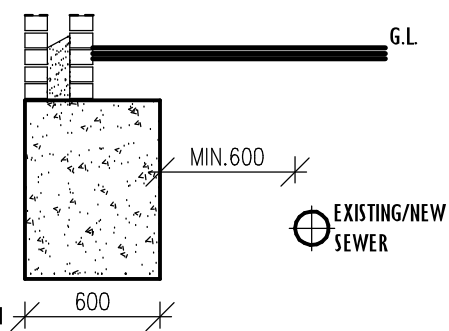
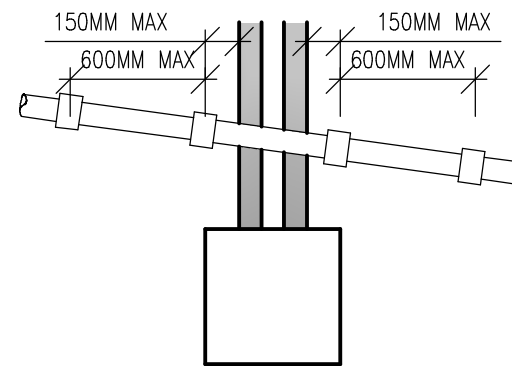


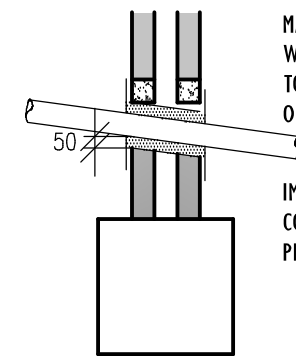
BRIDGING DETAIL FOR
DRAINAGE THROUGH FOUNDATION



GENERAL FOUNDATION DEPTH
REQUIREMENT DETAIL



A) SHORT LENGTH OF PIPE BEDDED IN WALL,
JOINTS FORMED WITHIN 150 MM OF EITHER WALLFACE.
ADJACENT ROCKER PIPE OF MAX. LENGTH 600 MM WITH
FLEXIBLE JOINTS.



B) ARCH OR LINTELLED OPENING TO GIVE 50 MM SPACE
ALL ROUND THE PIPE

MASK OPENING BOTH SIDES
WITH RIGID SHEET MATERIAL
TO PREVENT ENTRY OF FILL
OR VERMIN

IMPORTANT: FILL VOID WITH
COMPRESSIBLE SEALANT TO
PREVENT ENTRY OF GAS

DETAIL OF DRAIN THROUGH WALL

NOTES

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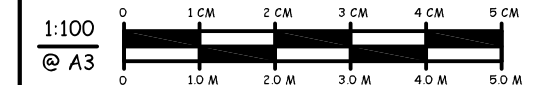
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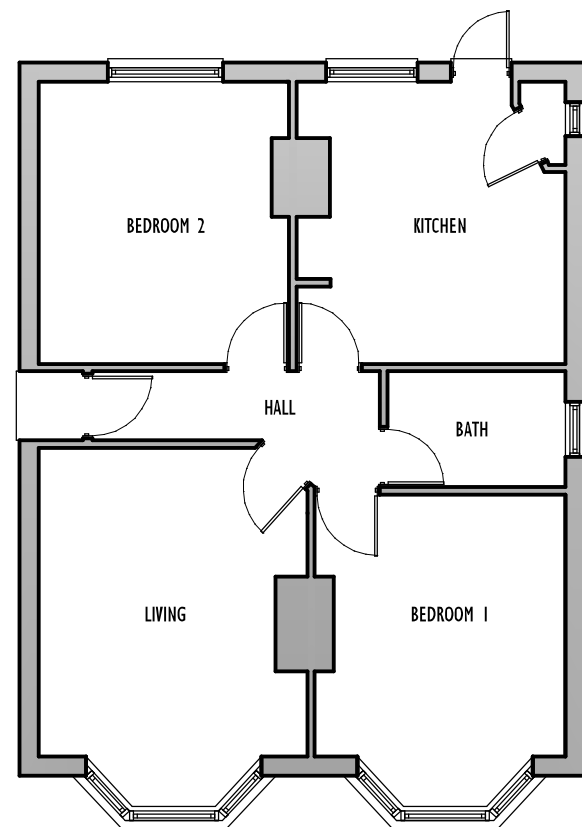
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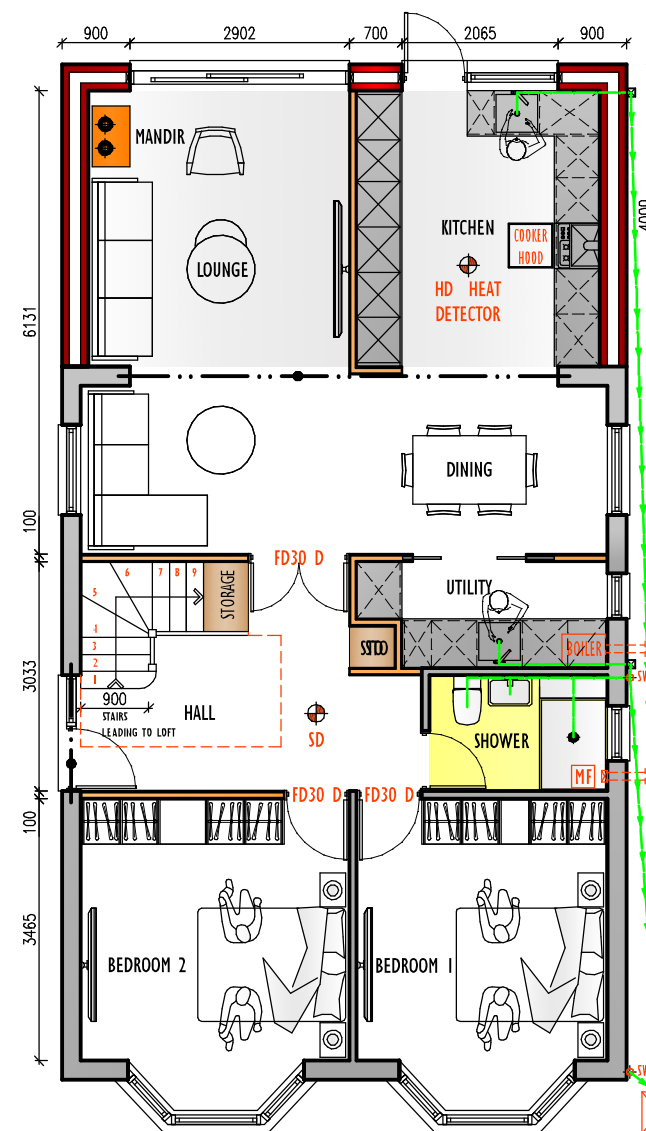
NO. 60



