

# Design and Access Statement

**ATTN: Planning Department**

**RE: 40 Saint Matthew Close, Uxbridge UB8 3SR, UK**

01 Introduction

02 Context

03 Opportunities

04 Design, Layout and Amenity

STATIM BUILD

PLANNING PERMISSION - BUILDING REGULATIONS - BUILDING SERVICES - PROPERTY MAINTENANCE

SUPPORT@STATIMBUILD.COM

0207 459 4194

## 01 Introduction

The proposal is for a first floor rear and side wrap around extension. The property is not Listed and is not in a Conservation area. The DAS explains the design and access principles which have been applied to the development and forms part of a suite of documents which support the planning application.

This Design and Access statement is to be read in conjunction with the following documents:

1. Full set of drawings
2. Location Map
3. CIL Form

The following policies and legislation have been considered:

- National Planning Policy Framework 2019
- Local Plan - Development Management Policies 2020: DMP1 Development Management General Policy Housing Standards and DMP2.
- Hillingdon Council- Document B- Planning Obligations SPD

## 02 Context

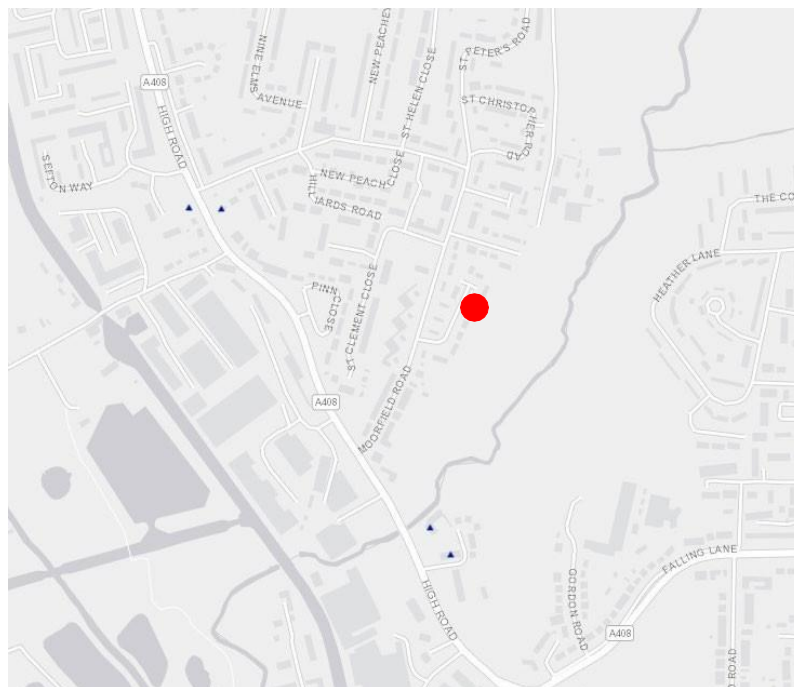



Fig. 1 Listed buildings map

Site   
Listed buildings 

STATIM BUILD

PLANNING PERMISSION - BUILDING REGULATIONS - BUILDING SERVICES - PROPERTY MAINTENANCE

SUPPORT@STATIMBUILD.COM

0207 459 4194



Fig. 2 Aerial map

Site-	
St. Matthew Cl	
Moorfield Rd	
St. Clement Cl	
St. Nicholas Cl	

The site is situated in Uxbridge within a large residential area. There are many green spaces nearby. Walking distance away is Manor Farm, Philipot's Farm Open Space. At the right side of the parks, there is the River Pinn. Rabbsfarm Primary School is in 10 mins by foot.

The local amenities are within easy reach of the area, located South from Moorfield Rd. The site offers easy access to transport links with buses taking you to Hounslow, Heathrow Airport as well as Uxbridge Town Centre, where you can get the London Underground.

The existing dwelling is a semi-detached house. It is constructed from brick as it can be seen from the photos provided below. The existing dwelling currently enjoys 2 parking spaces at

STATIM BUILD

PLANNING PERMISSION - BUILDING REGULATIONS - BUILDING SERVICES - PROPERTY MAINTENANCE

SUPPORT@STATIMBUILD.COM

0207 459 4194

the front of the property.



Fig. 3 Rear of property /aerial view/

Site-

St. Matthew Cl



Fig. 4 Photograph from the front of property

Site-

STATIM BUILD

PLANNING PERMISSION - BUILDING REGULATIONS - BUILDING SERVICES - PROPERTY MAINTENANCE

SUPPORT@STATIMBUILD.COM

0207 459 4194

### 03 Opportunities

The proposed development is to create a first floor rear and side wrap around extension. This would allow the needed room space for the occupants of the property. The proposal's construction will be of a high standard which will meet the local and national standards. The development is close to a few green spaces. This will provide a positive and engaging environment for future occupiers of the site. There is no loss of light or amenity to adjoining properties.

### 04 Design, layout and amenity

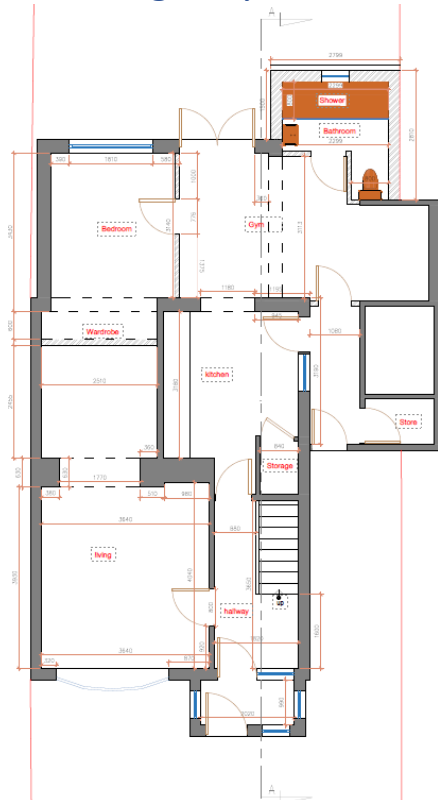


Fig. 5 Existing ground floor plan

The proposal allows for more sensible space on the first floor level, with a new double bedroom with an en-suite and a large bathroom. The design also allows for a spacious hallway on the first floor to allow more movement for the residents of the home. The rear extension is designed in a staggered formation to allow privacy as well as to unobstructed the sunlight to the adjacent property. The side extension will sit at the edge of the property line with a solid wall so that there are no impediment of privacy issues between the residents and their adjacent neighbors. The proposed roof design will be flat.

