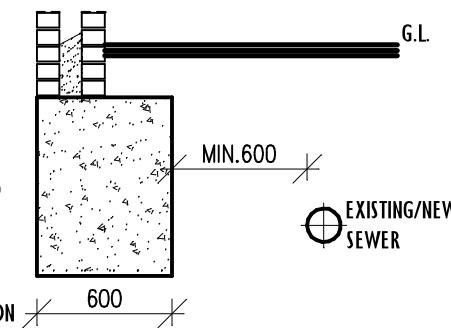
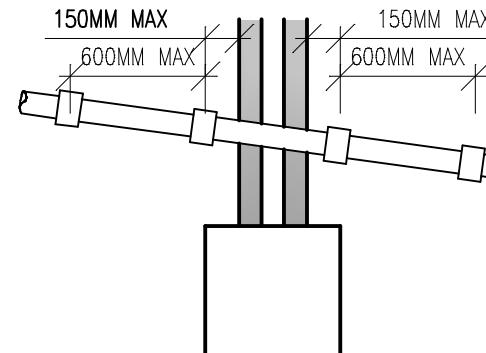


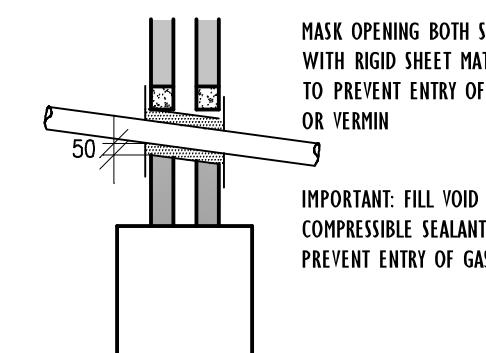
**BRIDGING DETAIL FOR
DRAINAGE THROUGH FOUNDATION**



**GENERAL FOUNDATION DEPTH
REQUIREMENT DETAIL**



A) SHORT LENGTH OF PIPE BEDDED IN WALL,
JOINTS FORMED WITHIN 150 MM OF EITHER WALLFACE.
ADJECNT ROCKER PIPE OF MAX. LENGTH 600 MM WITH
FLEXIBLE JOINTS.



B) ARCH OR LINTELLED OPENING TO GIVE 50 MM SPACE
ALL ROUND THE PIPE

NOTES
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BUILDING REGULATIONS.

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BEFORE COMMENCING ANY WORK AND ANY DISCREPANCIES TO BE
REPORTED IMMEDIATELY.

THIS DRAWING TO BE READ IN CONJUNCTION WITH CONTRACT
DOCUMENTS, PROJECT WORKING DRAWINGS, SPECIFICATION, ALL
CONSULTANTS / SPECIALIST DRAWINGS, DETAILS AND
SPECIFICATION.