EXISTING
GROUND FLOOR PLAN

NO. 56

NO. 60



PROPOSED
GROUND FLOOR PLAN

NO. 56

NO. 56

LEGEND

- EXISTING WALL
- PROPOSED CAVITY WALL
- PROP. STUD WALL
- PROPOSED STEEL BEAMS & STEEL COLUMNS (C) TO ENGINEER'S DETAIL
- PROPOSED DRAIN

LEGEND

- COOKER HOOD COOKER HOOD ABOVE TO GIVE MINIMUM 30 L/S EXTRACTION DUCTED TO OUTSIDE THROUGH CEILING BOXED-IN.
- BOILER PROVIDE VAillant ECOMAX WALL MOUNTED CONDENSING HIGH EFFICIENCY BOILER WITH EFFICIENCIES IN EXCESS OF 91% DUCTED TO OUTSIDE THROUGH CEILING OR SIMILAR APPROVED.
- MECH. FAN MECH. FAN TO GIVE 15 L / S EXTRACTION WITH 15 MIN. OVERRIDE AND DUCTED TO EXTERNAL AIR THROUGH CEILING OR WALL
- CONNECT RWP TO EXISTING SURFACE WATER DRAIN OR TO SOAKAWAY TO BE AGREED WITH BUILDING INSPECTOR
- CONTRACTOR TO INVESTIGATE THE EXISTING FOUL WATER DRAIN AND CONNECTS THE NEW FOUL WATER DRAIN TO EXISTING TO BE AGREED WITH BUILDING INSPECTOR
- NEW MH CONNECTS TO EXISTING AGREE WITH B.INSP. SIRECTION ASSUMED

E:	011222	PROPOSED LAYOUT REVISED AS PER CLIENT'S REQ.
D:	171122	PROPOSED LAYOUT REVISED AS PER CLIENT'S REQ. B.CONTROL INFORMATION ADDED
C:	310822	PROPOSED LAYOUT REVISED AS PER CLIENT'S REQ.
B:	190822	PROPOSED LAYOUT REVISED AS PER CLIENT'S REQ.
A:	080822	PROPOSED LAYOUT REVISED AS PER CLIENT'S REQ.
REV:	DATE:	AMENDMENT:

studio infinitii
architecture & planning
23 Queen Street
Maidenhead SL6 1NB
Mo: 07506582244

CLIENT:
MR. & MRS. M. PATEL

JOB:
PROP. SINGLE STORY REAR EXTENSION
2 NOS. SIDE DORMERS
WITH ASSOCIATED INTERNAL ALTERATIONS AT
56 POLE HILL ROAD UPPIDGE UDO QRD

TITLE:
EXISTING & PROPOSED
GROUND FLOOR PLAN

SCALE:
1:100 @ A3

DRAWN BY:

DATE:
JULY 2012

JOB NO:
SI 2012005

DRAWING NO:
SI / 2012005 / 01 DR

REV:
E

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NO 70



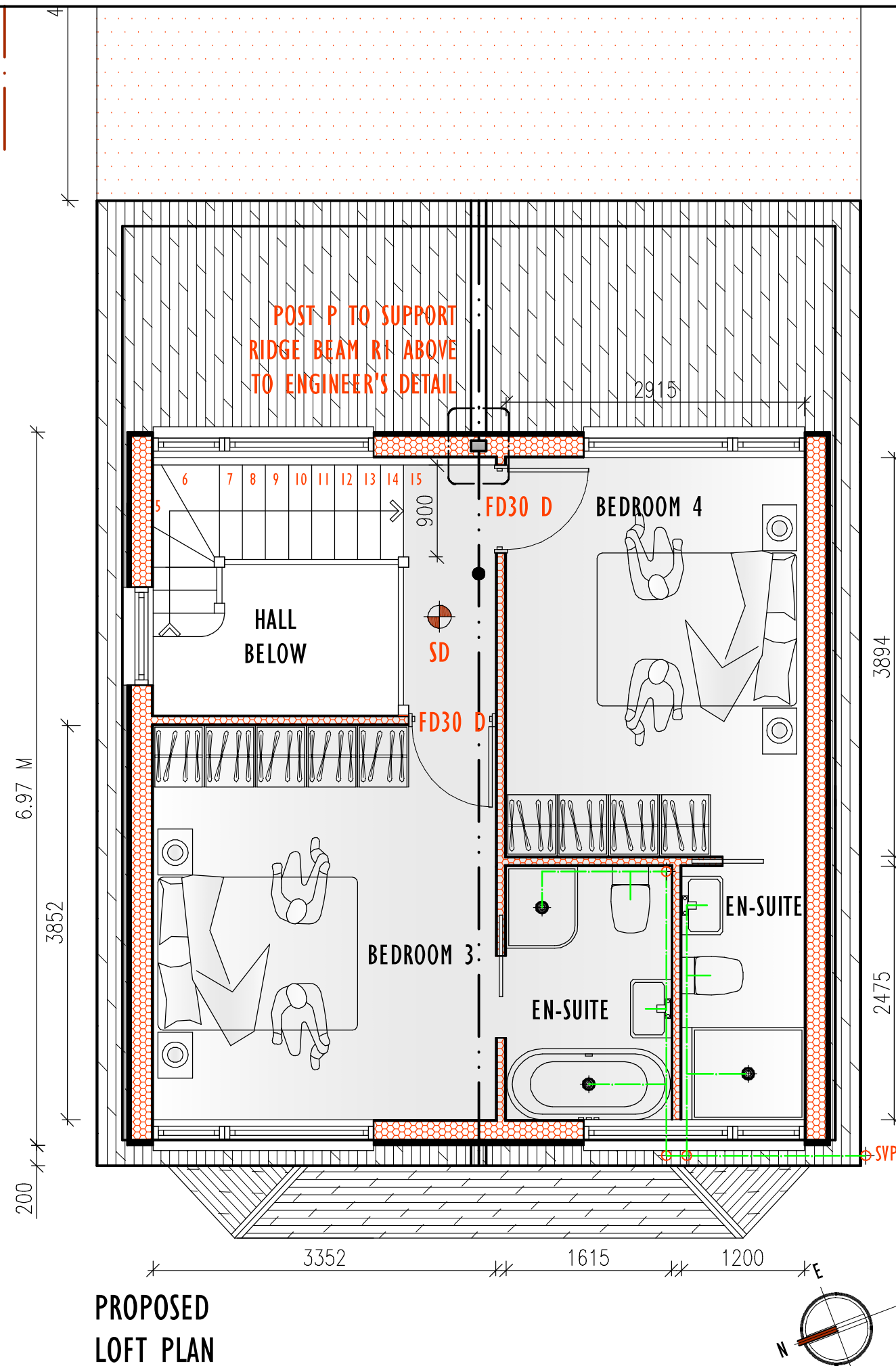
CONTRACTOR TO INVESTIGATE THE EXISTING
FOUL WATER DRAIN AND CONNECTS THE
NEW FOUL WATER DRAIN TO EXISTING TO
BE AGREED WITH BUILDING INSPECTOR

CONTRACTOR TO INVESTIGATE THE EXISTING
FOUL WATER DRAIN AND CONNECTS THE
NEW FOUL WATER DRAIN TO EXISTING TO
BE AGREED WITH BUILDING INSPECTOR

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NO. 60

NO. 60

PROPOSED
LOFT PLAN

NO. 56

NO. 56

NOTES

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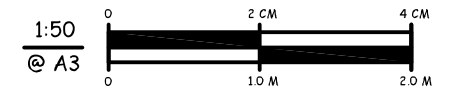
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C:	251122	PROPOSED LAYOUT REVISED AS PER CLIENT'S REQ.
B:	171122	PROPOSED LAYOUT REVISED AS PER CLIENT'S REQ. B. CONTROL INFORMATION ADDED
A:	080822	PROPOSED LAYOUT REVISED AS PER CLIENT'S REQ.
REV:	DATE:	AMENDMENT:

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architecture & planning
23 Queen Street
Maidenhead SL6 1NB
Mo: 07506582244