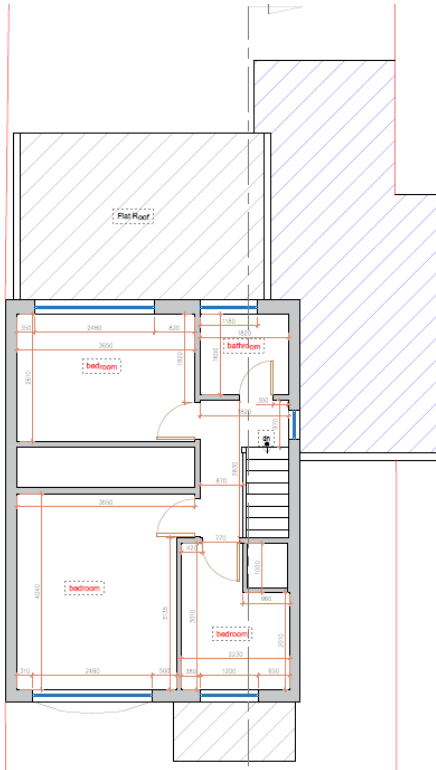


Fig. 6 Existing first floor plan

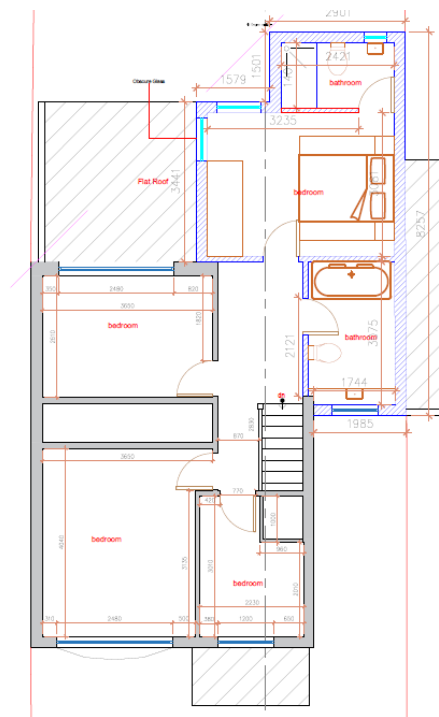


Fig. 7 Proposed first floor plan

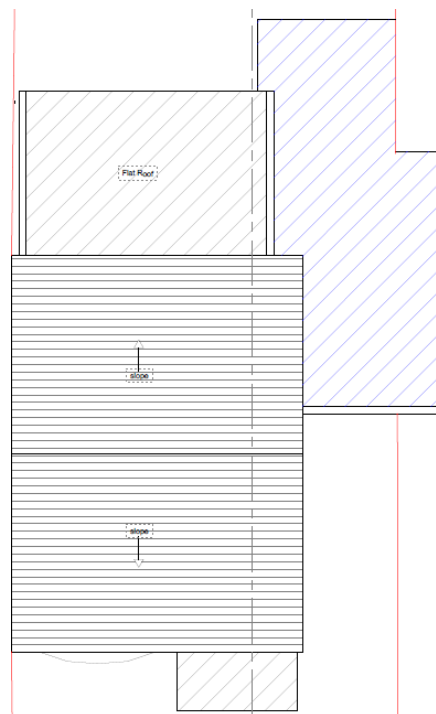


Fig. 8 Existing roof plan

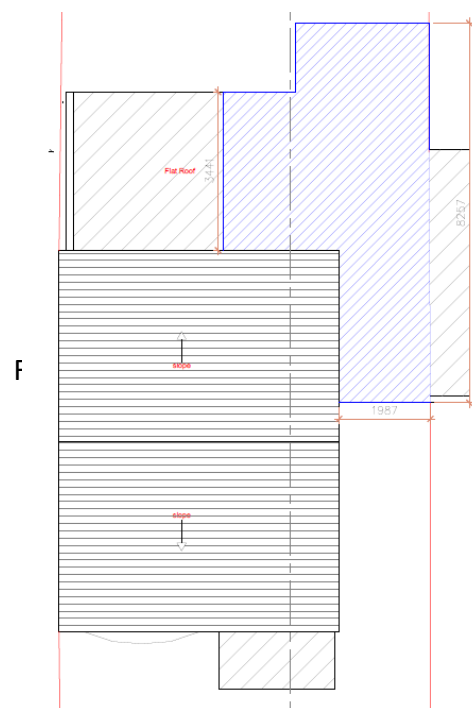


Fig. 9 Proposed roof plan

STATIM BUILD

PLANNING PERMISSION - BUILDING REGULATIONS - BUILDING SERVICES - PROPERTY MAINTENANCE

SUPPORT@STATIMBUILD.COM

0207 459 4194

The side extension length will be 8.62m at the property line with the rear extension extending out by 3.4m and will align with the previously built single storey rear extension. The width of the rear extension will be 1.57m as this is to un-obstruct the path of the sunlight into the adjacent property's habitable room.