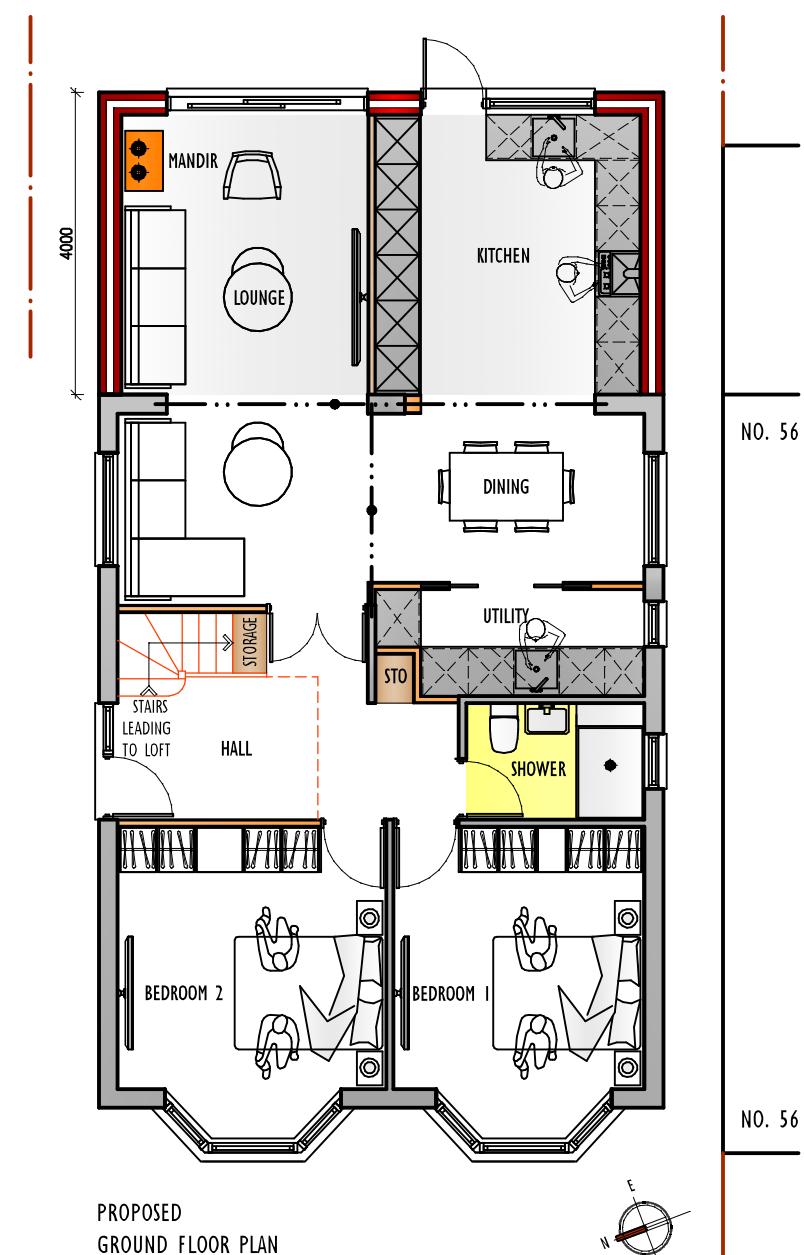
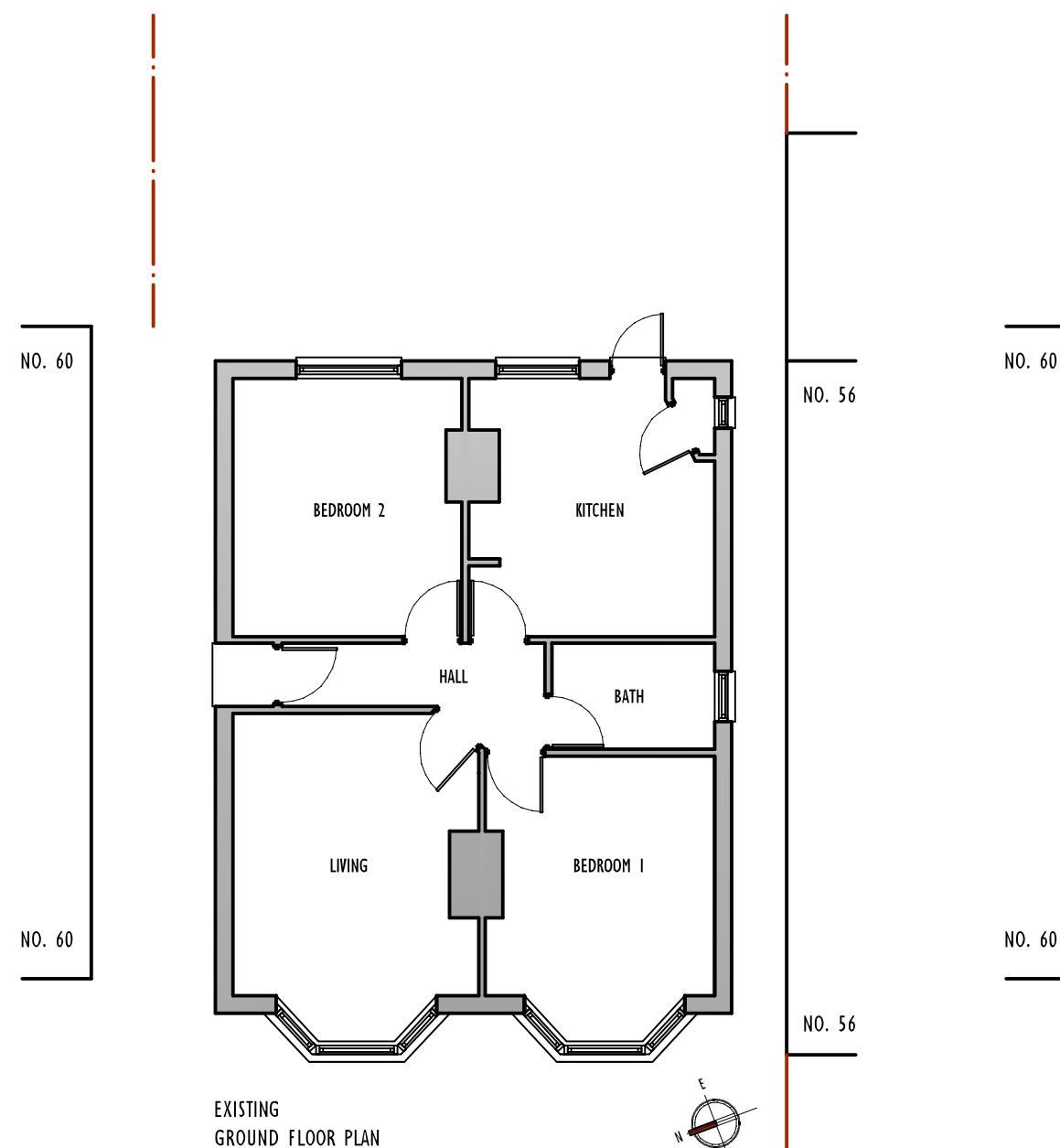
ALL MATERIALS USED IN ANY EXTERIOR WORK SHALL OF A
SIMILAR APPERANCE TO THOSE USED IN THE CONSTRUCTION OF
THE EXTERIOR OF THE EXISTING BUILDING.

CLIENT IS ADVISED TO ACT AS PER "THE PARTY WALL ACT
1996" BEFORE STARTING OF ANY WORK.

