawings are estimated and are to be confirmed on site before any work commences.

SURFACE WATER

112 dia PVC gutters. 68 dia PVC downpipes. Surface water downpipes connected to soakaway minimum 5 metres from any building. Volume of 1 cubic metre per 16.5 square metres of roof area served. Fill with hardcore.

<p>20 SULLIVAN CRESCENT HAREFIELD UB9 6NL</p> <p>SINGLE STOREY EXTENSION</p>	<p>SCALE 1:50 / 1:100 @ A1</p> <p>JAN 2023</p>	<p>DRG No. 2356.4</p>	<p>JAMES RUSH ASSOCIATES LTD</p> <p>54 JOINERS LANE CHALFONT ST PETER</p> <p>BUCKINGHAMSHIRE SL9 0AT TEL: 01923 775 761</p> <p>EMAIL: jamesrush@hotmail.com</p> <p>© COPYRIGHT JAMES RUSH ASSOCIATES LTD</p>	<p>10.00 METRES @ 1:100</p> <p>5.00 METRES @ 1:50</p>
<p>20 SULLIVAN CRESCENT HAREFIELD UB9 6NL</p> <p>SINGLE STOREY EXTENSION</p>	<p>SCALE 1:50 / 1:100 @ A1</p> <p>JAN 2023</p>	<p>DRG No. 2356.4</p>	<p>JAMES RUSH ASSOCIATES LTD</p> <p>54 JOINERS LANE CHALFONT ST PETER</p> <p>BUCKINGHAMSHIRE SL9 0AT TEL: 01923 775 761</p> <p>EMAIL: jamesrush@hotmail.com</p> <p>© COPYRIGHT JAMES RUSH ASSOCIATES LTD</p>	<p>SURFACE WATER</p> <p>12dia PVC gutters. 68dia PVC downpipes. Surface water downpipes connected to soakaway minimum 5metres from any building. Volume of 1 cubic metre per 1.5 square metres of surface area served. Fill with hardcore.</p>