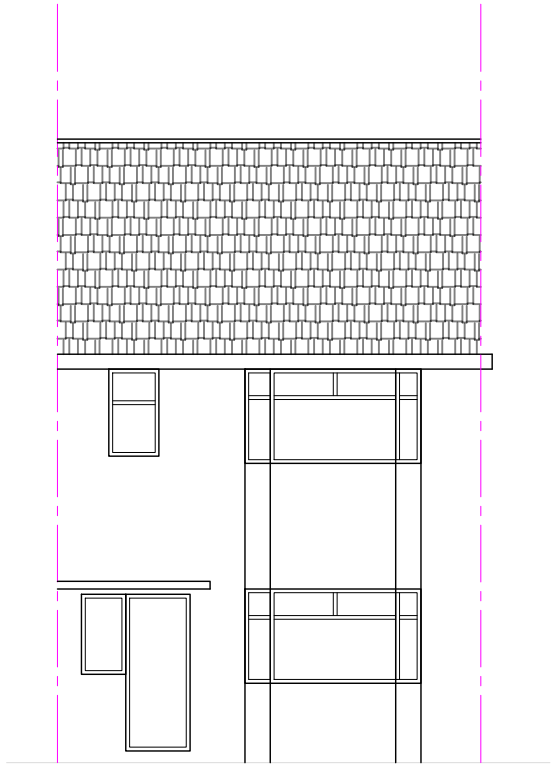
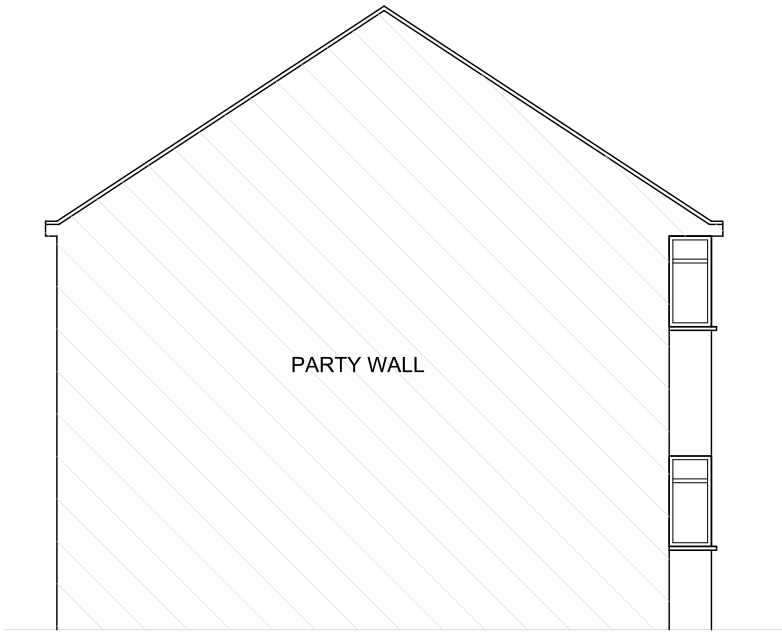
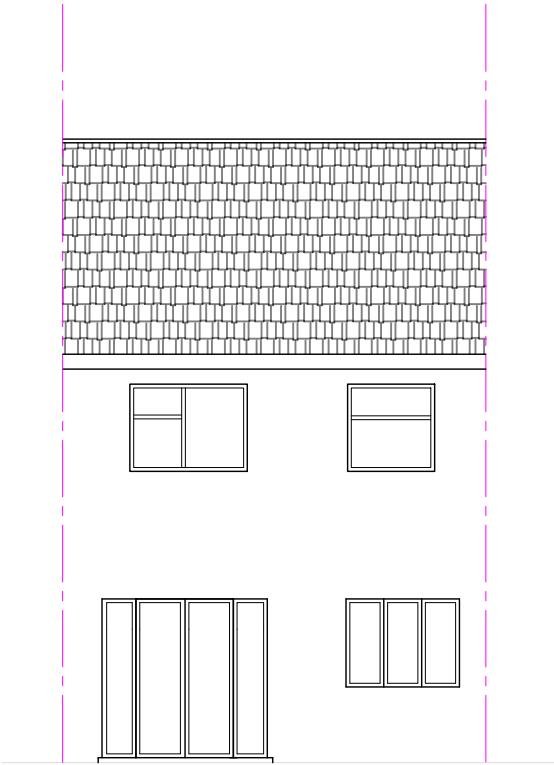




EXISTING FRONT ELEVATION



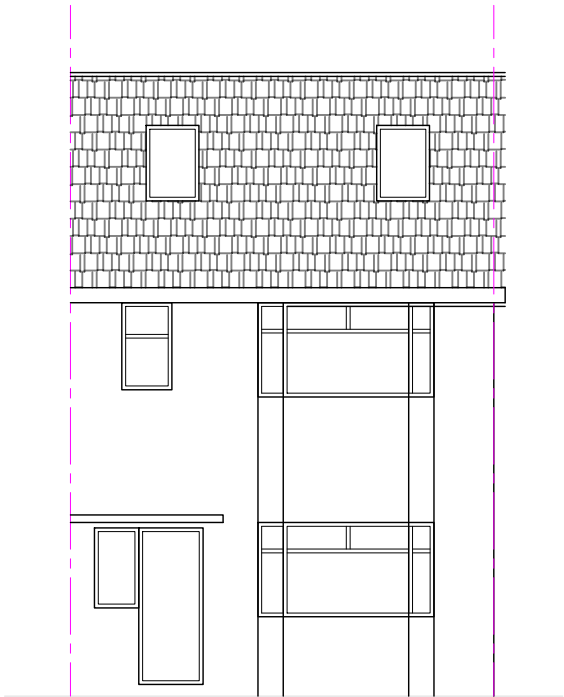
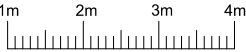
EXISTING SIDE ELEVATION