CLIENT:	MR. & MRS. M. PATEL		
JOB:	PROP. SINGLE STORY REAR EXTENSION 2 NOS. SIDE DORMERS WITH ASSOCIATED INTERNAL ALTERATIONS AT 56 POLE HILL ROAD UPPIDGE UDO OGD		
TITLE:	PROPOSED LOFT PLAN		
SCALE:	1: 50 @ A3	DRAWN BY:	
DATE:	JULY 2012	JOB NO:	SI 2012005
DRAWING NO:	SI / 2012005 / 03 BR	REV:	C
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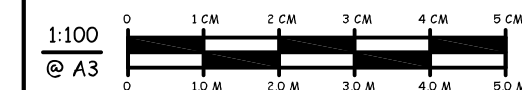
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D:	011222	PROPOSED ELEVATIONS REVISED AS PER CLIENT'S REQ.
C:	251122	PROPOSED REAR ELEVATION REVISED AS PER CLIENT'S REQ.
B:	310822	PROPOSED REAR ELEVATION REVISED AS PER CLIENT'S REQ.
A:	080822	PROPOSED REAR ELEVATION REVISED AS PER CLIENT'S REQ.
REV:	DATE:	AMENDMENT:

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architecture & planning
23 Queen Street
Maidenhead SL6 1NB
Mo: 07506582244

CLIENT:
MR. & MRS. M. PATEL

JOB:
PROP. SINGLE STORY REAR EXTENSION
2 NOS. SIDE DORMERS
WITH ASSOCIATED INTERNAL ALTERATIONS AT
56 POLE HILL ROAD UPPIDGE UDO QRD

TITLE:
EXISTING & PROPOSED
FRONT AND REAR ELEVATIONS

SCALE: 1:100 @ A3

DRAWN BY:

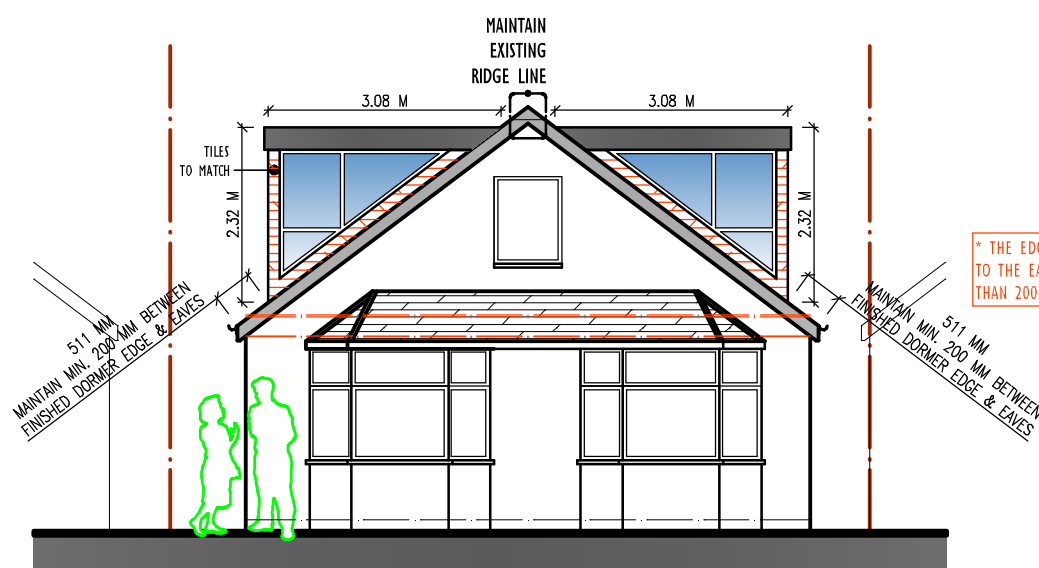
DATE:
JULY 2012

JOB NO:
SI 2012005

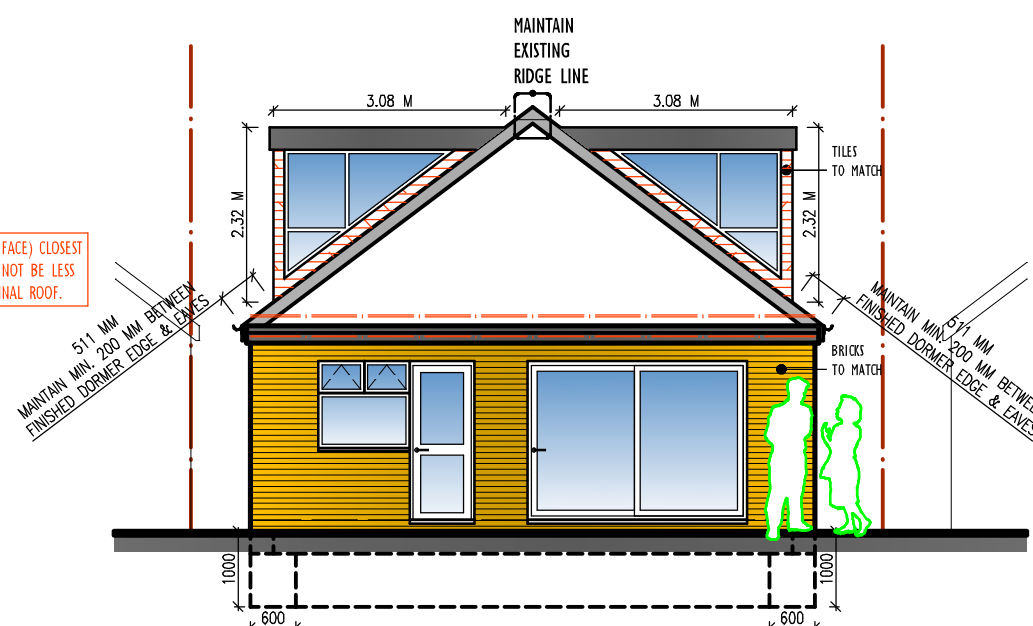
DRAWING NO:
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REV:
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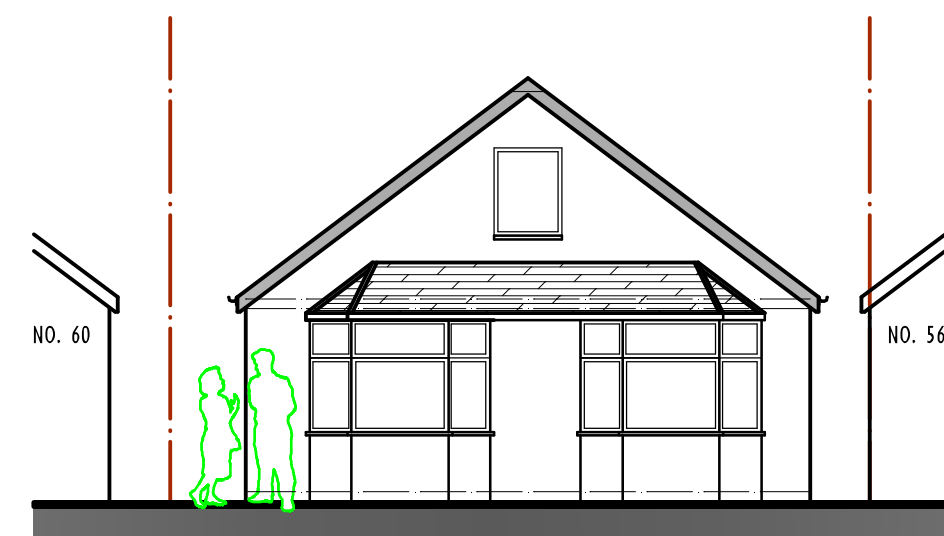