THESE DRGS. ARE PREPARED FOR THE PERMITTED DEVELOPMENT
APPLICATION ONLY.

EXISTING BOUNDARY TO BE VERIFIED BY THE CLIENT OR
BOUNDARY SURVEYOR OR CONTRACTOR.

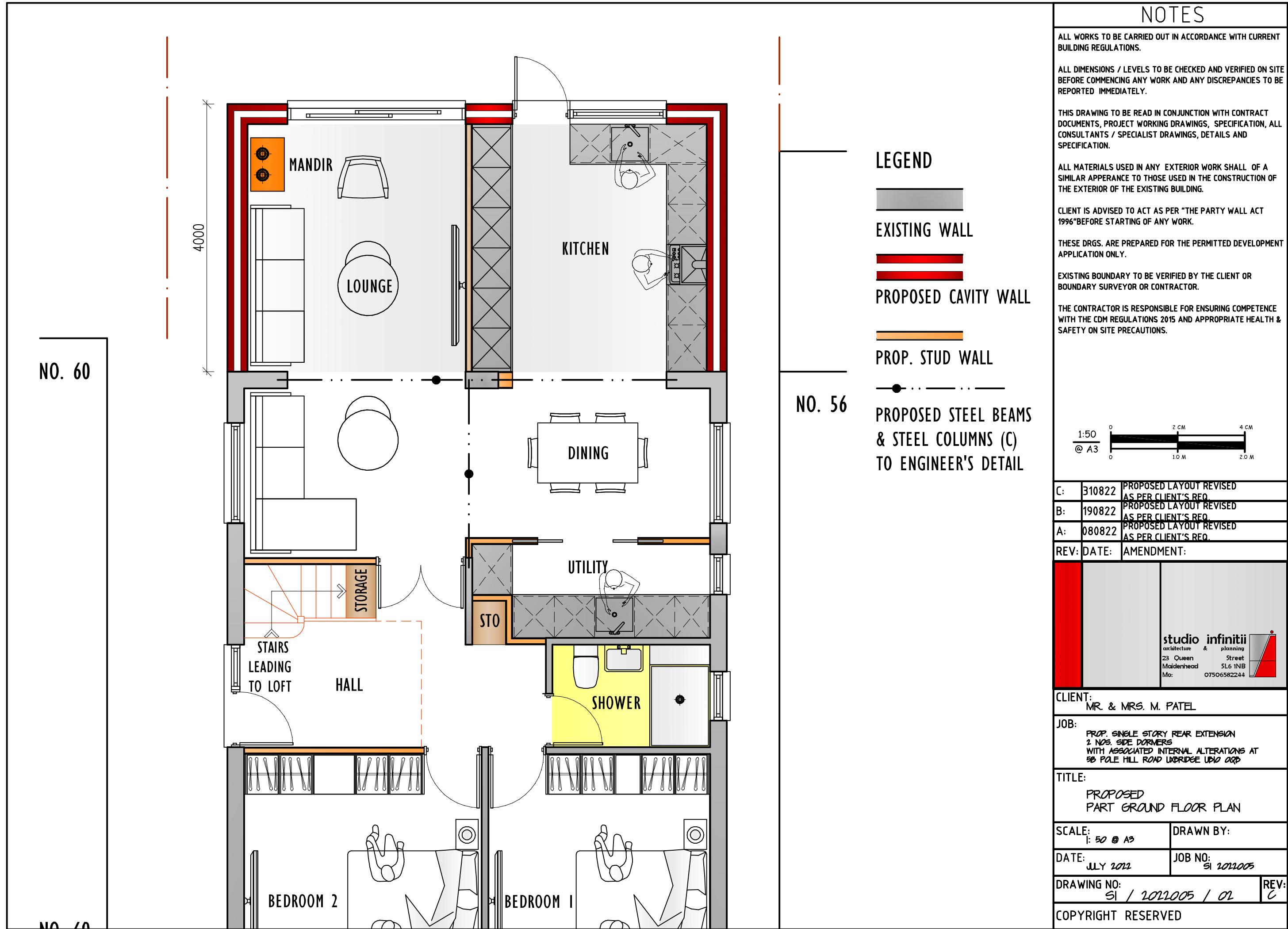
THE CONTRACTOR IS RESPONSIBLE FOR ENSURING COMPETENCE
WITH THE CDM REGULATIONS 2015 AND APPROPRIATE HEALTH &
SAFETY ON SITE PRECAUTIONS.