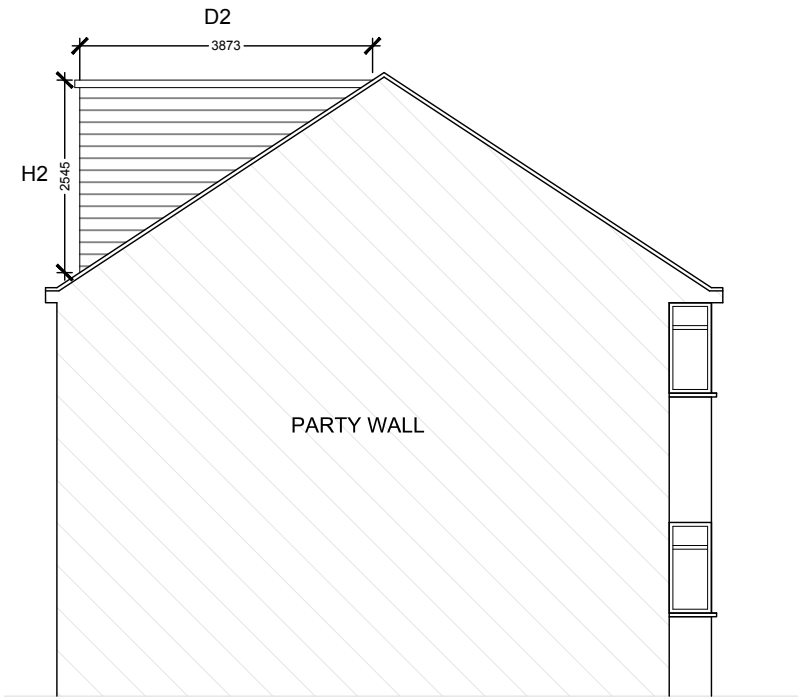
EXISTING REAR ELEVATION

UTOPIA WILL NOT BE RESPONSIBLE FOR THE CONTRACT AFTER HAVING OBTAINED PLANNING PERMISSION AND/ OR BUILDING REGULATION APPROVALS AND THAT THERE CAN BE NO GUARANTEE THAT PLANNING PERMISSION OR BUILDING REGULATION WILL BE OBTAINED. ANY WORKS WHICH ARE STARTED BEFORE APPROVALS WILL BE AT OWNERS RISK. NO RESPONSIBILITY WILL BE TAKEN FOR WORKS WHICH ARE UNFORESEEN AND FOR ANY SUBSEQUENT ALTERATIONS MADE WHICH ARE BEYOND THE CONTROL OF THE AGENT.

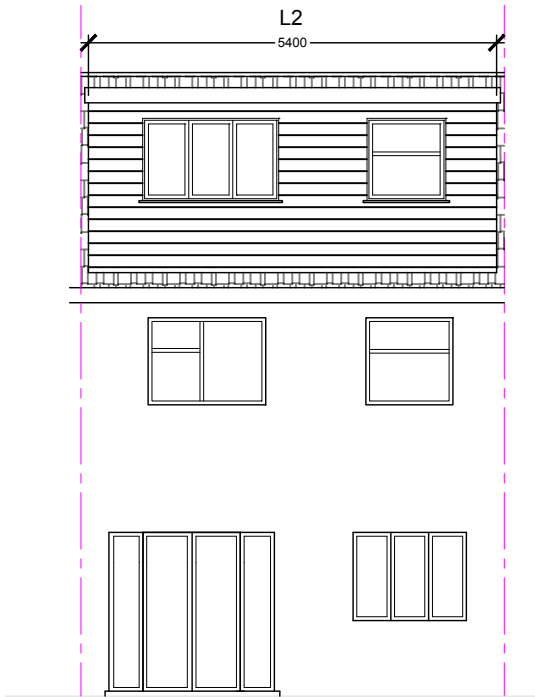
EXTERNAL MATERIAL:
Materials used in the construction
will match the existing main
dwelling.



PROPOSED FRONT ELEVATION



PROPOSED SIDE ELEVATION



PROPOSED REAR ELEVATION

-	-	-
REVISIONS		
Utopia		
Architectural Consultants		
268 Wanstead Park Road, IG1 3TT Mobile:07779724309 e-mail: nawaz27@hotmail.com		
Project: 23 Widmore Road		
Drawing Title: Existing and Proposed Elevation		
Drawn: RNA	Date: August. 2022	Scales: 1:100@A3
Plan No. 835-02	Issue: /	Status: Preliminary drawing Tender drawing Working drawing
CAD Ref.	-	