PROPOSED
FRONT ELEVATION

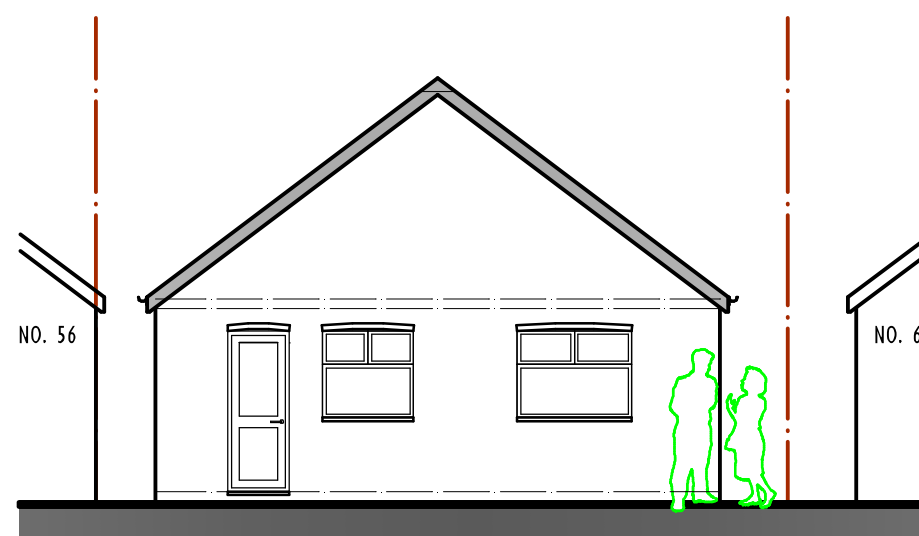


PROPOSED
REAR ELEVATION

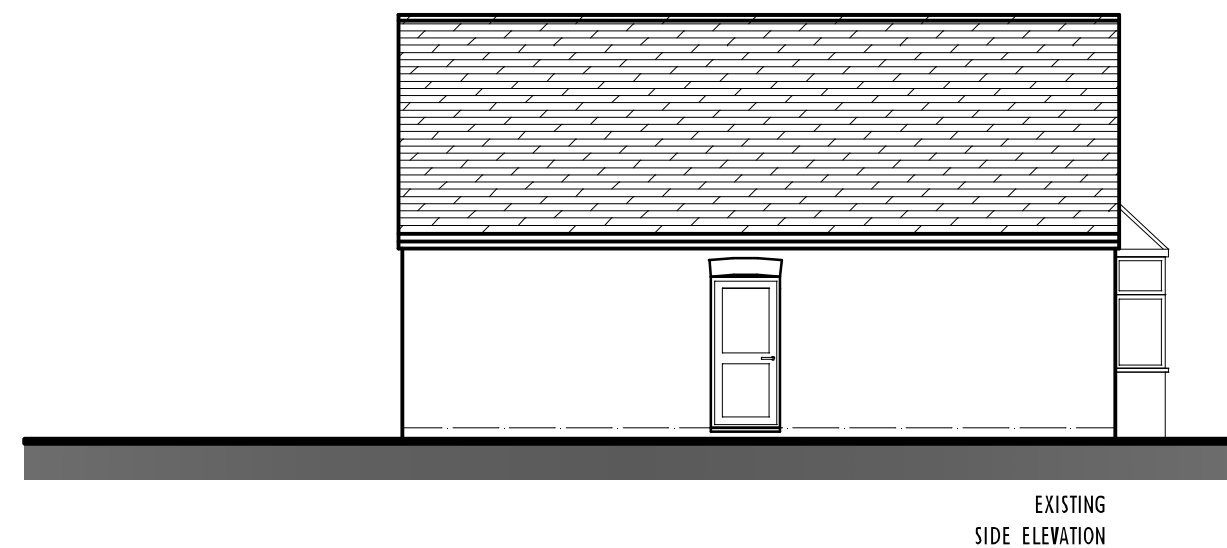
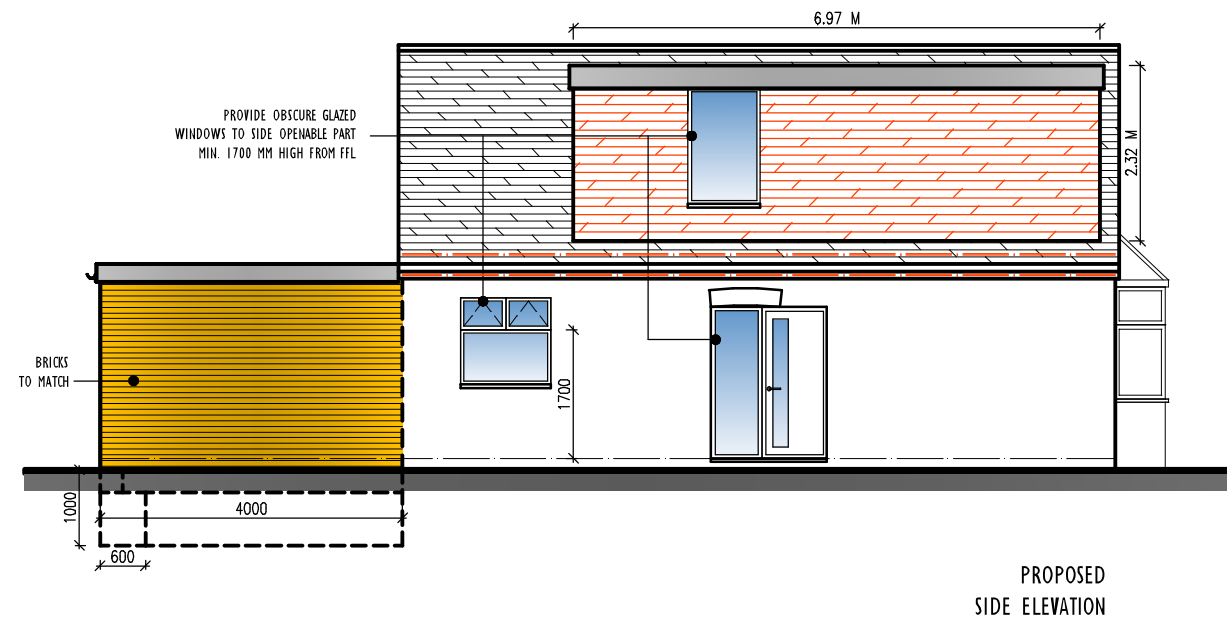
NEW FOUNDATION TO BE TAKEN DOWN TO A DEPTH OF 1000 MM MINIMUM BELOW EXISTING GROUND LEVELS AND 300 MM BEYOND ANY TREEROOT ACTIVITY OR UPTO THE LEVEL OF ANY DRAIN
ALL TO LOCAL AUTHORITY/APPROVED INSPECTOR APPROVAL



EXISTING
FRONT ELEVATION



EXISTING
REAR ELEVATION



NOTES

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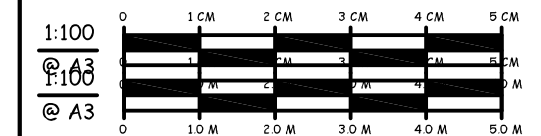
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D:	251122	PROPOSED ELEVATION REVISED AS PER CLIENT'S REQ.
C:	171122	PROPOSED ELEVATION REVISED AS PER CLIENT'S REQ.
B:	310822	PROPOSED SIDE ELEVATION REVISED AS PER CLIENT'S REQ.
A:	080822	PROPOSED SIDE ELEVATION REVISED AS PER CLIENT'S REQ.
REV:	DATE:	AMENDMENT:

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architecture & planning
23 Queen Street
Maidenhead SL6 1NB
Mo: 07506582244