1:100 @ A3	0 1 CM 2 CM 3 CM 4 CM 5 CM	0 1.0 M 2.0 M 3.0 M 4.0 M 5.0 M
C:	B10822	PROPOSED LAYOUT REVISED AS PER CLIENT'S REQ.
B:	190822	PROPOSED LAYOUT REVISED AS PER CLIENT'S REQ.
A:	080822	PROPOSED LAYOUT REVISED AS PER CLIENT'S REQ.
REV:	DATE:	AMENDMENT:

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Maidenhead
Street
SL6 1NB
Mo: 07506582244

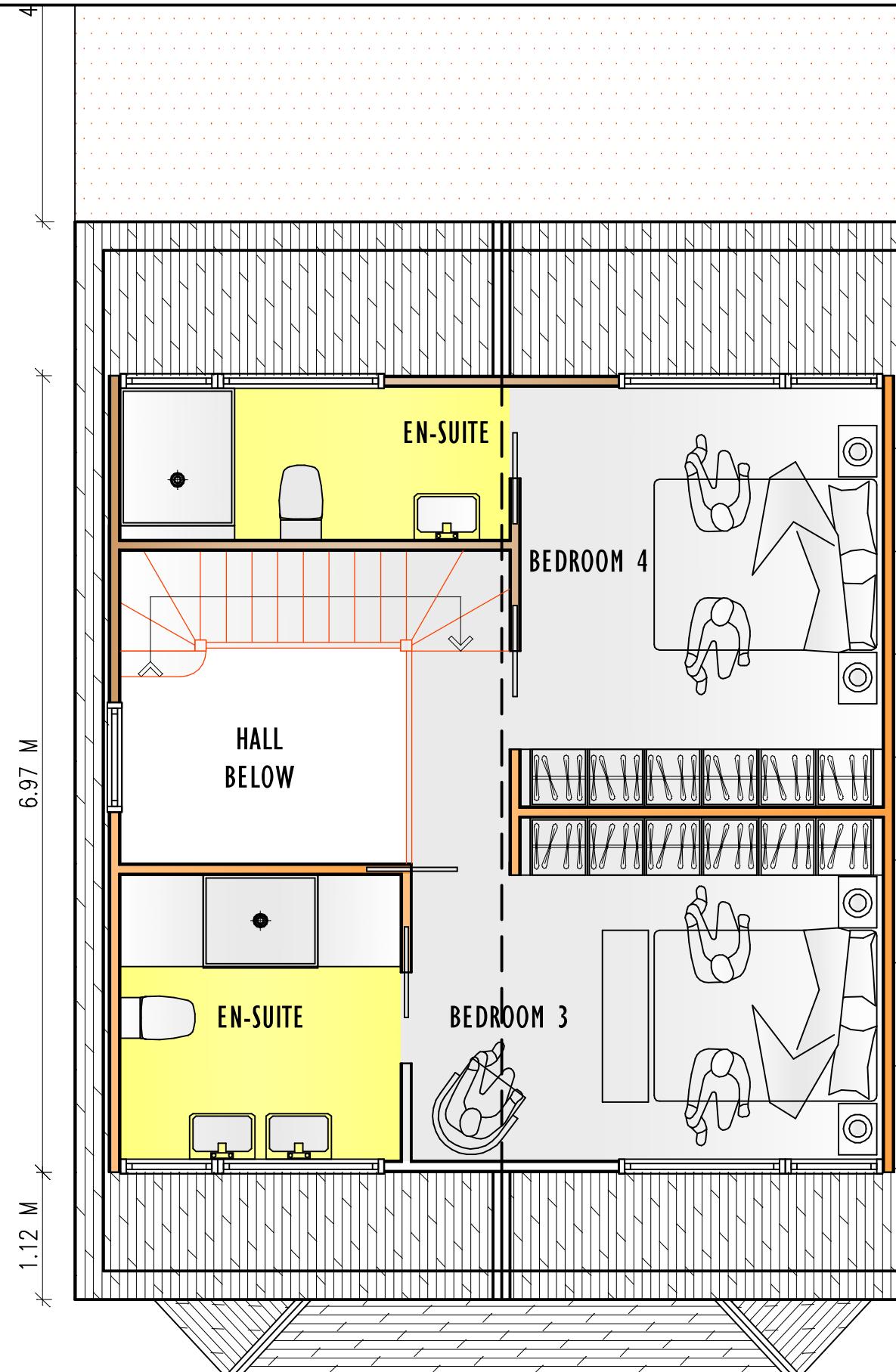
CLIENT: MR. & MRS. M. PATEL
JOB: PROP. SINGLE STORY REAR EXTENSION
2 NOS. SIDE DORMERS
WITH ASSOCIATED INTERNAL ALTERATIONS AT
55 POLE HILL ROAD UXBRIDGE UB10 0QP
TITLE: EXISTING & PROPOSED
GROUND FLOOR PLAN
SCALE: 1:100 @ A3
DRAWN BY:
DATE: JULY 2012
JOB NO: SI 2022005
DRAWING NO: SI / 2022005 / 01
REV: C
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NO. 60

NO. 60

PROPOSED
LOFT PLAN



NO. 56

NO. 56

NOTES

ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH CURRENT BUILDING REGULATIONS.

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THE CONTRACTOR IS RESPONSIBLE FOR ENSURING COMPETENCE WITH THE CDM REGULATIONS 2015 AND APPROPRIATE HEALTH & SAFETY ON SITE PRECAUTIONS.