CLIENT:	MR. & MRS. M. PATEL	
JOB:	PROP. SINGLE STORY REAR EXTENSION 2 NOS. SIDE DORMERS WITH ASSOCIATED INTERNAL ALTERATIONS AT 56 POLE HILL ROAD UOXBRIDGE UB10 0QP	
TITLE:	EXISTING & PROPOSED SIDE ELEVATION	
SCALE:	1:100 @ A3	DRAWN BY:
DATE:	JULY 2012	JOB NO: SI 2012005
DRAWING NO:	SI / 2012005 / 05 BR	REV: E
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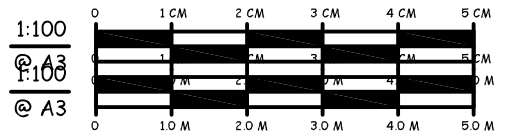
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C:	171122	PROPOSED ELEVATION REVISED AS PER CLIENT'S REQ.
B:	310822	PROPOSED OTHER SIDE ELEVATION REVISED AS PER CLIENT'S REQ.
A:	080822	PROPOSED OTHER SIDE ELEVATION REVISED AS PER CLIENT'S REQ.
REV:	DATE:	AMENDMENT:

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architecture & planning
23 Queen Street
Maidenhead SL6 1NB
Mo: 07506582244

CLIENT: MR. & MRS. M. PATEL

JOB: PROP. SINGLE STORY REAR EXTENSION
2 NOS. SIDE DORMERS
WITH ASSOCIATED INTERNAL ALTERATIONS AT
56 POLE HILL ROAD UOXBRIDGE UB10 0QP

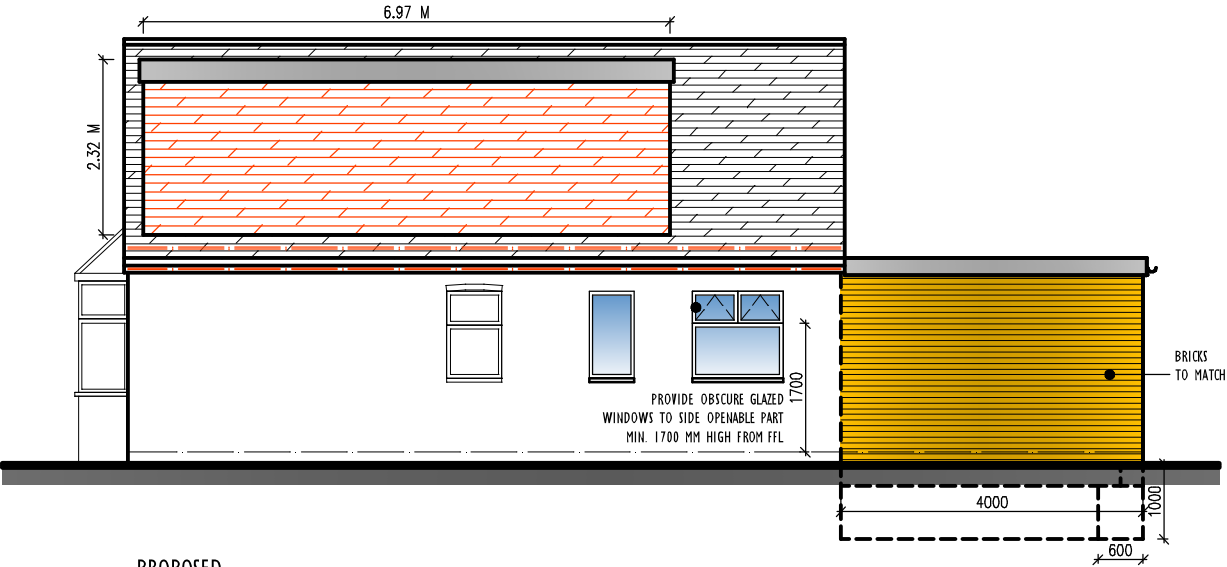
TITLE: EXISTING & PROPOSED
OTHER SIDE ELEVATIONS

SCALE: 1:100 @ A3 DRAWN BY:

DATE: JULY 2012 JOB NO: SI 2012005

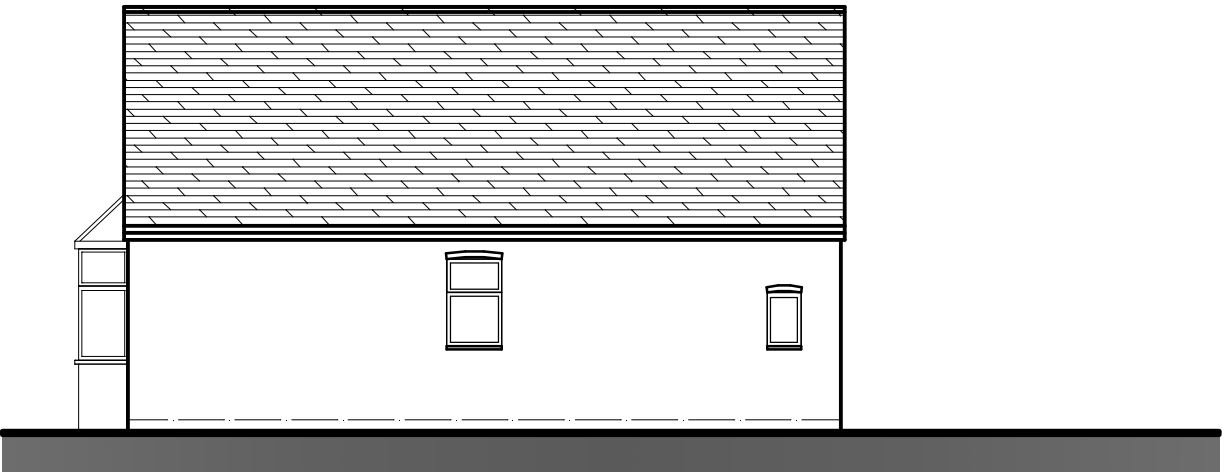
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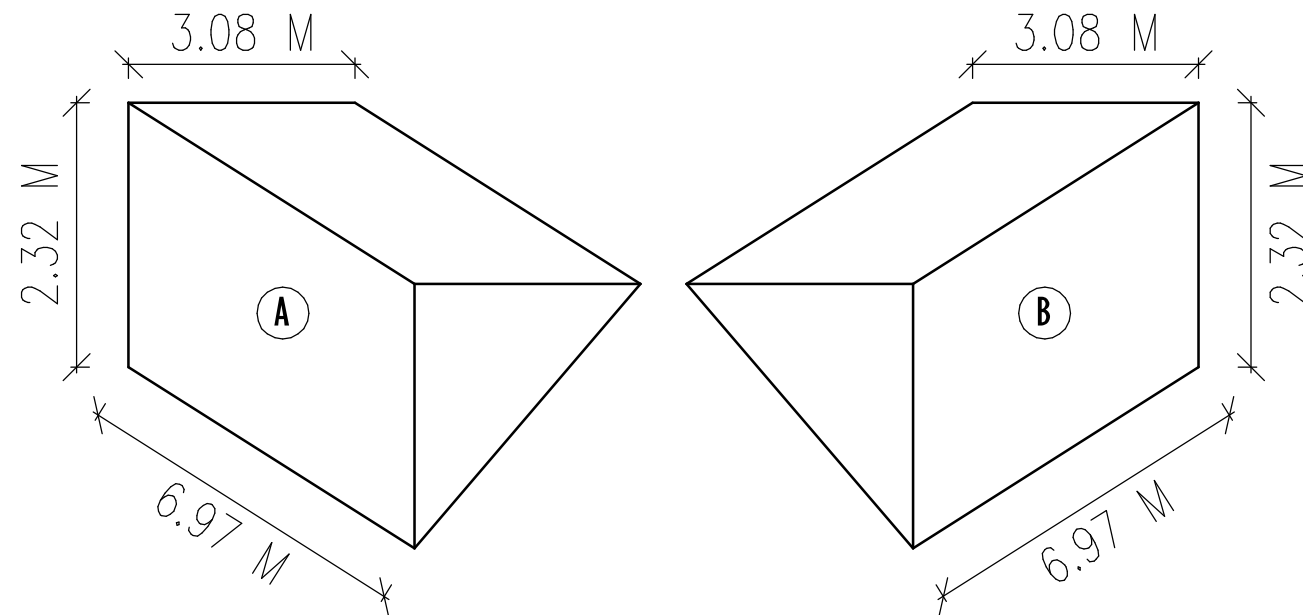


PROPOSED
OTHER SIDE ELEVATION

NEW FOUNDATION TO BE TAKEN DOWN TO A DEPTH OF 1000 MM MINIMUM
BELOW EXISTING GROUND LEVELS AND 300 MM BEYOND ANY TREEROOT ACTIVITY
OR UPTO THE LEVEL OF ANY DRAIN
ALL TO LOCAL AUTHORITY/APPROVED INSPECTOR APPROVAL



EXISTING
OTHER SIDE ELEVATION



VOLUME OF SIDE DORMERS A & B

$$2 \times 1/2 \times 6.97 \text{ M} \times 2.32 \text{ M} \times 3.08 \text{ M} = 49.80 \text{ CU.MT.}$$

$\leq 50.00 \text{ CU.MT.}$ VOLUME OF ROOF EXTENSION
PERMISSIBLE UNDER PERMITTED DEVELOPMENT
FOR DETACHED BUNGALOW HENCE THE ROOF
EXTENSION IS LAWFUL.

NOTES

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REV: DATE: AMENDMENT:

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architecture & planning
23 Queen Street
Maidenhead SL6 1NB
Mo: 07506582244

CLIENT:
MR. & MRS. M. PATEL

JOB:
PROP. SINGLE STORY REAR EXTENSION
2 NOS. SIDE DORMERS
WITH ASSOCIATED INTERNAL ALTERATIONS AT
58 POLE HILL ROAD UXBIDGE UB8 3QP

TITLE:
VOLUME CALCULATIONS

SCALE: NTS DRAWN BY:

DATE: JULY 2012 JOB NO: SI 2012005

DRAWING NO: SI / 2012005 / 01 BR REV:

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