1:50 @ A3

A:	080822	PROPOSED LAYOUT REVISED AS PER CLIENT'S REQ.
REV:	DATE:	AMENDMENT:

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Mo: 07506582244

CLIENT:	MR. & MRS. M. PATEL		
JOB:	PROP. SINGLE STORY REAR EXTENSION 2 NOS. SIDE DORMERS WITH ASSOCIATED INTERNAL ALTERATIONS AT 55 POLE HILL ROAD UXBRIDGE UB10 0QP		
TITLE:	PROPOSED LOFT PLAN		
SCALE:	1:50 @ A3	DRAWN BY:	
DATE:	JULY 2012	JOB NO:	SI 2012005
DRAWING NO:	SI / 2012005 / 03	REV:	A
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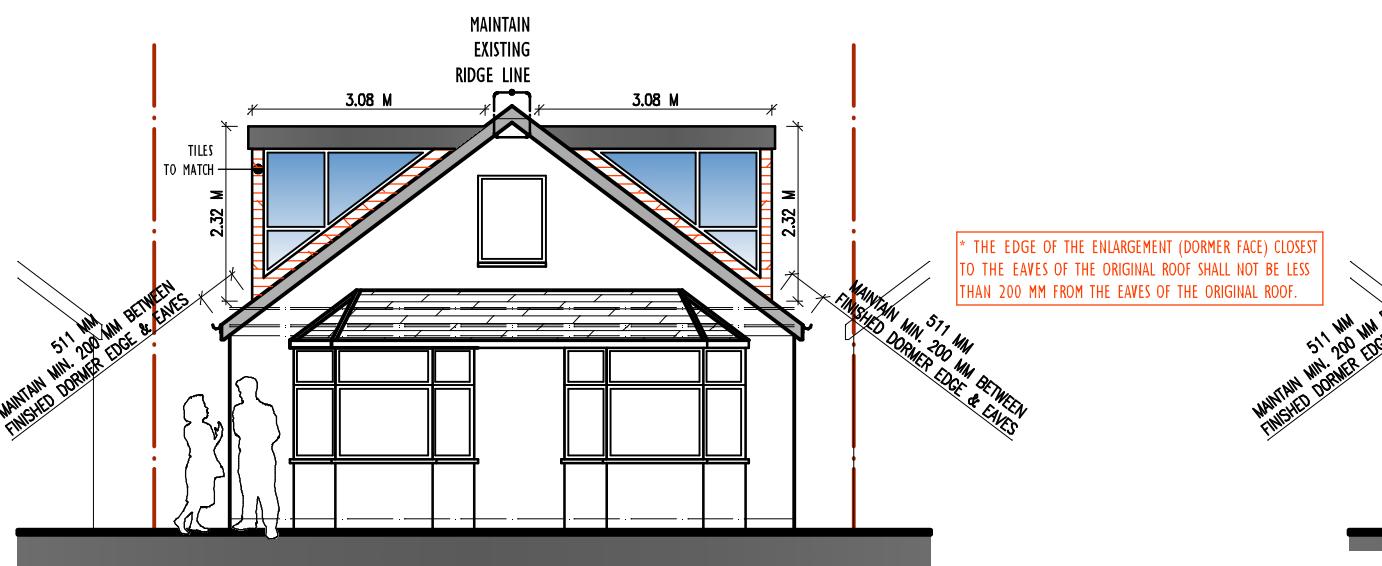
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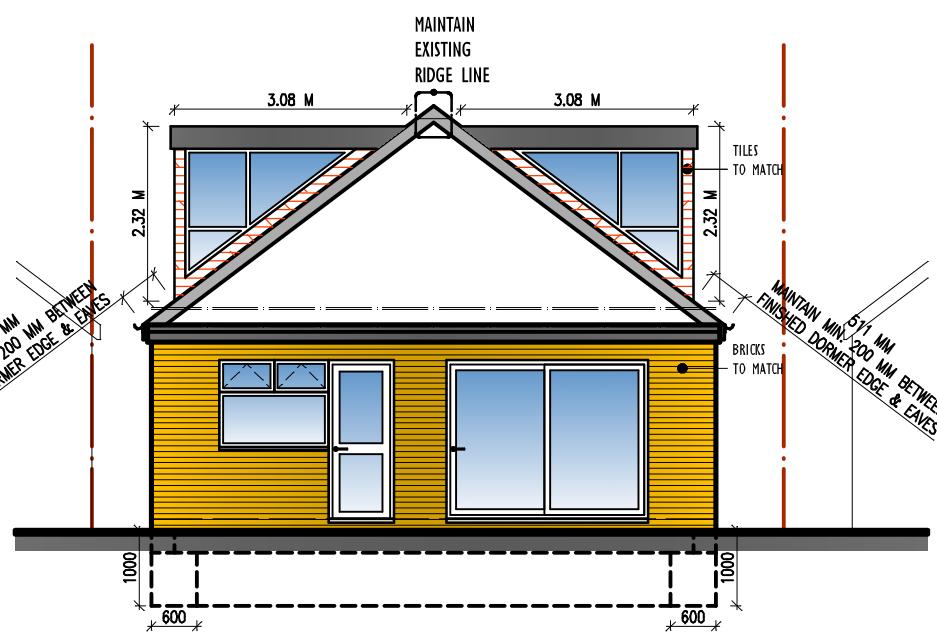
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PROPOSED
FRONT ELEVATION



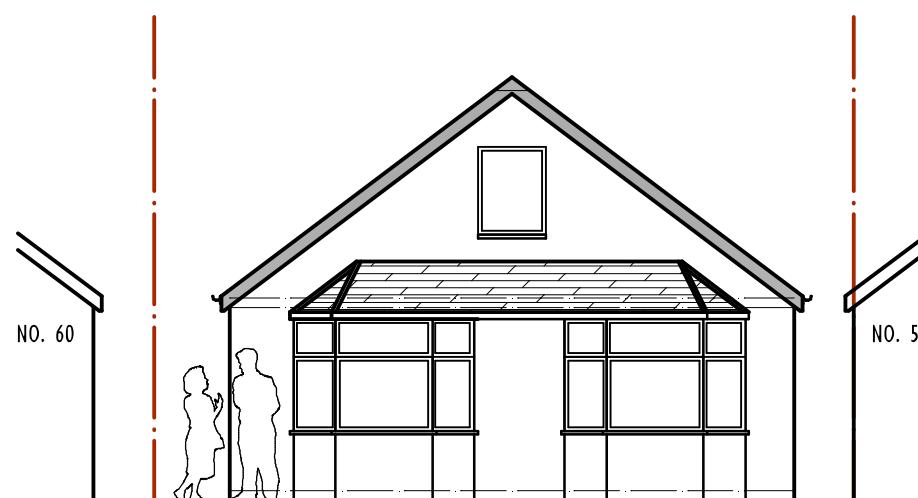
PROPOSED
REAR ELEVATION

NEW FOUNDATION TO BE TAKEN DOWN TO A DEPTH OF 1000 MM MINIMUM
BELOW EXISTING GROUND LEVELS AND 300 MM BEYOND ANY TREEROOT ACTIVITY
OR UPTO THE LEVEL OF ANY DRAIN
ALL TO LOCAL AUTHORITY/APPROVED INSPECTOR APPROVAL

1:100
@ A3

B:	B10822	PROPOSED REAR ELEVATION REVISED AS PER CLIENT'S REQ.
A:	080822	PROPOSED REAR ELEVATION REVISED AS PER CLIENT'S REQ.
REV:	DATE:	AMENDMENT:

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EXISTING
FRONT ELEVATION



EXISTING
REAR ELEVATION

CLIENT:	MR. & MRS. M. PATEL
JOB:	PROP. SINGLE STORY REAR EXTENSION 2 NOS. SIDE DORMERS WITH ASSOCIATED INTERNAL ALTERATIONS AT 55 POLE HILL ROAD UXBRIDGE UB10 0QP
TITLE:	EXISTING & PROPOSED FRONT AND REAR ELEVATIONS

SCALE:	1:100 @ A3	DRAWN BY:
DATE:	JULY 2012	JOB NO:

DRAWING NO:	SI / 2012005 / 04	REV:
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NOTES

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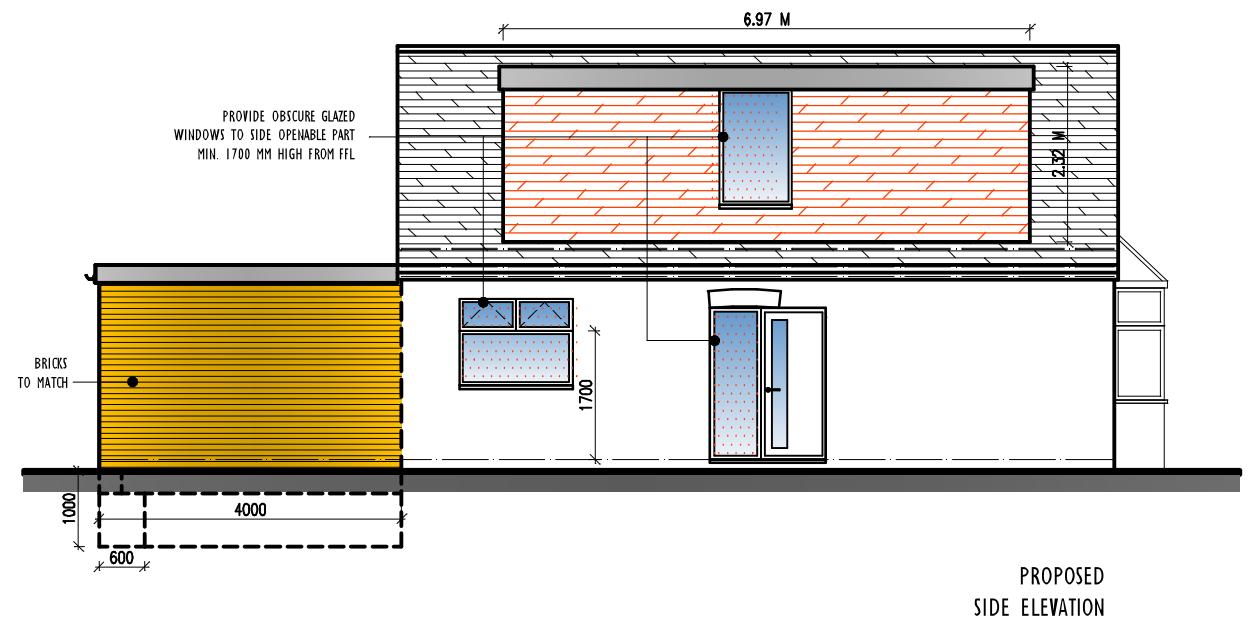
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1:100 @ A3 0 1 CM 2 CM 3 CM 4 CM 5 CM
0 1.0 M 2.0 M 3.0 M 4.0 M 5.0 M

B:	310822	PROPOSED SIDE ELEVATION REVISED AS PER CLIENT'S REQ.
A:	080822	PROPOSED SIDE ELEVATION REVISED AS PER CLIENT'S REQ.
REV:	DATE:	AMENDMENT:

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Mo: 07506582244



CLIENT:
MR. & MRS. M. PATEL

JOB:
PROP. SINGLE STORY REAR EXTENSION
2 NOS. SIDE DORMERS
WITH ASSOCIATED INTERNAL ALTERATIONS AT
55 POLE HILL ROAD UXBRIDGE UB10 0QP

TITLE:
EXISTING & PROPOSED
SIDE ELEVATION

SCALE:
1:100 @ A3 DRAWN BY:

DATE:
JULY 2012 JOB NO:
SI 2012005

DRAWING NO:
SI / 2012005 / 05 REV:
B

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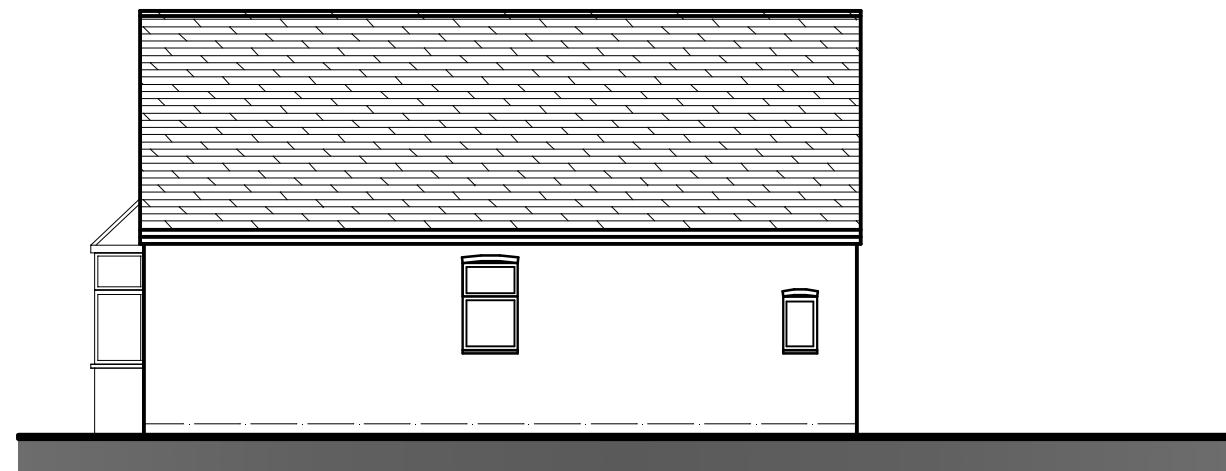
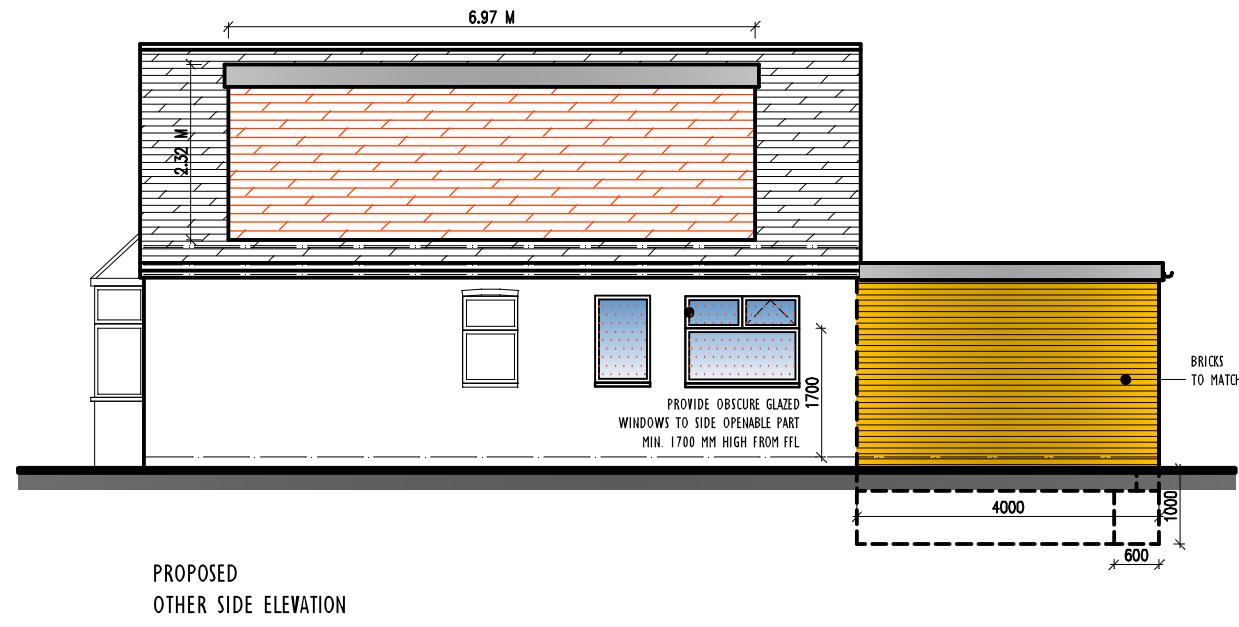
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B:	310822	PROPOSED OTHER SIDE ELEVATION REVISED AS PER CLIENT'S REQ.
A:	080822	PROPOSED OTHER SIDE ELEVATION REVISED AS PER CLIENT'S REQ.
REV:	DATE:	AMENDMENT:

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Maidenhead SL6 1NB
Mo: 07506582244

CLIENT:	MR. & MRS. M. PATEL
JOB:	PROP. SINGLE STORY REAR EXTENSION 2 NOS. SIDE DORMERS WITH ASSOCIATED INTERNAL ALTERATIONS AT 55 POLE HILL ROAD UXBRIDGE UB10 0QD
TITLE:	EXISTING & PROPOSED OTHER SIDE ELEVATIONS
SCALE:	1:100 @ A3
DATE:	JULY 2012
DRAWING NO:	SI / 2012005 / 06
REV:	B
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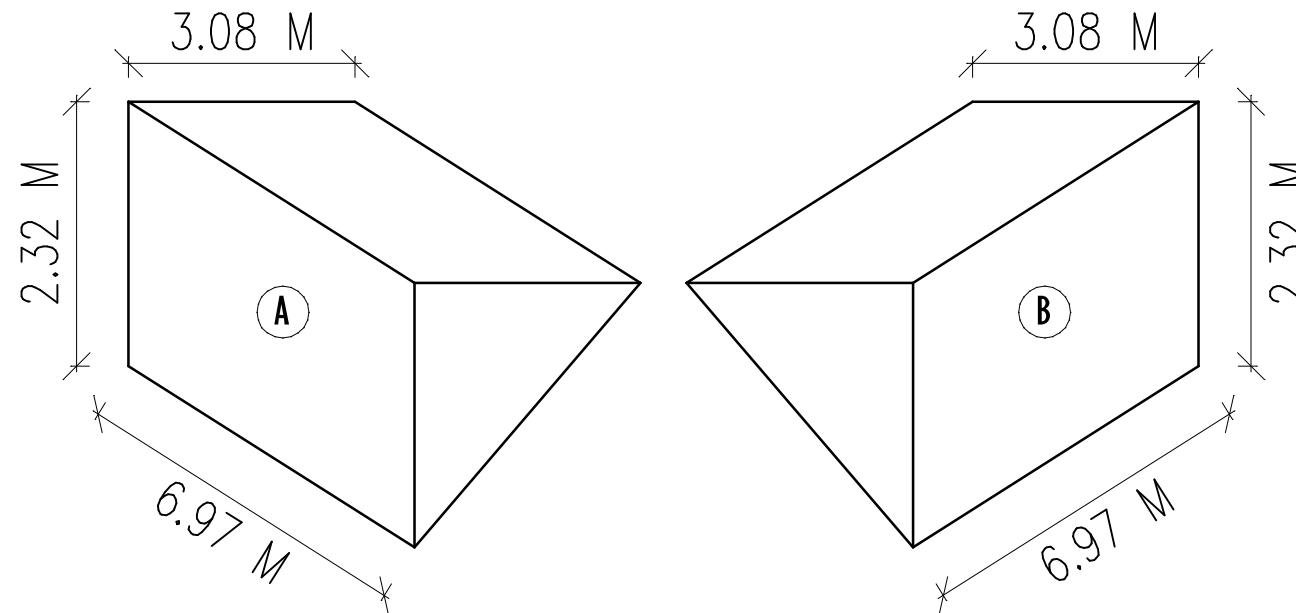
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VOLUME OF SIDE DORMERS A & B

$$2 \times 1/2 \times 6.97 \text{ M} \times 2.32 \text{ M} \times 3.08 \text{ M} = 49.80 \text{ CU.MT.}$$

≤ 50.00 CU.MT. VOLUME OF ROOF EXTENSION
PERMISSIBLE UNDER PERMITTED DEVELOPMENT
FOR DETACHED BUNGALOW HENCE THE ROOF
EXTENSION IS LAWFUL.

REV:	DATE:	AMENDMENT:
client: MR. & MRS. M. PATEL	job: PROP. SINGLE STORY REAR EXTENSION 2 NOS. SIDE DORMERS WITH ASSOCIATED INTERNAL ALTERATIONS AT 55 POLE HILL ROAD UXBRIDGE UB10 0QP	title: VOLUME CALCULATIONS
scale: NTS	drawn by:	
date: JULY 2022	job no: SI 2022005	
drawing no: SI / 2022005 / 07	rev:	
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